



Franklin County Planning Commission

Michael J. Dorrian Building
369 South High Street
1st Floor, Commissioners Hearing Room
Columbus, OH 43215

May 13, 2026
1:30

1. Call to Order (Chair)
2. Call roll for Board Members (Planning Administrator)
 - a. Board of Commissioner Members/Alternate Designee(s)
 - b. Regular Planning Commission Members
 - c. Acknowledgement of Quorum
3. Introduction of Staff (Planning Administrator)
4. Approval of minutes from the April 8, 2026, meeting
 - a. Motion to Approve Minutes (Chair)
 - b. Discussion of Minutes
 - c. Roll Call on Vote to Approve Minutes (Planning Administrator)
5. New Business

i. Administrative Matter: Case #798-V Kayla Johnson

Owner/Applicant:	Triple Dog Dare Farm, LLC / Melissa Atkins
Township:	Brown Township
Site:	8871 Patterson Road (PID #120-000015 / #120-000016)
Acreage:	21.098 Acres
Utilities:	Private On-site Well and Septic
Zoning:	Rural (R)
Request:	Requesting a variance to Franklin County Subdivision Regulation Section 501.5 to allow creation of two lots that will not meet the maximum allowed 4:1 lot depth to width ratio.

- a. Swear in Staff (Attorney)
- b. Staff Presentation
- c. Request for Applicant Presentation (Chair)
- d. Swear in Applicant (Attorney)
- e. Applicant Testimony
- f. Call for Motion to Accept Staff's Report and Presentation and Applicant Testimony into Record (Chair)
- g. Roll Call on Motion / Vote (Planning Administrator)

- h. Call for Motion to Recommend Approval (Chair)**
- i. Roll Call on Motion / Vote (Planning Administrator)**
- j. Call for Motion on Findings of Facts (Chair)**
- k. Roll Call on Motion/Vote (Planning Administrator)**

ii. Legislative Matter: Case #797-PP Kayla Johnson

Owner/Applicant:	T&R Properties, Inc. / R.J. Sabatino
Township:	Prairie Township
Site:	Hubbard Road (PID #240-000195)
Acreage:	17.011 Acres
Utilities:	Public Utilities
Zoning:	Planned Unit Development (PUD) (Approved by Twp. Trustees 1/21/2026)
Request:	Requesting approval of a Preliminary Plan for the Darby Preserve subdivision that consists of 43 lots with 8.848+/- acres of reserve areas and 1.54+/- acres of roadway in an area zoned PUD in Prairie Township

- a. Staff Presentation (Staff)**
- b. Applicant Presentation**
- c. Call for Motion to Recommend Approval (Chair)**
- d. Roll Call on Motion/Vote (Planning Administrator)**

- 5. Motion to Adjourn Meeting to June 10, 2026. (Chair)**
 - a. Roll Call (Planning Administrator)**

MINUTES OF THE
FRANKLIN COUNTY PLANNING COMMISSION
Wednesday, April 8, 2026

The Franklin County Planning Commission convened at the Franklin County Government Center, Board of Commissioners' Hearing Room, 369 South High Street, First Floor, Columbus, Ohio 43215, on Wednesday, April 8, 2026, 1:30 p.m.

Present were:

Chet Chaney, Chairman
Daniel Blechschmidt, Vice Chair
Roxyanne Burrus
David Mitchell
Arion Owens
Claire Bennett
Jim Leezer

Franklin County Economic Development and Planning Department members:

Raimere Fitzpatrick, Planning Administrator
Tamara Ennist, Planning Administrator
Austin Workman, Planner
Kayla Johnson, Planner

Franklin County Prosecutor's Office members:

Devin Bartlett, Assistant Prosecuting Attorney
Adria Fields, Assistant Prosecuting Attorney

Also Present:

Jack Reynolds, Esq.
Jackson Knerr
Conor Heisler
Mark Denny
Shane Farnsworth

Chairman Chaney called the meeting to order and acknowledged the presence of a quorum. Roll call was conducted by Ms. Tamara Ennist. Mr. Raimere Fitzpatrick introduced staff as well as the assistant prosecuting attorneys.

The Commission next considered the minutes from the March 11, 2026, meeting. Upon motion by Mr. Blechschmidt, seconded by Mr. Leezer, the minutes were approved. The motion carried with all members voting in favor, except Mr. Mitchell, who abstained due to his absence from that meeting.

New Business:

The Commission considered Zoning Case ZON-26-01, a request to rezone two properties located at 1877 Kenny Road and 1878 Kenny Road in Clinton Township to the Select Commercial Planned District (SCPD).

Staff presented an overview of the request, noting that the proposal included a coffee shop and auto-detailing use on the primary parcel (1877 Kenny Road) and employee parking on the secondary parcel (1878 Kenny Road). Staff further explained that the request for the residential parcel was not consistent with the Clinton West Neighborhood Plan and raised concerns related to traffic, buffering, and compatibility.

Following staff presentation, the Commission engaged in discussion regarding traffic impacts, site layout, and the appropriateness of utilizing the residential parcel for parking. The applicant's representative, Mr. Jack Reynolds, addressed the Commission and provided additional details regarding the proposal, including the intended use of the secondary parcel for limited employee parking and efforts to address site constraints and cost considerations. After discussion, the Commission considered the two parcels separately.

1877 Kenny Road (Limited Industrial Parcel):

A motion was made by Ms. Burrus, seconded by Mr. Leezer, to recommend approval of the rezoning request for 1877 Kenny Road, subject to staff's recommended conditions. Upon roll call, the motion passed with a vote of five yeases, one no, and zero abstentions.

1878 Kenny Road (R-8 Parcel):

A motion was made by Mr. Blechschmidt, seconded by Mr. Leezer, to recommend approval of the rezoning request for 1878 Kenny Road, subject to staff's recommended conditions. Upon roll call, the motion failed with a vote of four nos, three yeases, and zero abstentions, thereby resulting in a denial recommendation for this portion of the case.

The Commission next considered Case 791-PP, a request for preliminary plan approval of an eight-lot residential subdivision located at 7124 Davis Road in Brown Township. Staff presented the proposal, noting that the subdivision includes private roadway access, open-space areas, stormwater management facilities, and compliance with prior rezoning conditions.

Discussion included confirmation that roadway design met applicable engineering and emergency access standards. No opposition was presented.

Upon motion by Mr. Mitchell, seconded by Mr. Leezer, the Commission voted to recommend approval of the preliminary plan. The motion carried unanimously.

The Commission then considered Zoning Case JACK-26-01, a request to modify an existing Exceptional Use District for property located at 1696 Dyer Road in Jackson Township. Staff explained that the request involved revisions to a previously approved recreational use, including outdoor soccer fields, and identified several outstanding issues related to landscaping, buffering, lighting, and compliance with zoning standards.

The applicant's representative, Mr. Conor Heisler, addressed the Commission and indicated willingness to comply with the recommended conditions. Jackson Township's representative, Mr. Shane Farnsworth, also addressed the Commission and provided a statement.

After discussion, a motion was made to recommend conditional approval of the request, subject to staff's outlined conditions addressing zoning compliance, buffering, lighting, and stormwater requirements. The motion carried unanimously.

There being no further business to come before the Commission, the meeting was adjourned at 2:56 p.m.

The minutes of the April 8, 2026 meeting of the Franklin County Planning Commission were approved this ___ day of _____, 2026.

STAFF REPORT
Planning Commission
5/13/26

Case: 798-V
Prepared by: Kayla Johnson

I. Summary

Owner/Applicant:	Triple Dog Dare Farm LLC/Melissa Atkins
Township:	Brown Township
Site:	8871 Patterson Road (PID #120-000015 and #120-000016)
Acreage:	21.098 acres total (Proposed 3.1-acre, 11.879-acre, and 6.1179-acre lots)
Utilities:	Private water and wastewater
Request:	Requesting a Variance from Section 501.05 of the Subdivision Regulations for a lot split and adjustment that will exceed the maximum depth to width ratio permitted.
Recommendation:	Staff recommend <i>conditional approval.</i>

II. Property Background/History

- From 1982-1988, parcel #120-000015 was split and adjusted numerous times. From 1966-1981, 8871 Patterson Road was split and adjusted numerous times.
- In 1983, the property at 8871 Patterson Road developed a total of three separate agricultural structures for agricultural uses and an equestrian farm.
- In 1987, the property at 8871 Patterson Road was developed with a single-family residence.
- Since 1995, the property at 8871 Patterson Road has remained with one single-agricultural building, a residence, and an equestrian run.
- In 2001, the readopted Franklin County Subdivision Regulations established a standard for lot’s depth to width ratios (Lot Geometry).

III. Surrounding Land Use/Zoning

Location	Jurisdiction	Zoning	Land Use
North	Brown Twp.	Rural (R)	Single-family residential, agricultural
South	Brown Twp.	Rural (R)	Single-family residential
East	Brown Twp.	Rural (R)	Single-family residential, agricultural
West	Brown Twp.	Rural (R)	Single-family residential

IV. Comprehensive Plan

The Brown Township Comprehensive Plan (2005) recommends the site for “Low Density Rural Residential (0.2-0.4 dwelling units/acre)”.

The proposal generally meets the land use plan recommendations by providing 0.08-0.32 dwelling units/acre density between the three (3) proposed lots.

V. Franklin County Subdivision Regulations Review

Variance from Section 501.05 – Lot Geometry:

Lot depth to width ratio shall not exceed 4 to 1 Depth shall be measured from the rear lot line to the street centerline. Width shall be measured parallel or tangent to the street centerline, 100 feet back from the street centerline.

- A Variance is required for the approximately 11-acre and 6-acre lots exceeding the maximum depth to width ratio when adjusted as proposed.

VI. Technical Agency Review:

The proposal was routed for review to our informal Technical Review Agency on April 15th, 2026. Below are the comments received regarding this proposal.

- 1. Franklin County Engineer’s Office (Mobility):** *The right-of-way (R/W) will need to be dedicated for the portion being split to meet the Thoroughfare Plan by providing 40 feet from the centerline of Patterson Road. The right-of-way for the other lots can optionally be dedicated by the property owner under this proposal.*
- 2. Norwich Township Fire Department (jurisdiction over Brown Township):** *This property resides in a rural, non-hydrant location and will exceed the 1000-feet of the hose line. This long hose lay property/proposed lot-split will require our agency to flag the address, notify NRECC dispatch of conditions, and have fire officers implement long-lay suppression tactics. We can accomplish all these items, but we will need notice if Franklin County approves the lot split variance. Under these conditions, our agency has no other concerns at this time.*
- 3. Franklin County Tax Map Department:** *The original legal descriptions will need to be provided for approval prior to EDP approving the split and/or adjusted lots.*

No additional agency provided comments at this time.

VII. Staff Analysis

Section 701.05 Franklin County Subdivision Regulations: *In case of hardship or exceptional practical difficulties resulting from the strict compliance with the requirements of these Subdivision Regulations, or to better serve the purpose of these Regulations, the FCPC may grant variances from subdivision requirements, or resolve appeals so that substantial justice may be done and the public interest secured; provided, however, that such variance shall not have the effect of nullifying the intent and purpose of these Subdivision Regulations, applicable zoning resolution or the Regulations of any other office or agency having jurisdiction over these Subdivision Regulations. The following shall govern the granting of a variance:*

- A. It shall not be detrimental to the public health or safety or be injurious to other property;
 - a. Applicant: The plan is to keep the existing residence and other agriculturally used areas preserved. Adjacent lots are not to be affected.
 - b. Staff: No concerns to adjacent lots were identified during the reviews. Although the lot exceeds the maximum depth to width ratio, measures can be taken to maintain compliance with the emergency access to the site and its future development.
- B. Circumstances of the request are unique to the property and not generally applicable to others;
 - a. Applicant: The property was inherited with existing agricultural use and structures.
 - b. Staff: The western parcel, PID #120-000015, being adjusted under the proposal, currently does not meet the lot geometry standards of the county. The lot was subdivided several times prior to the creation of the Lot Geometry standard.
- C. Due to physical surroundings, shape or characteristics of the property, a hardship would result, as distinguished from an inconvenience, if the strict letter of these Regulations were enforced
 - a. Applicant: The proposal is intended to create family homeownership in proximity to one another.
 - b. Staff: In light of the existing agricultural uses, existing development, and dimensions of the properties involved, the proposal faces a hardship against the regulations to implement the allowable land uses for developable portions of the lots. Sufficient documentation and review comments has been provided to further justify the potential existence of the residential lots.

Staff recommends **conditional approval** of the request to split and adjust lots that will exceed the maximum depth to width ratio permitted. The conditions are as follows:

1. Obtain the appropriate emergency access infrastructure for properties that exceed a depth of 1,000 feet to the satisfaction of the Norwich Township Fire Department prior to the finalization of the subdivision review and approval.
2. Dedication of right-of-way to meet the Thoroughfare Plan and shared driveways are required prior to the finalization of the lot splits and adjustments. Final driveway locations will be determined at the time of subdivision review and approval.

Planning Commission Action

For your convenience, the following is a proposed motion:

_____ moves to approve the variance request from Section 501.05 of the Subdivision Regulations for a lot split and adjustment that will exceed the maximum depth to width ratio permitted as outlined in the request of the applicant identified in Case No. 798-V.



798-V

Requesting a Variance from Section 501.05 of the Subdivision Regulations for a lot split and adjustment that will exceed the maximum depth to width ratio permitted.

Township: Brown

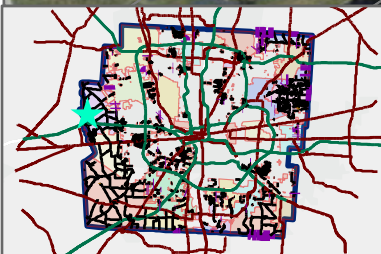
Address: 8871 Patterson Road

Acreage: 21.098

Legend

- Parcel IDs
- R-O-W Centerlines
- Franklin County Stream Buffers

Brown

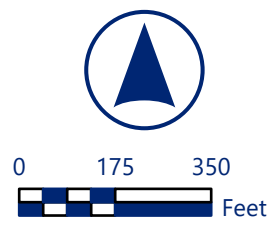


Case File: 798-V



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors,

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere





798-V




Requesting a Variance from Section 501.05 of the Subdivision Regulations for a lot split and adjustment that will exceed the maximum depth to width ratio permitted.

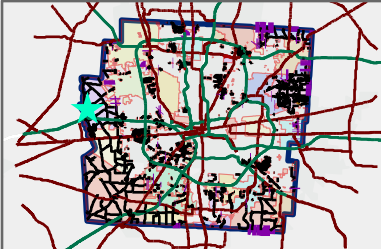
Township: Brown

Address: 8871 Patterson Road

Acreage: 21.098

Legend

-  Parcel IDs
-  R-O-W Centerlines
-  Franklin County Stream Buffers




Case File: 798-V



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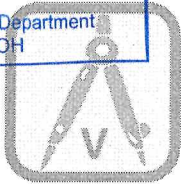
Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere



0 250 500 Feet

Application for
**Subdivision
 Variance**
 Page 1

RECEIVED
APR 02 2026
 Franklin County Planning Department
 Franklin County, OH



Property Information	
Site Address: <u>8871 Patterson Rd Hilliard Oh</u>	
Parcel ID(s): <u>120-000015 + 120-000016</u>	
Total Acreage: <u>21.098</u>	Current Zoning: <u>Rural (R)</u>
Township: <u>Brown</u>	Subdivision: <u>N/A</u>

Staff Use Only
Case # <u>798-V</u>
Date Filed: <u>4/2/26</u>
Fee Paid: <u>\$350</u>
Receipt # <u>26-00870</u>
Hearing Date: <u>5/13/26</u>
Received By: <u>Keyla J.</u>

Requested Variances/Decision or Interpretation Appealed	
Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:	
Section	Description
<u>501.05</u>	<u>lot geometry depth to width ratio</u>
Section	Description
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes
 No

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes
 No See attached

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes
 No See attached

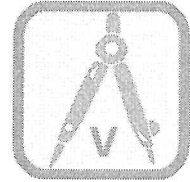


Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

Economic Development & Planning Department
James Schimmer, Director

Application for
**Subdivision
Variance**
Page 2



Property Owner Information

Name: Triple Dog Dare Farm, LLC
Address: 8891 Patterson Rd
Hilliard OH 43026
Phone # 614-580-2755 Fax #
Email: matkins@helmsbriscoe.com

Engineer/Surveyor Information

Name: Nathan Cottrill
Address: 15882 US Rt 62 SE
Mt. Sterling, OH 43143
Phone # 740-869-3811 Fax #
Email: Nathan@cottrillsurveying.com

Applicant Information

Same as property owner Same as engineer/surveyor

Name: Melissa Atkins (dba) Triple Dog Dare Farm, LLC
Address: 8001 Patterson Rd
Hilliard OH 43026
Phone # 614-580-2755 Fax # 614-453-8781
Email: matkins@helmsbriscoe.com

Water & Wastewater

Water Supply
 Public (Central)
 Private (On-site) Well
 Other:
Wastewater Treatment
 Public (Central)
 Private (On-site) Septic
 Other:

Checklist

Completed Application
 Fee Payment (checks only)
 Copy of denied application, if applicable
 Site plan, max. size 11"x17"
 Proof of Water/Wastewater

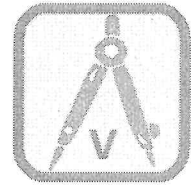


Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

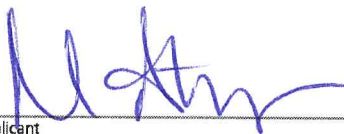
Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 3




Applicant Signature

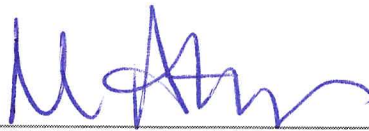
To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.


Applicant

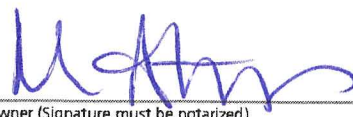
4/1/24
Date


Engineer

04/01/26
Date

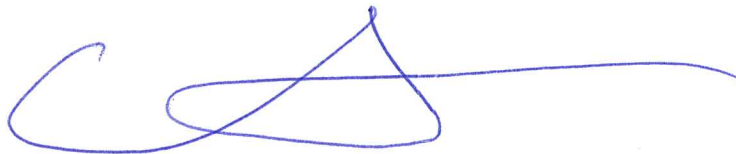

Property Owner (Signature must be notarized)

4/1/26
Date


Property Owner (Signature must be notarized)

4/1/26
Date

April 1, 2026





E SEAN HENRY
Notary Public
State of Ohio
My Comm. Expires
June 6, 2030

Application
for
Subdivision
Variance

State of Ohio
County of Franklin

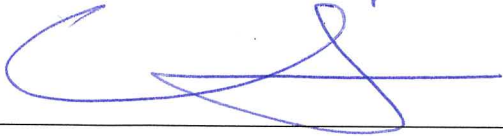
Before me, a Notary Public for the State of Ohio, appeared the above
named –

Melissa Atkins

who acknowledged and signed the foregoing instrument and their signing
was their free act.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and
affixed my seal this

1 day of April, 2026.



Signature Notary Public

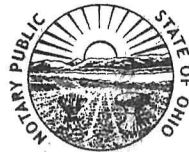
E Sean Henry

Printed Name

Notary Public, State of Ohio

My commission expires: 6/6/30

Recorded in Madison County



E SEAN HENRY
Notary Public
State of Ohio
My Comm. Expires
June 6, 2030

Subdivision Variance – Application/attachment

8871 Patterson Road

Hilliard, OH 43026

Currently Parcel #'s 120-000015 & 120-000016

Total of 21.098 acres

Owner: Melissa Atkins dba Triple Dog Dare Farm, LLC

I purchased this existing equestrian farm which includes an existing home and 21 stall horse barn with indoor & outdoor arenas, pasture and hay field. It's currently 2 parcels (120-000015 & 120-000016) which were sold together as one farm.

I would like to reparcel the 21.098 acres into 3 parcels to allow for 2 new additional homes in addition to the existing home & barn. Below (and attached survey & soil testing) is a breakdown of the proposed 3 parcels and explanation on shared driveways, etc. This is a unique request as I'm trying to allow for existing barn to maintain pasture area and access shared with existing home and allow 2 additional new builds.

Lot #1- proposed 6.1179 acre lot for a 4 bedroom new build home to be purchased by a family member. This proposed lot would have an extended driveway that would be shared with Lot #2 to access both homes. Although both proposed lots have the adequate road frontage required, for aesthetic reasons, we prefer to share a drive way access to both homes and leave the additional road frontage for pasture (the pasture already exists). We are happy to obtain a legal agreement if required to share the driveway access.

Lot #2 – proposed 11.8790 acre lot for a 4 bedroom new build home which will be mine (owner/applicant/LLC). This lot will also contain the existing barn, arena and pasture. This lot does have the adequate road frontage required for driveway access to both the proposed new build home and barn, but to eliminate adding additional driveways, I'm requesting to share access to the proposed home with Lot #1 and share access with Lot #3 to access the existing barn (driveway currently exists to access both Lot #3 & barn from Patterson Rd). Should this proposed lot ever have to be sold, it will have road frontage for a

driveway to be added to both barn & proposed home and will contain enough pasture to support the barn.

Lot # 3 – proposed 3.100 acre lot contains the existing 4 bedroom home. This will be purchased by my daughter. The existing driveway from Patterson Rd provides access to this home and to the existing barn. Due to the relationship (mother/daughter) we would like to share the existing driveway to continue allowing access to the existing barn. We are happy to obtain a legal agreement if required.

I understand that there are depth/width ratios in question and we are willing to be flexible on adjusting the proposed lots if necessary. I am including additional documents (see below & attached) to support our proposed parcels. We have taken the time to have the land surveyed and soil tested prior to proposing the reparceling.

In addition to that I wanted the review committee to understand that all 3 lots will be owned by family members and we intend to live on the land (in what seems to be a buzzword these days) in a “homestead” type of way. Our intentions are to keep the land as natural as possible; spacing out the homes, not cutting it up with multiple driveways, leaving as much pasture/hay field as possible. However, we understand that we need to meet requirements and anticipate for the future should something require us to sell.

I appreciate your consideration and please let me know if there is anything additional that I can provide to assist with the decision.

Attachments:

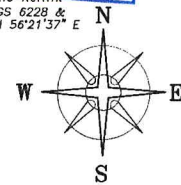
- Application & attached letter
- Survey & proposed documents for each lot from Cottrill Surveying
- Project narrative / Septic Info from Marchall Environmental Consulting
- Approval from Franklin County Health Dept (based on approved lot split)
- Soil Evaluation for each proposed lot from TerraGenesis

RECEIVED

APR 02 2026

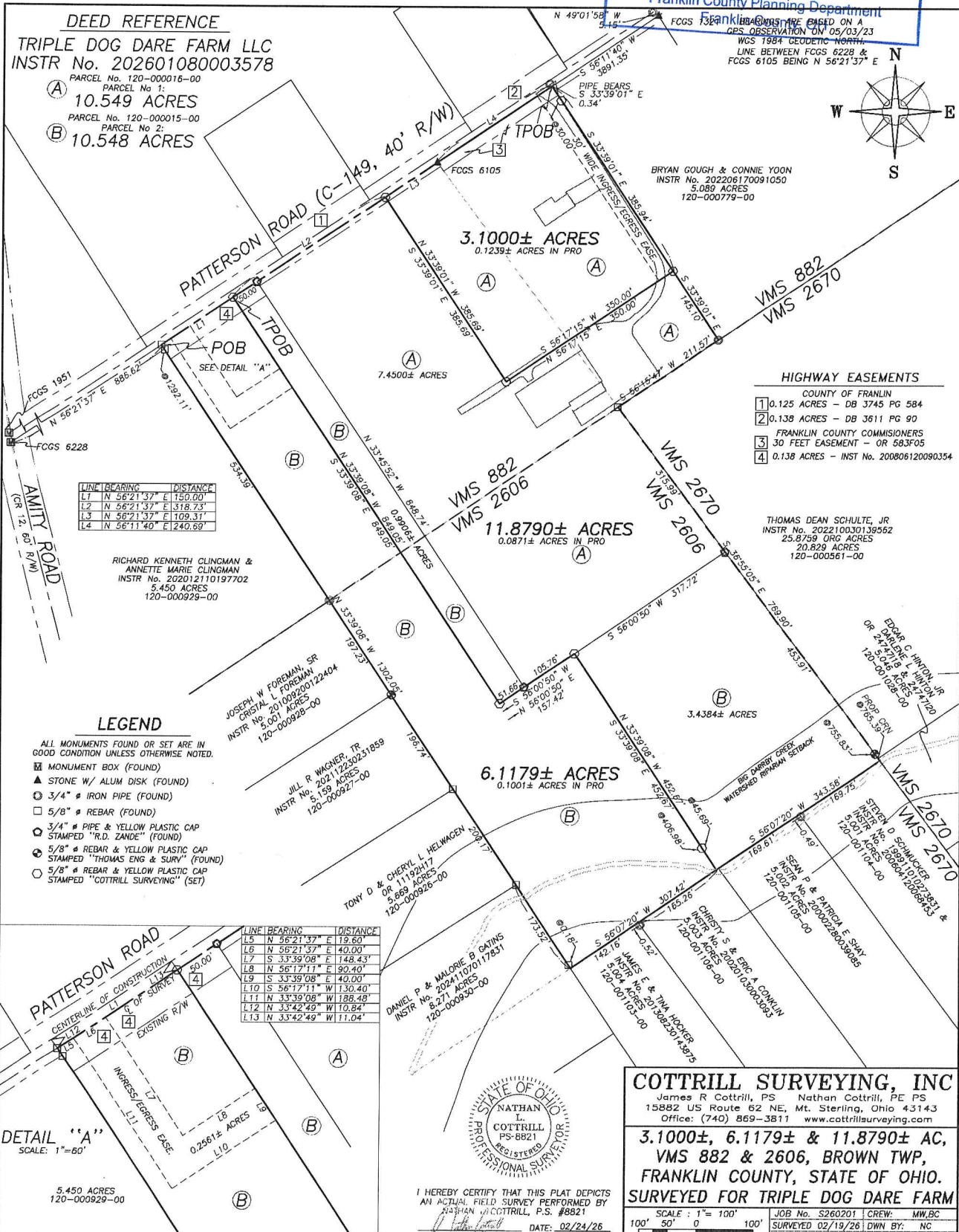
Franklin County Planning Department

FRANKLIN COUNTY PLANNING DEPARTMENT HAS REVIEWED AND PASSED ON A GIS OBSERVATION ON 05/03/23 WGS 1984 GEODETIC NORTH LINE BETWEEN FCGS 6228 & FCGS 6105 BEING N 56°21'37" E



DEED REFERENCE
TRIPLE DOG DARE FARM LLC
INSTR No. 202601080003578

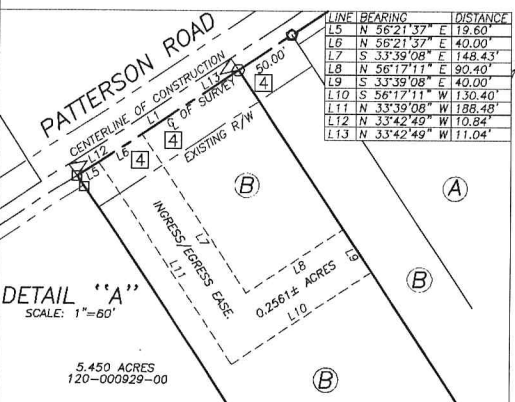
- (A) PARCEL No. 120-000016-00
10.549 ACRES
- (B) PARCEL No. 120-000015-00
10.548 ACRES



LINE BEARING	DISTANCE
L1 N 56°21'37" E	150.00'
L2 N 56°21'37" E	318.73'
L3 N 56°21'37" E	109.31'
L4 N 56°11'40" E	240.69'

- LEGEND**
- ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE NOTED.
 - MONUMENT BOX (FOUND)
 - STONE W/ ALUM DISK (FOUND)
 - 3/4" # IRON PIPE (FOUND)
 - 5/8" # REBAR (FOUND)
 - 3/4" # PIPE & YELLOW PLASTIC CAP STAMPED "R.D. ZANDE" (FOUND)
 - 5/8" # REBAR & YELLOW PLASTIC CAP STAMPED "THOMAS ENG & SURV" (FOUND)
 - 5/8" # REBAR & YELLOW PLASTIC CAP STAMPED "COTTRILL SURVEYING" (SET)

- HIGHWAY EASEMENTS**
- 1 0.125 ACRES - DB 3745 PG 584
 - 2 0.138 ACRES - DB 3611 PG 90
 - 3 30 FEET EASEMENT - OR 583F05
 - 4 0.138 ACRES - INST No. 200806120090354



I HEREBY CERTIFY THAT THIS PLAT DEPICTS AN ACTUAL FIELD SURVEY PERFORMED BY NATHAN L. COTTRILL, P.S. #8821 DATE: 02/24/26

COTTRILL SURVEYING, INC
James R Cottrill, PS Nathan Cottrill, PE PS
15882 US Route 62 NE, Mt. Sterling, Ohio 43143
Office: (740) 869-3811 www.cottrillsurveying.com

**3.1000±, 6.1179± & 11.8790± AC,
VMS 882 & 2606, BROWN TWP,
FRANKLIN COUNTY, STATE OF OHIO.**

SURVEYED FOR TRIPLE DOG DARE FARM
SCALE: 1"=100'
100' 50' 0 100'
JOB No. S260201 CREW: MW,BC
SURVEYED 02/19/26 DWN BY: NC
DRAWN 02/20/26 CHECK: MW

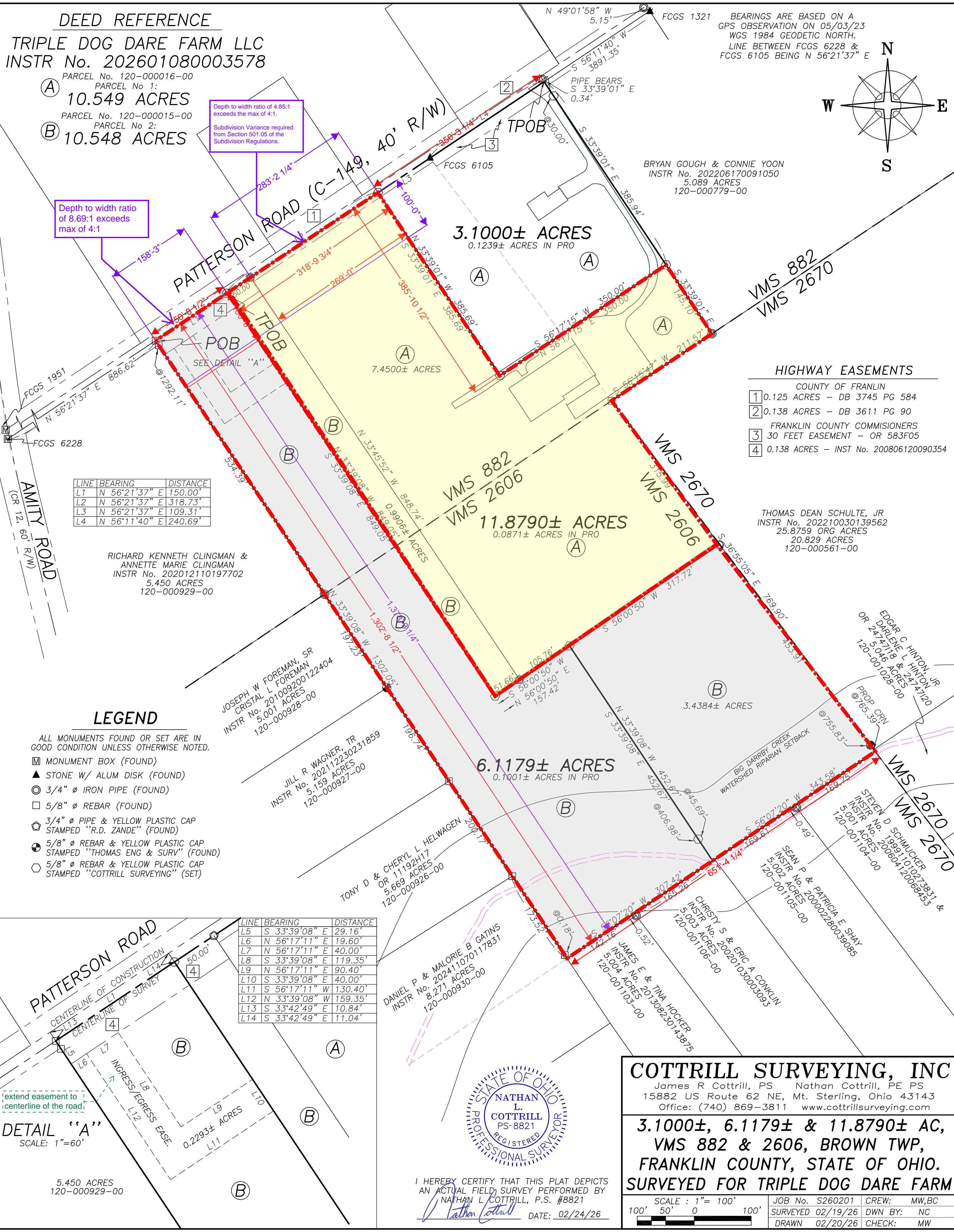
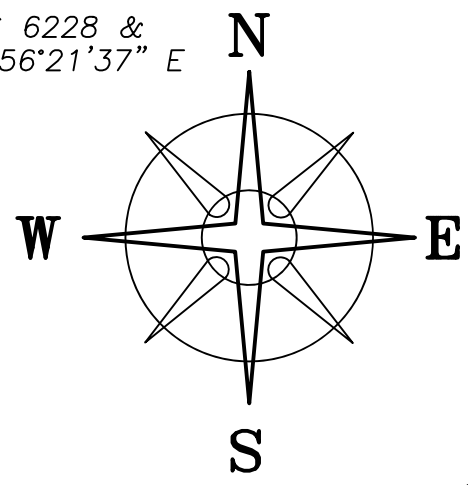
DEED REFERENCE
TRIPLE DOG DARE FARM LLC
INSTR No. 202601080003578

- PARCEL No. 120-000016-00
PARCEL No 1:
10.549 ACRES
- PARCEL No. 120-000015-00
PARCEL No 2:
10.548 ACRES

Depth to width ratio of 4.85:1 exceeds the max of 4:1.
Subdivision Variance required from Section 501.05 of the Subdivision Regulations.

Depth to width ratio of 8.69:1 exceeds max of 4:1

BEARINGS ARE BASED ON A GPS OBSERVATION ON 05/03/23 WGS 1984 GEODETIC NORTH. LINE BETWEEN FCGS 6228 & FCGS 6105 BEING N 56°21'37" E

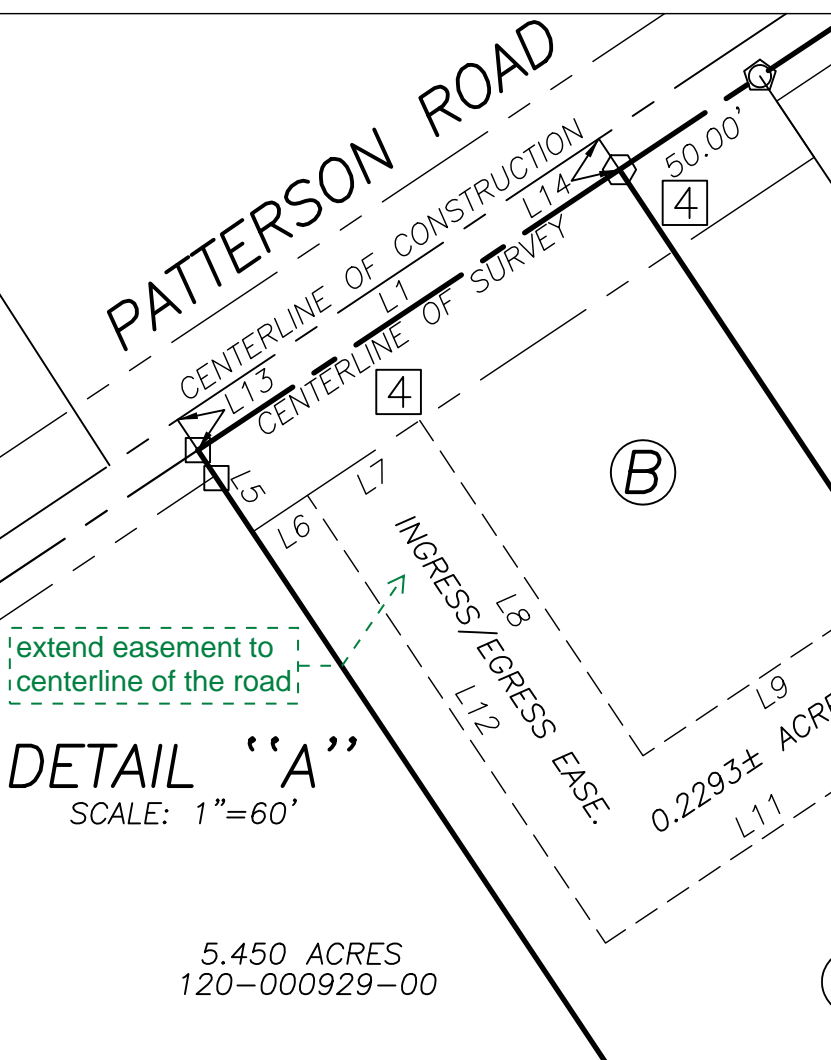


LINE	BEARING	DISTANCE
L1	N 56°21'37" E	150.00'
L2	N 56°21'37" E	318.73'
L3	N 56°21'37" E	109.31'
L4	N 56°11'40" E	240.69'

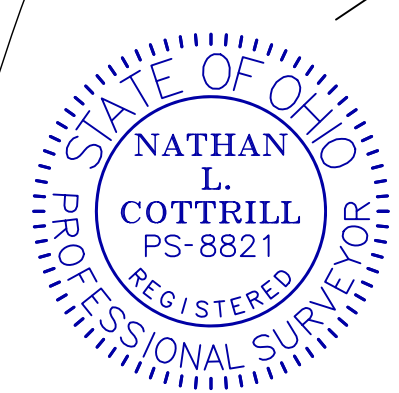
- HIGHWAY EASEMENTS**
COUNTY OF FRANKLIN
- 1 0.125 ACRES - DB 3745 PG 584
 - 2 0.138 ACRES - DB 3611 PG 90
- FRANKLIN COUNTY COMMISSIONERS
- 3 30 FEET EASEMENT - OR 583F05
 - 4 0.138 ACRES - INST No. 200806120090354

LEGEND

- ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE NOTED.
- ☐ MONUMENT BOX (FOUND)
 - ▲ STONE W/ ALUM DISK (FOUND)
 - 3/4" Ø IRON PIPE (FOUND)
 - 5/8" Ø REBAR (FOUND)
 - ⊕ 3/4" Ø PIPE & YELLOW PLASTIC CAP STAMPED "R.D. ZANDE" (FOUND)
 - ⊕ 5/8" Ø REBAR & YELLOW PLASTIC CAP STAMPED "THOMAS ENG & SURV" (FOUND)
 - ⊕ 5/8" Ø REBAR & YELLOW PLASTIC CAP STAMPED "COTTRILL SURVEYING" (SET)



LINE	BEARING	DISTANCE
L5	S 33°39'08" E	29.16'
L6	N 56°17'11" E	19.60'
L7	N 56°17'11" E	40.00'
L8	S 33°39'08" E	119.35'
L9	N 56°17'11" E	90.40'
L10	S 33°39'08" E	40.00'
L11	S 56°17'11" W	130.40'
L12	N 33°39'08" W	159.35'
L13	S 33°42'49" E	10.84'
L14	S 33°42'49" E	11.04'



I HEREBY CERTIFY THAT THIS PLAT DEPICTS AN ACTUAL FIELD SURVEY PERFORMED BY NATHAN L. COTTRILL, P.S. #8821
DATE: 02/24/26

COTTRILL SURVEYING, INC
James R Cottrill, PS Nathan Cottrill, PE PS
15882 US Route 62 NE, Mt. Sterling, Ohio 43143
Office: (740) 869-3811 www.cottrillsurveying.com

3.1000±, 6.1179± & 11.8790± AC, VMS 882 & 2606, BROWN TWP, FRANKLIN COUNTY, STATE OF OHIO. SURVEYED FOR TRIPLE DOG DARE FARM

SCALE: 1"=100'
100' 50' 0 100'

JOB No. S260201 CREW: MW,BC
SURVEYED 02/19/26 DWN BY: NC
DRAWN 02/20/26 CHECK: MW

THOMAS DEAN SCHULTE, JR
INSTR No. 202210030139562
25.8759 ORG ACRES
20.829 ACRES
120-000561-00

RICHARD KENNETH CLINGMAN & ANNETTE MARIE CLINGMAN
INSTR No. 202012110197702
5.450 ACRES
120-000929-00

JOSEPH W FOREMAN, SR
CRISTAL L FOREMAN
INSTR No. 20211009200122404
5.001 ACRES
120-000928-00

JILL R WAGNER, TR
INSTR No. 202112230231859
5.159 ACRES
120-000927-00

TONY D & CHERYL L HELWAGEN
OR 11192H17
5.669 ACRES
120-000926-00

DANIEL P & MALORIE B GATINS
INSTR No. 202411070117831
8.271 ACRES
120-000930-00

JAMES E & TINA HOCKER
INSTR No. 201308230143875
5.004 ACRES
120-001103-00

CHRISTY S & ERIC A CONKLIN
INSTR No. 200201030003095
5.005 ACRES
120-001106-00

SEAN P & PATRICIA E SHAY
INSTR No. 200002280030085
5.002 ACRES
120-001105-00

EDGAR C HINTON, JR
DARLENE L HINTON
OR 24747118 & 24747120
5.046 ACRES
120-001028-00

PROF GRN
@765.39'

3.4384± ACRES

11.8790± ACRES
0.0871± ACRES IN PRO

VMS 882
VMS 2606

VMS 2670
VMS 2606

7.4500± ACRES

3.1000± ACRES
0.1239± ACRES IN PRO

BRYAN GOUGH & CONNIE YOON
INSTR No. 202206170091050
5.089 ACRES
120-000779-00

VMS 882
VMS 2670

AMITY ROAD
(CR 12, 60' R/W)

extend easement to centerline of the road.

5.450 ACRES
120-000929-00



STAFF REPORT

Planning Commission
May 13th, 2026

Case: 797-PP

Prepared by: Kayla Johnson

Owner / Applicant:	PTG 1313, LLC / T&R Properties-RJ Sabatino
Engineer:	American Structurepoint Inc./ Ben Schilling
Township:	Prairie Township
Site:	Hubbard Road (PID #240-000195)
Subdivision:	Darby Preserve
Acreage:	17.011-acres
Utilities:	Public Water and Sanitary Sewer
Request:	Requesting approval of a major subdivision preliminary plan for development of a subdivision containing 43 lots, 8.848 acres of reserve area and dedication of 1.535 acres of public rights-of-way in Prairie Township.

Request

The applicant is seeking approval of a Preliminary Plan for the Darby Preserve subdivision to allow the creation of a 43-lot single-family subdivision with a publicly dedicated street and 8.848-acres of reserve areas for open space, stormwater maintenance, and protected wetlands. The subdivision will be developed in one phase. Conservation easements, a Homeowners Association (HOA), and a New Community Authority (NCA) are also proposed for this subdivision.

Background

The 17.011-acre area is located along the east side of Hubbard Road, north of State Route 40 and south of Blue Lake Avenue in the northwest portion of Prairie Township. The site is within the Big Darby Accord Watershed Master Plan area and is located within 1/3 of a mile from the Big Darby Creek. The site contains two (2) wetland areas, as identified on the National Wetland Inventory map.

The Big Darby Accord Watershed Master Plan (2006) shows the site location is west of the area identified as the ‘Town Center Zone’. The plan identifies the site as Residential Suburban High Density allowing 3-5 DUs/acre. The site is just west of an area identified as Tier 3.

The site is impacted by a poorly drained soil, Kokomo soil, as identified by the Franklin County soils mapping, obtained from the Natural Resources Conservation Service, and as referenced within the Franklin County Subdivision Regulations. These soils may prevent basements and cause other unfavorable development conditions.

Zoning

The subject site was rezoned by Prairie Township (case #191-RZ-25) in December 2025 from Multi-Family Residential (MFR-12) and Suburban Office (SO) to a Planned Unit Development (PUD) to allow for forty-three (43) single-family residential homes with the condition that the developer should ensure that responsibility for the long-term maintenance of the conservation areas is clearly specified, preferably to a third party or to the HOA.

The preliminary plan is generally consistent with the approved development plan of the rezoning.

Stormwater Management

Stormwater management will be provided using storm water yard drains and street catch basins that will direct the storm water into one of two (2) stormwater retention basins located within a 7.523-acre open space lot on the eastern and southern portions of the site. The proposed stormwater drainage system will be required to be built in accordance with the Franklin County Stormwater Drainage Manual. A stormwater management report was provided in the submission.

Traffic and Access Management

The proposed subdivision will provide one new public street that will have access to Blue Lake Avenue at the north end and Hubbard Road at the west end. All proposed lots will have access to the public street under the township's ownership and maintenance.

Open Space & Conservation Efforts

The proposed subdivision will provide two reserve areas; a 1.325-acre reserve located behind the building lots on the west and north side of the proposed Darby Preserve Way right-of-way and a 7.523-acre reserve along the east and south sides of the site. The 1.325-acre reserve will be within a conservation easement and remain undeveloped. The 7.523-acre reserve will contain the two retention ponds. Both reserve areas will be owned and maintained by the Darby Preserve Homeowners Association. The 8.848-acres of open space will also be owned and maintained by the HOA and represents 52% percent of the gross acreage of the property. Two wetlands identified on the National Wetland Inventory Map are located on the site to remain protected.

Technical Review Agency Comments

No comments were received from the Technical Review Agencies.

Staff Recommendation

Staff recommend ***approval*** of the Preliminary Plan to allow the construction of a 43-lot single-family subdivision with 8.848 acres of open space and 1.535 acres of dedicated public street right-of-way as proposed.

Planning Commission Action

A motion on a preliminary plan must carry for an action to take effect. For your convenience, the following is a proposed motion:

_____ moves to approve/deny the preliminary plan request for the Darby Preserve subdivision to allow the construction of a 43-lot single-family subdivision with 8.848 acres of open space and 1.535 acres of dedicated public street right-of-way as outlined in the request for the applicant identified in Case No. 797-PP.



797-PP

Requesting approval of the Darby Preserve preliminary plan to develop a 43-lot single-family residential subdivision with two reserves and public rights-of-way, in the Prairie Township PUD zone district.

Township: Prairie Township

Address: Hubbard Road (PID #240-000195)

Acreage: 17.011 acres

Legend

- Parcel IDs
- R-O-W Centerlines

Case File: 797-PP

Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors,

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere





797-PP

Requesting approval of the Darby Preserve preliminary plan to develop a 43-lot single-family residential subdivision with two reserves and public rights-of-way, in the Prairie Township PUD zone district.

Township: Prairie Township

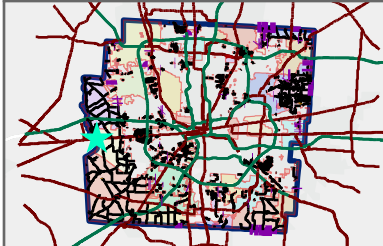
Address: Hubbard Road (PID #240-000195)

Acreage: 17.011 acres

Legend

- Parcel IDs
- R-O-W Centerlines

Prairie



Case File: 797-PP



Franklin County Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors,

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere



0 225 450 Feet

FOR OFFICIAL USE ONLY
(PRAIRIE TOWNSHIP TRUSTEES)

Date Recommendation Received: 11/25/25
Date of Notice to Newspapers: 11/16/26
Date of Public Hearing: 1/21/26 @ 6:30

Action by Legislative Authority:
Approved: X - See Resolution
Denied: _____
Other: _____

If denied, reason for denial: _____

PRAIRIE TOWNSHIP BOARD OF TRUSTEES

TOWNSHIP FISCAL OFFICER
1/21/2026
DATE

PRAIRIE TOWNSHIP
COMMERCIAL BUILDING AND ZONING DEPT.
25 MAPLE DRIVE
COLUMBUS, OHIO 43228
(614) 982-2190



**RESOLUTION NO. 05-26
A RESOLUTION TO AMEND THE
ZONING RESOLUTION OF
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
APPLICATION NO. 191-RZ-25**

PREAMBLE

WHEREAS, Zoning Amendment Case No. 191-RZ-25, as described below, came on for hearing before the Prairie Township Board of Trustees on the 23rd day of December, 2025 which case is described as follows:

Zoning Amendment Case No. 191-RZ-25: By motion adopted by the Prairie Township Zoning Commission, an amendment that proposes to rezone the property located at 240-000195 Hubbard Road, Galloway, Ohio 43119, which is a 16.49 acre parcel identified as 240-000195 and owned by PTG 1313 LLC, from MFR-12 (Multi-Family Residential) and SO (Suburban Office) districts to a Planned Unit Development (PUD) to allow for forty-three (43) single-family residential homes with its own textual requirements.

WHEREAS, on November 25, 2025, the Prairie Township Zoning Commission recommended approval of the proposed amendment, which recommendation was forwarded to the Prairie Township Board of Trustees for consideration, pursuant to Ohio Revised Code Section 519.12; and

WHEREAS, on November 25, 2025, the Prairie Township Board of Trustees resolved to hold a public hearing on the proposed amendment.

RESOLUTION

NOW THEREFORE, upon motion of Trustee Stormont, seconded by Trustee Pritchard, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO, (THE "BOARD"), THAT:

The action and recommendation of the Prairie Township Zoning Commission be and is hereby approved with modifications, and the application to rezone the property located at 240-000195 Hubbard Road, Galloway, Ohio 43119, which is a 16.49 acre parcel identified as 240-000195 and owned by PTG 1313 LLC, from MFR-12 (Multi-Family Residential) and SO (Suburban Office) districts to a Planned Unit Development (PUD) to allow for forty-three (43) single-family residential homes is hereby Approved with the following modifications: To accept the first recommendation of the Big Darby Accord

BOARD OF TRUSTEES, PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
ADOPTED: JANUARY 21, 2026

VOTING AYE:

Doug Stormont
Doug Stormont, Chairman
Rod Pritchard
Rod Pritchard, Vice-Chair
Cathy Schmelzer
Cathy Schmelzer, Trustee

VOTING NAY THEREON:

Doug Stormont, Chairman

Rod Pritchard, Vice-Chair

Cathy Schmelzer, Trustee

BOARD OF TRUSTEES, PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO

BOARD OF TRUSTEES, PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO

ATTEST AND CERTIFY:

Alec Milam
Alec Milam, Township Fiscal Officer

Big Darby Accord Advisory Panel

Record of Action

January 13th, 2026

Benjamin Schilling
American Structurepoint, Inc.
2550 Corporate Exchange Drive Suite 300
Columbus, OH 43231

Subject: Case #AP-25-04

Dear Mr. Schilling:

The Big Darby Accord Advisory Panel considered case #AP-25-04 at the January 13th, 2026 meeting:

Case AP-25-04

Review and action regarding a Prairie Township development of single-family residential units connecting Hubbard Rd. and Blue Lake Ave.

Applicant: *Benjamin Schilling, American Structurepoint*
Location: *Hubbard Rd., Prairie Township, Franklin County*
Address: *Hubbard Rd (Near Parcel ID 240-000195)*
Acreage: *17.012 gross acres, 15.477 net acres*
Zoning: *R*

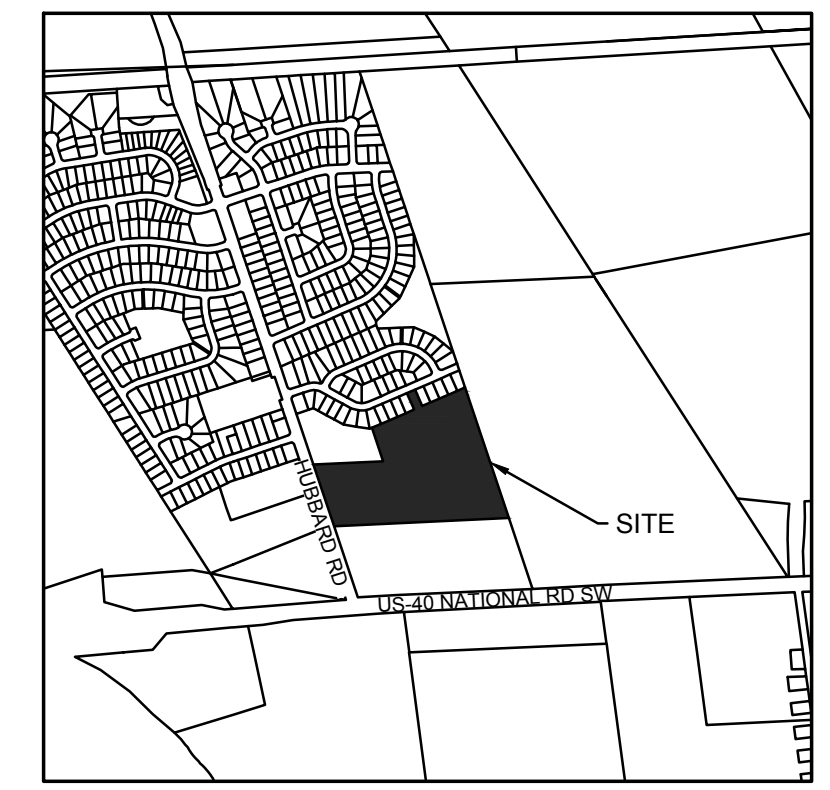
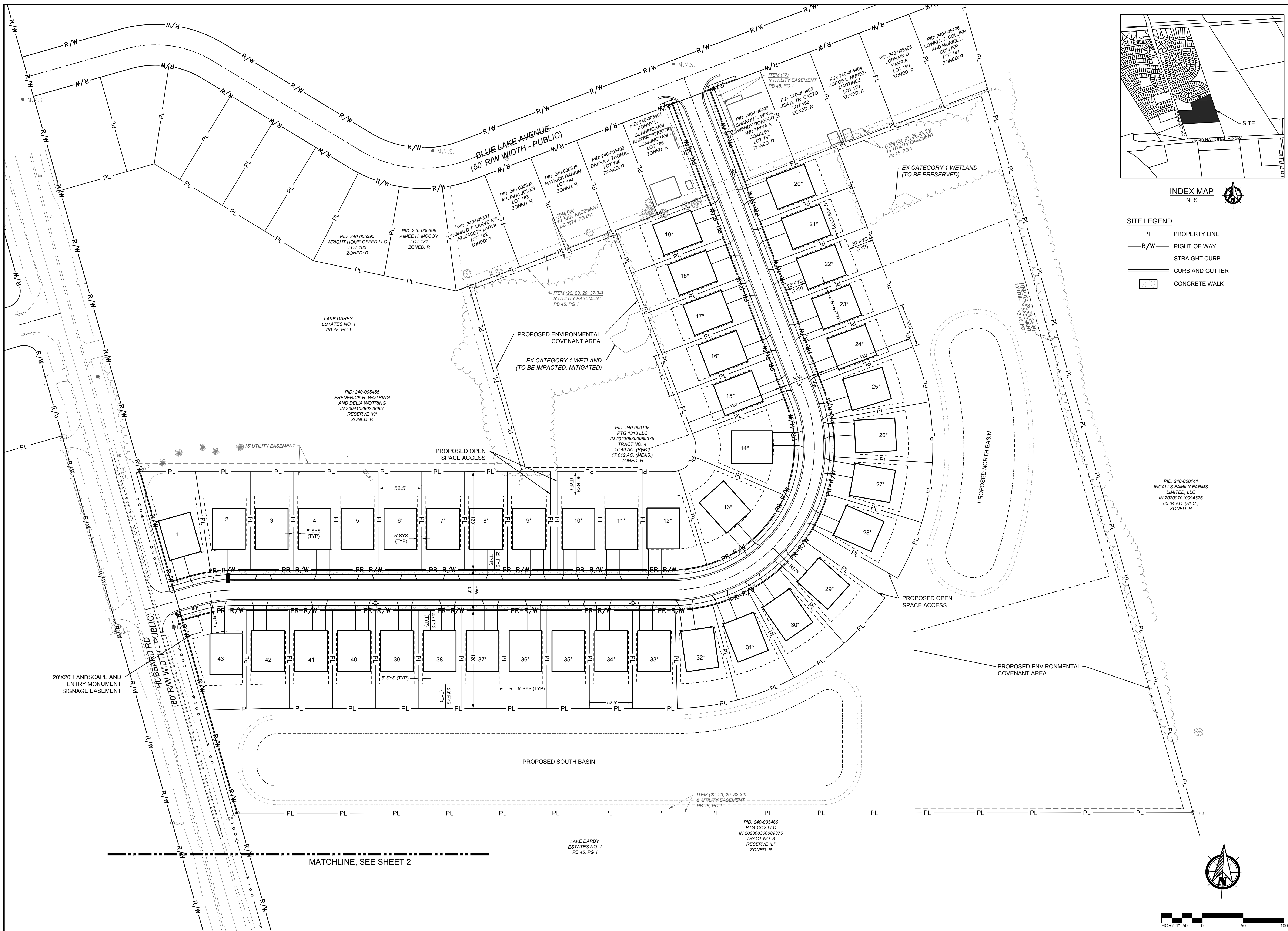
Request: *Request for a downzoning from a residential zoning district of Multi-Family Residential (MFR-12) and a commercial zoning of Suburban Office (SO) to a Planned Unit Development that would closely compare to the R-6 Medium Density Single-Family Residential district in the Prairie Township Zoning Resolution.*

MOTION:

To recommend approval of the application with the following conditions:

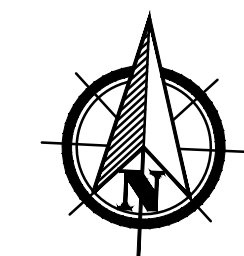
- 1. The developer should ensure that responsibility for the long-term maintenance of the conservation areas is clearly specified, preferably to a third party or to the HOA.*
- 2. Areas shown as urban grasses are changed to meadow and included in the conservation easement subject to Prairie Township and county engineer review of easement language to ensure proper maintenance for stormwater management activities are allowed.*

PLOT SCALE: 1" = 120' DATE: 12/15/25 - 1:28 PM EDITED BY: JIROCKEY DRAWING FILE: 0:202500585.D CONSTRUCTION DOCUMENTS: PDP:2025.00585.SP.DWG



INDEX MAP
NTS

- SITE LEGEND**
- PL — PROPERTY LINE
 - R/W — RIGHT-OF-WAY
 - STRAIGHT CURB
 - CURB AND GUTTER
 - CONCRETE WALK



PRELIMINARY DEVELOPMENT PLAN
FOR
HUBBARD RD SUBDIVISION
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
SITE PLAN

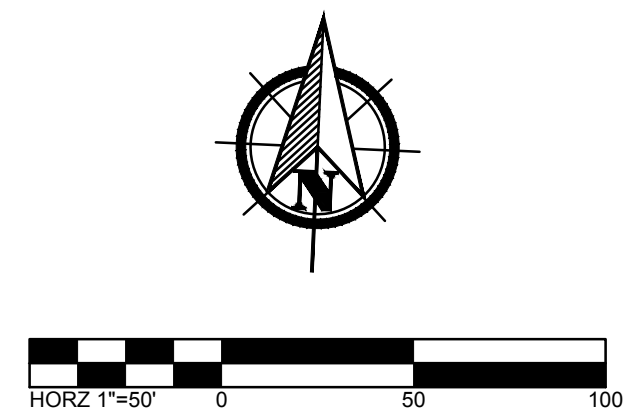
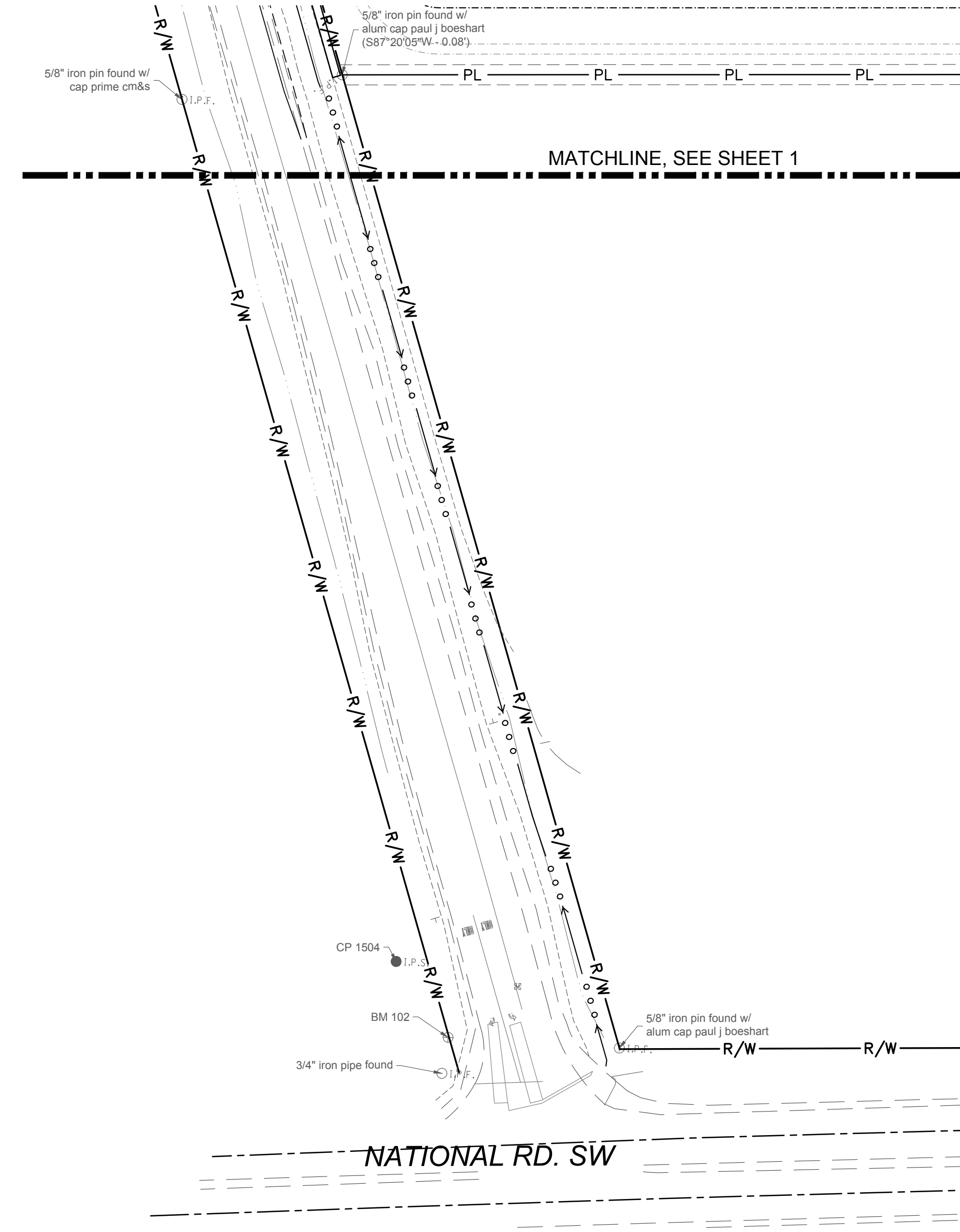
REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE: 12/15/2025
DRAWN BY: JJK
CHECKED BY: BDS
JOB NUMBER: 2025.00585

PLOT SCALE: 1"=120' DATE: 12/15/25 - 1:28 PM EDITED BY: JKROCKY DRAWING FILE: O:\2025\00585.D. DRAWING\CONSTRUCTION DOCUMENTS\PDF\2025_00585.SP.DWG

- SITE LEGEND**
- PL — PROPERTY LINE
 - R/W — RIGHT-OF-WAY
 - — STRAIGHT CURB
 - — CURB AND GUTTER
 - CONCRETE WALK



PRELIMINARY DEVELOPEMENT PLAN
 FOR
HUBBARD RD SUBDIVISION
 PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
SITE PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE: 12/15/2025
 DRAWN BY: JJK
 CHECKED BY: BDS
 JOB NUMBER: 2025.00585



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Preliminary Plan Page 1



Property Information

Site Address: Hubbard Road, Galloway, Ohio 43119	
Parcel ID(s): 240-000195	
Total Acreage: 17.011 AC	Current Zoning: PUD (approved by Township Trustees 1/21/26)
Township: Prairie	School District: South-Western City
Fire Department: Prairie Township Fire Department	Police Department: Hubbard Township Police Department

Subdivision Proposal

General

Proposed Subdivision Name: Darby Preserve	
Total Number of Lots Proposed: 43 Lots	Proposed Number of Phases: 1

Non-Residential Areas			Typical Lot Characteristics		
Reserve Areas:	8.815 acres	Width:	52.5 ft		
Open Space:	8.815 acres	Depth:	120 ft		
Streets:	1.54 acres	Typical Lot Area:	0.14 acres		

Roadways

Existing Access Roads	Proposed New Streets	Roadway Design	
<input type="checkbox"/> State	<input checked="" type="checkbox"/> Public	Will the subdivision have sidewalks?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> County	<input type="checkbox"/> Private		
<input checked="" type="checkbox"/> Township	<input type="checkbox"/> Both	Will the subdivision have curbs and gutters?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Not Applicable	<input type="checkbox"/> Not Applicable		

Stormwater Infrastructure

<input checked="" type="checkbox"/> Public
<input type="checkbox"/> Private
<input type="checkbox"/> Other

Water & Wastewater

Water Supply	Wastewater Treatment
<input checked="" type="checkbox"/> Public (Central)	<input checked="" type="checkbox"/> Public (Central)
<input type="checkbox"/> Private (On-site)	<input type="checkbox"/> Private (On-site)
<input type="checkbox"/> Other	<input type="checkbox"/> Other

Staff Use Only

Case #
Date Filed:
Fee Paid:
Receipt #
Received By:
Date Accepted/Rejected:
Planning Commission Date:

Subdivision Variance Needed

Yes If yes, you must attach a Variance Application to the Preliminary Plan Application

No

*Proposals requiring more than 3 variances must be heard at a separate meeting.

Checklist

<input checked="" type="checkbox"/> Completed Application
<input checked="" type="checkbox"/> Fee Payment (checks only)
<input checked="" type="checkbox"/> Preliminary Plan - 5 Copies folded
<input checked="" type="checkbox"/> Preliminary Plan - One 11"x17"
<input checked="" type="checkbox"/> Electronic Copy in PDF and CAD
<input checked="" type="checkbox"/> Subdivider's Agreement & HOA Declaration



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Preliminary Plan Page 2



Property Owner Information

Name:
T&R Properties, Inc. - RJ Sabatino (Contact)

Address:
3895 Stoneridge Ln, Dublin, OH 43017

Phone # (614) 923-4079 Fax #

Email:
rjsabatino@trprop.com

Engineer/Surveyor Information

Name:
American Structurepoint - Benjamin Schilling (Contact)

Address:
2550 Corporate Exchange Drive, Suite 300, Columbus, OH 43231

Phone # (614) 901-2235 Fax #

Email:
bschilling@structurepoint.com

Applicant Information

Same as property owner Same as engineer/surveyor

Name:

Address:

Phone # Fax #

Email:

Application for Subdivision Preliminary Plan

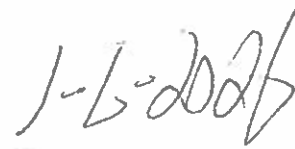
Page 1

Applicant Signature

The undersigned hereby certifies that the Preliminary Plan Application and related documents submitted herein that apply to the subdivision and zoning regulations, zoning, zoning changes, amendments to the zoning code, Franklin County Board of Commissioners, Planning and Zoning Commission, public hearings, and other public hearings, and all other applicable provisions, requirements, and procedures of the Franklin County Subdivision Regulations. The undersigned hereby certifies that the application is submitted and completed in accordance with the Subdivision Regulations of Franklin County, Ohio.

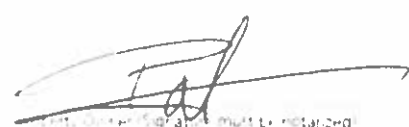
The undersigned hereby certifies that the information and material submitted as a part of this Application, the application fee, and the application fee receipt, and the County Technical Services Center fee receipt are hereby granted permission to use for the project, for any other and/or other purposes.


 J.R. Properties


 Date


 Date

1/6/2026
 Date


 (Signature must be notarized)



Mackenzie Camp
 Notary Public, State of Ohio
 Commission #: 2023-RE-862551
 My Commission Expires 04-20-2028
 M Camp 1-9-26

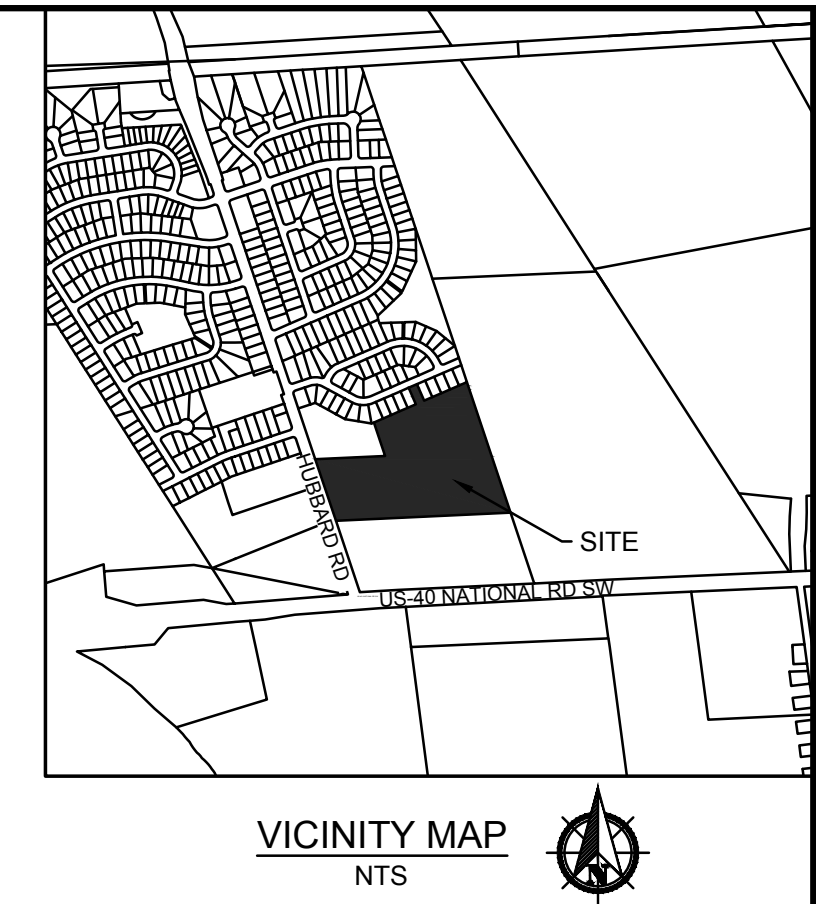
Date 1-09/26

(Signature must be notarized)

Date

- SHEET INDEX**
- 1 - TITLE SHEET
 - 2 - TYPICAL SECTIONS
 - 3-4 - EXISTING CONDITIONS & DEMOLITION PLAN
 - 5-6 - PRELIMINARY SITE PLAN
 - 7-8 - PRELIMINARY UTILITY PLAN
 - 9 - PRELIMINARY GRADING PLAN
 - 10-11 - STORMWATER MANAGEMENT DETAILS

PRELIMINARY PLAN
FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO



SITE DATA

EXISTING ZONING: SO (SUBURBAN OFFICE AND INSTITUTIONAL) & MFR-12 (MULTI-FAMILY RESIDENTIAL)

PARCEL ID: 240-000195-00

SCHOOL DISTRICT: SOUTH WESTERN CSD (2511)

TAX DISTRICT: 240 - PRAIRIE TOWNSHIP

PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

PROPOSED PUBLIC RIGHT-OF-WAY: 1.535 AC.

PROJECT SITE AREA: 17.011 AC.

OPEN SPACE: 8.848 AC. (51.82%)

TOTAL LOT AREA: 6.661 AC.

TOTAL LOTS: 43

LOT DIMENSIONS: 52.5'X120' (MIN)

GROSS AREA DENSITY: 2.53 LOTS / ACRE

MIN. LOT AREA 6,300 SF

MIN. SETBACKS (FRONT/SIDE/REAR) 25'/5'/30'

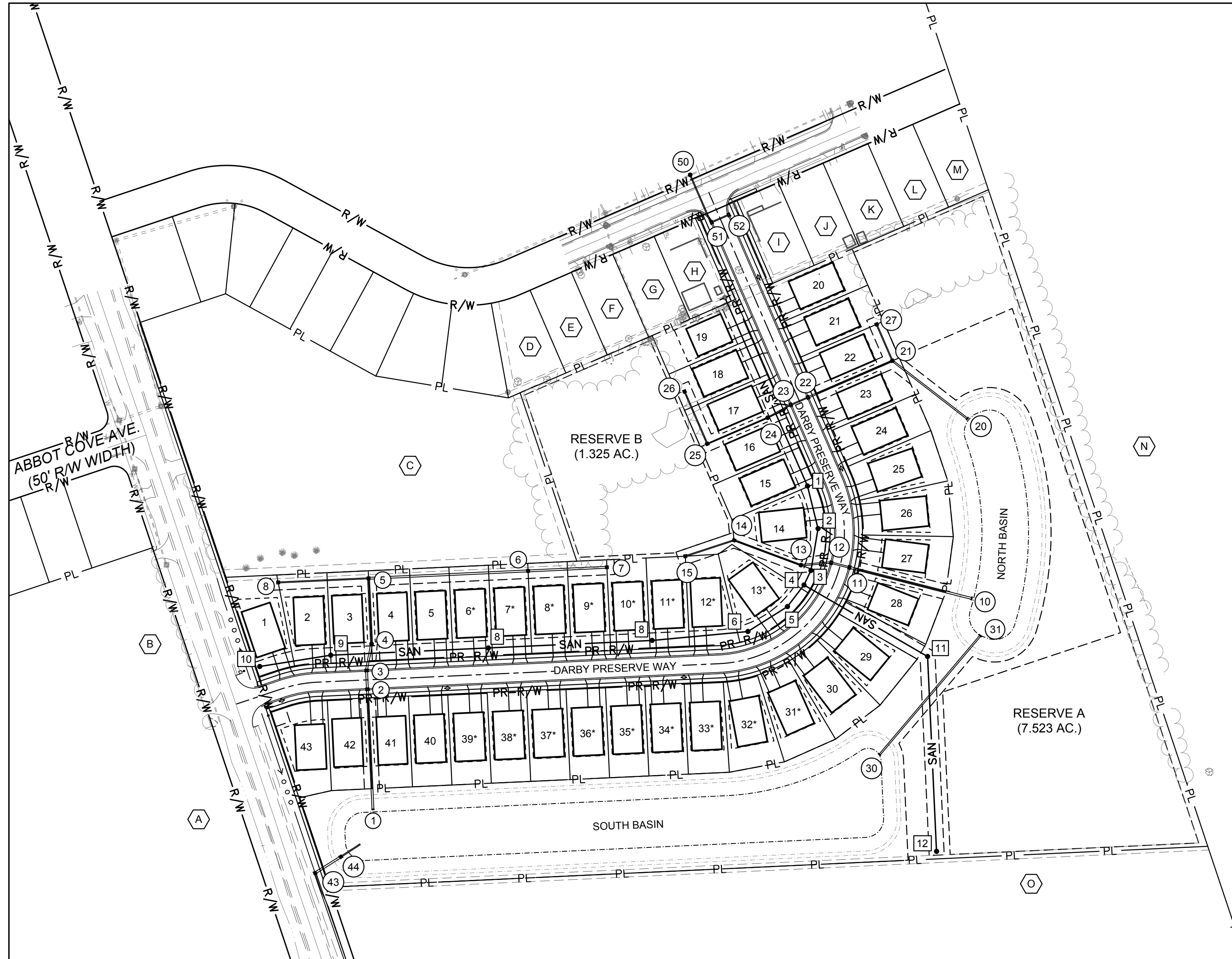
PAD (WIDTH/DEPTH): 40'X50'

LOCAL ROAD LENGTH: +/- 1337 LF

TYPICAL RW WIDTH: 50'-0"

ADJACENT PROPERTY INFORMATION

LOT	PID	ACRES	OWNER NAME	ADDRESS
A	240-000198-00	6.85	USA FOAM REAL ESTATE HOLDINGS	91 HUBBARD RD
B	240-000246-00	3.22	RICHARD A. MOWERY & PAULA K. MOWERY	121 HUBBARD RD
C	240-005465-00	3.20	FREDERICK R. AND DELIA WOTRING	140 HUBBARD RD
D	240-005397-00	0.17	DONALD T LARVA & ELIZABETH LARVA	8479 BLUE LAKE AVE
E	240-005398-00	0.17	AHLISHA JONES	8471 BLUE LAKE AVE
F	240-005399-00	0.17	PATRICK RANKIN	8465 BLUE LAKE AVE
G	240-005400-00	0.17	DEBRA J THOMAS	8453 BLUE LAKE AVE
H	240-005401-00	0.17	RONNY L CUNNINGHAM & KATHLEEN A CUNNINGHAM	8445 BLUE LAKE AVE
I	240-005402-00	0.17	SHARON L WINN, WENDY ROHRIG & TRINA A COAKLEY	8429 BLUE LAKE AVE
J	240-005403-00	0.18	LISA A TR CASTO	8421 BLUE LAKE AVE
K	240-005404-00	0.18	JORGE L NUNEZ MARTINEZ	8413 BLUE LAKE AVE
L	240-005405-00	0.18	LORRAIN D HARRIS	8407 BLUE LAKE AVE
M	250-005406-00	0.18	LOWELL T COLLIER & MURIEL L COLLIER	8399 BLUE LAKE AVE
N	240-000141-00	65.04	INGALLS FAMILY FARMS LIMITED LLC	8394 W BROAD ST
O	240-005466-00	12.93	PTG 1313 LLC	68 HUBBARD RD



BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE MEASURED FROM GRID NORTH, REFERENCED TO THE OHIO STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) AND THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), AS ESTABLISHED UTILIZING A GPS SURVEY AND AN NGS OPUS SOLUTION

HORIZONTAL CONTROL

COORDINATES ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), AS ESTABLISHED UTILIZING A GPS SURVEY AND AN NGS OPUS SOLUTION. A PROJECT ADJUSTMENT FACTOR OF 1.000054533 WAS APPLIED ABOUT C.P. 1500 TO OBTAIN GROUND COORDINATES.

C.P.	DESCRIPTION	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION
1500	5/8"X 30" IRON PIN SET W/ "ASI CONTROL POINT" CAP	711068.980	1764086.970	926.84
1501	MAG NAIL SET W/FLASHER	711785.915	1764666.500	925.87
1502	MAG NAIL SET W/FLASHER	711666.173	1764376.776	925.90
1503	MAG NAIL SET W/FLASHER	711876.319	1764884.832	926.74
1504	5/8"X 30" IRON PIN SET W/ "ASI CONTROL POINT" CAP	710405.567	1764222.447	926.00
1506	MAG SPIKE SET	711705.925	1763872.527	925.59

VERTICAL CONTROL

ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS DERIVED FROM GNSS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) AND GEOID 18, AND AN NGS OPUS SOLUTION FOR CONTROL POINT 1500. THE ELEVATIONS FOR ALL OTHER CONTROL POINTS AND BENCHMARKS LISTED HEREON WERE ESTABLISHED UTILIZING A DIFFERENTIAL LEVEL CIRCUIT ORIGINATING FROM CONTROL POINT 1500.

B.M.	DESCRIPTION	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION
1500	5/8"X 30" IRON PIN SET W/ "ASI CONTROL POINT" CAP	711068.980	1764086.970	926.84
100	CHISELED "X" ON THE NORTH BOLT OF THE FIRE HYDRANT INFRONT OF 8471 BLUE LAKE AVE ON THE SOUTH SIDE OF THE ROAD	N/A	N/A	927.23
101	MAG SPIKE ON THE EAST SIDE OF POWER POLE SW4672, SOUTH OF THE SOUTHERN DRIVE FOR 121 HUBBARD RD ON THE WEST SIDE OF THE ROAD	N/A	N/A	928.06
102	MAG SPIKE ON THE NORTH SIDE OF POWER POLE ON NORTHWEST CORNER OF THE INTERSECTION BETWEEN HUBBARD RD AND WEST BROAD AVE	N/A	N/A	927.29

- STANDARD DRAWINGS**
- CITY OF COLUMBUS
THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF.
- | | | | |
|----------|----------|------|------|
| AA-S102 | AA-S133B | 1441 | 2319 |
| AA-S112 | AA-S138 | 1510 | |
| AA-S119 | AA-S139 | 1640 | |
| AA-S125A | AA-S149 | 2010 | |
| AA-S126 | AA-S151 | 2201 | |
| AA-S133A | AA-S169 | 2230 | |
- AQUA OHIO
THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF.
- | | | | |
|--------|--------|--------|--------|
| SD-101 | SD-107 | SD-114 | SD-118 |
| SD-102 | SD-110 | SD-115 | |
| SD-104 | SD-113 | SD-116 | |



RESERVE INFORMATION

NAME	AREA	FUTURE OWNER	PURPOSE
A	7.523 AC.	HOA	CONSERVATION, STORMWATER MANAGEMENT, RECREATIONAL OPEN SPACE
B	1.325 AC.	HOA	CONSERVATION, RECREATIONAL OPEN SPACE

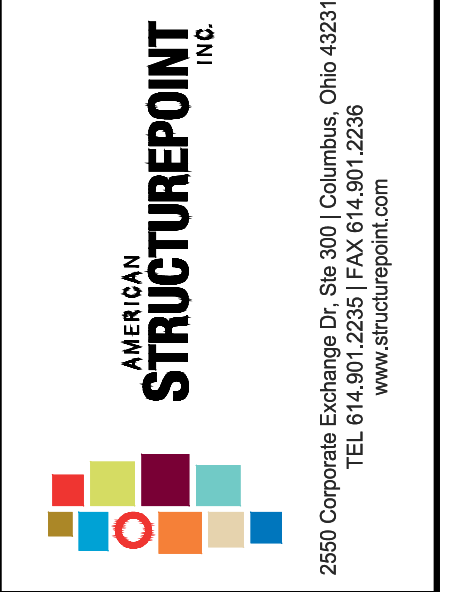
NOTE:
RESERVE 'A' & 'B' SHALL BE OWNED AND MAINTAINED AESTHETICALLY BY THE HOMEOWNERS ASSOCIATION. DRAINAGE EASEMENTS WITHIN RESERVE 'A' SHALL BE DEDICATED TO THE FRANKLIN COUNTY ENGINEER TO MAINTAIN FUNCTIONALITY OF THE PROPOSED STORMWATER FEATURES. ANY LANDSCAPING / TREE PLANTINGS MUST BE APPROVED THROUGH FRANKLIN COUNTY ENGINEER.

OWNER/ DEVELOPER
PTG 1313, LLC
CONTACT: RJ SABATINO
300 HILLIARD ROME ROAD
COLUMBUS, OH 43228
PHONE: (614)-923-4079
EMAIL: RJSABATINO@TRPROP.COM

ENGINEER
AMERICAN STRUCTUREPOINT
2550 CORPORATE EXCHANGE DRIVE, SUITE 300
COLUMBUS, OHIO 43231
CONTACT: BEN SCHILLING
PHONE: 614-901-2235
EMAIL: BSCHILLING@STRUCTUREPOINT.COM

REGISTERED ENGINEER
BENJAMIN D. SCHILLING, E-86196, P.E.

DATE _____



PRELIMINARY PLAN
FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
TITLE SHEET

REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION

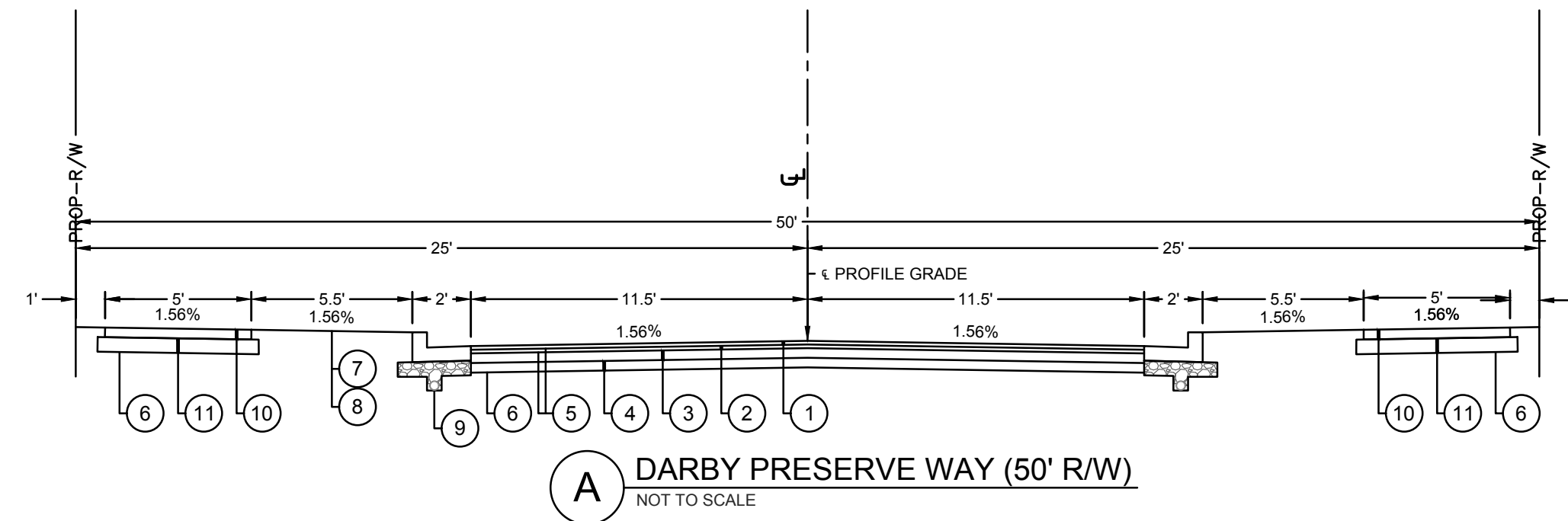
IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE: 4/13/2026
DRAWN BY: HSR
CHECKED BY: JJK
JOB NUMBER: 2025.00585

PLOT SCALE: 1" = 400' DATE: 4/13/26 3:46 PM EDITED BY: BUCHANSON DRAWING FILE: C:\2025\00585.D DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\PRELIMINARY PLANS\2025.00585.TS.DWG



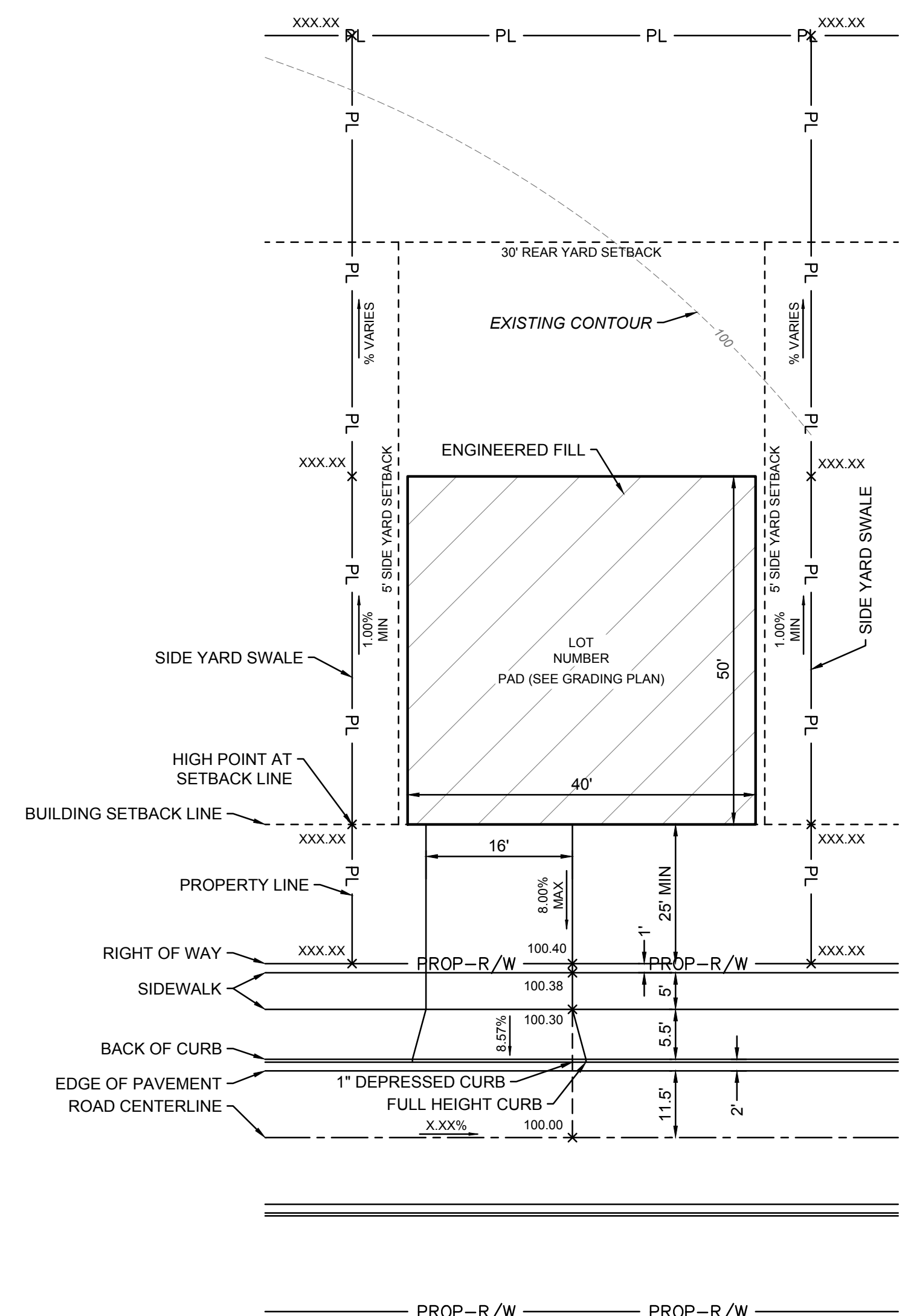
PLOT SCALE: 1:1 EDIT DATE: 4/13/26 3:46 PM EDITED BY: BUCHANSON DRAWING FILE: 0:202500585.D DRAWING: CIVIL CONSTRUCTION DOCUMENT PRELIMINARY PLAN 2025.00585 TS DWG



A DARBY PRESERVE WAY (50' R/W)
NOT TO SCALE

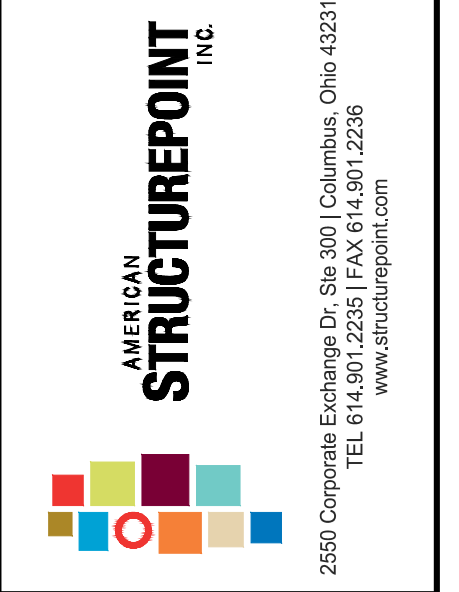
LEGEND	
①	ITEM 441 - 1 1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448) PG. 64-22
②	ITEM 441 - 1 1/2" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, (448)
③	ITEM 301 - 4" ASPHALT CONCRETE BASE, PG64-22
④	ITEM 304 - 4" AGGREGATE BASE
⑤	ITEM 407 - NON-TRACKING TACK COAT
⑥	ITEM 204 - SUBGRADE COMPACTION
⑦	ITEM 653 - TOPSOIL FURNISHED AND PLACED
⑧	ITEM 659 - SEEDING AND MULCHING
⑨	ITEM 609 - COMBINATION CURB & GUTTER
⑩	ITEM 441 - 3" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, (448), PG64-22
⑪	ITEM 304 - 6" AGGREGATE BASE

- NOTES:**
- RESIDENTIAL STREET PAVEMENT DESIGN IS BASED ON THE FRANKLIN COUNTY LOCAL STREET PAVEMENT DESIGN. AMERICAN STRUCTUREPOINT, INC. IS NOT RESPONSIBLE FOR THE PAVEMENT DESIGN.
 - ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECS.
 - ALL TRENCHES WITHIN THE RIGHT-OF-WAY MUST BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.



*NOTE:
THIS ELEVATION HAS BEEN ESTABLISHED AS THE MINIMUM FOR THE GROUND AROUND THE PAD TO ENSURE PROPER DRAINAGE. THE SURVEYOR SHALL GIVE A CUT OR FILL TO THIS ELEVATION FROM ONE OR MORE STAKES WHEN STAKING THE HOUSE. THE BUILDER SHALL NOT RAISE THE ELEVATION MORE THAN 0.5'.
THE MAXIMUM DRIVEWAY GRADE IS 8.00%.

TYPICAL LOT LAYOUT
NOT TO SCALE

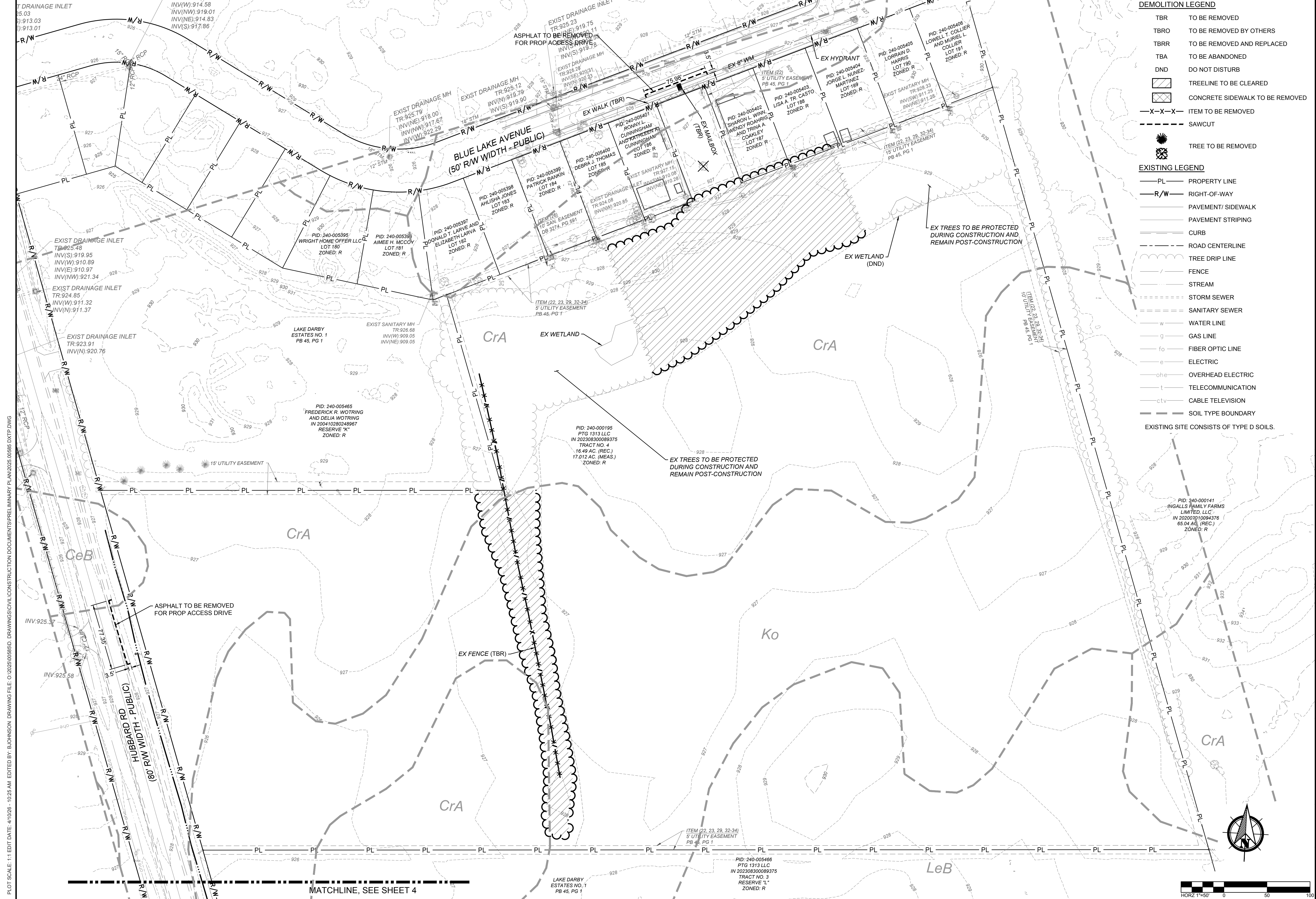


PRELIMINARY PLAN
FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
TYPICAL SECTIONS

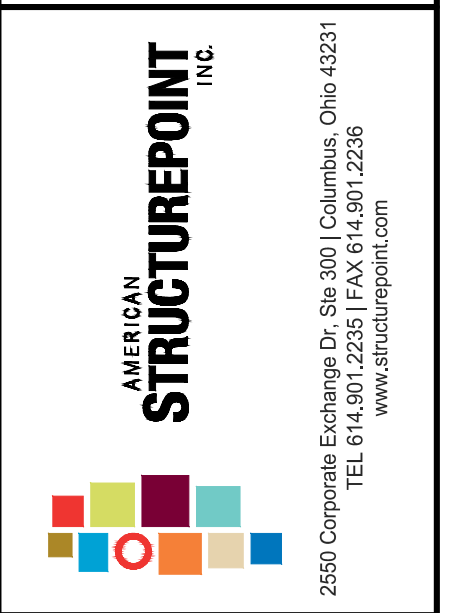
REVISIONS	DATE	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE:	4/13/2026
DRAWN BY:	HSR
CHECKED BY:	JJK
JOB NUMBER:	2025.00585



- DEMOLITION LEGEND**
- TBR TO BE REMOVED
 - TBRO TO BE REMOVED BY OTHERS
 - TBRR TO BE REMOVED AND REPLACED
 - TBA TO BE ABANDONED
 - DND DO NOT DISTURB
 - TREELINE TO BE CLEARED
 - CONCRETE SIDEWALK TO BE REMOVED
 - X-X-X- ITEM TO BE REMOVED
 - SAWCUT
 - TREE TO BE REMOVED
- EXISTING LEGEND**
- PL PROPERTY LINE
 - R/W RIGHT-OF-WAY
 - PAVEMENT SIDEWALK
 - PAVEMENT STRIPING
 - CURB
 - ROAD CENTERLINE
 - TREE DRIP LINE
 - FENCE
 - STREAM
 - STORM SEWER
 - SANITARY SEWER
 - WATER LINE
 - GAS LINE
 - FIBER OPTIC LINE
 - ELECTRIC
 - OVERHEAD ELECTRIC
 - TELECOMMUNICATION
 - CABLE TELEVISION
 - SOIL TYPE BOUNDARY
- EXISTING SITE CONSISTS OF TYPE D SOILS.



PRELIMINARY PLAN FOR
DARBY PRESERVE
 PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

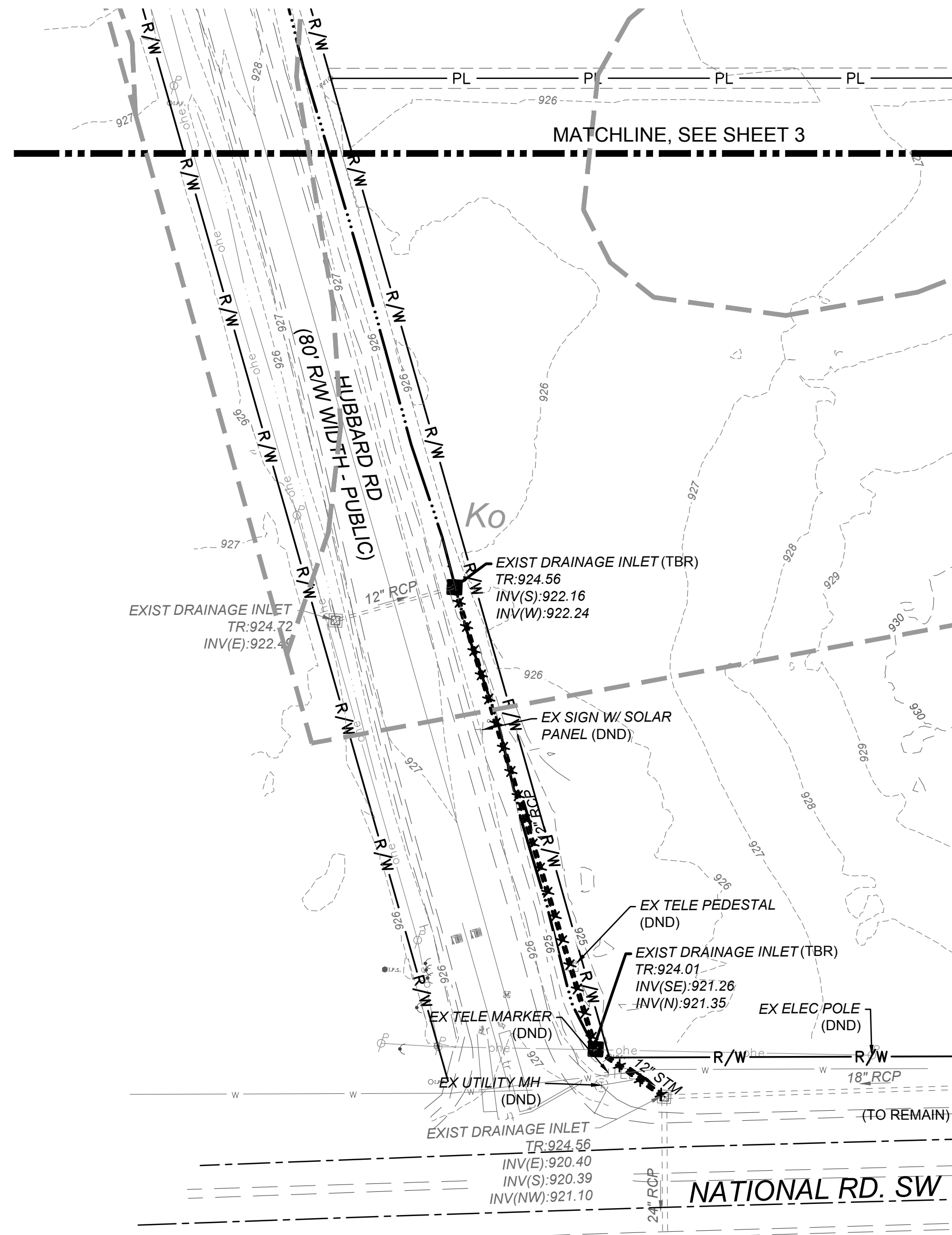
DATE: 4/10/2026
 DRAWN BY: HSR
 CHECKED BY: JJK
 JOB NUMBER: 2025.00585

PLOT SCALE: 1"=100' DATE: 4/10/26 - 10:26 AM EDITED BY: BJOHNSON DRAWING FILE: O:\2025\00585.DWG DRAWINGS\CIVIL\CONSTRUCTION\DOCUMENTS\PRELIMINARY\PLAN\2025.00585.DXTP.DWG

MATCHLINE, SEE SHEET 4

HORZ 1"=50' 0 50 100

PLOT SCALE: 1:1 EDIT DATE: 4/10/26 - 10:26 AM. EDITED BY: BJOHNSON DRAWING FILE: O:\2025\00585.D DRAWINGS\CIVIL\CONSTRUCTION\DOCUMENTS\PRELIMINARY\PLAN\2025_00585_DXT.P DWG

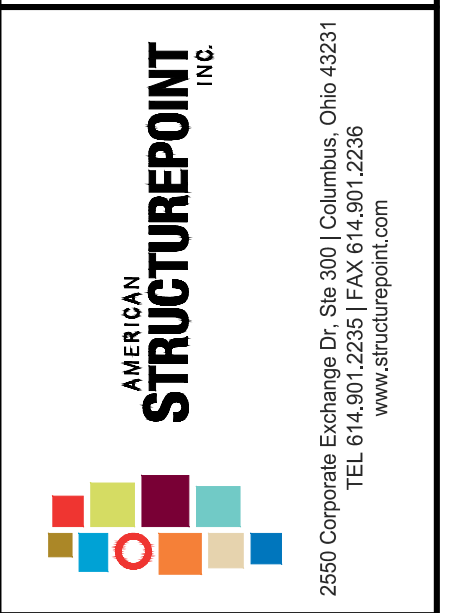


DEMOLITION LEGEND

- TBR TO BE REMOVED
- TBRO TO BE REMOVED BY OTHERS
- TBRR TO BE REMOVED AND REPLACED
- TBA TO BE ABANDONED
- DND DO NOT DISTURB
- TREELINE TO BE CLEARED
- CONCRETE SIDEWALK TO BE REMOVED
- X-X-X- ITEM TO BE REMOVED
- - - SAWCUT
- TREE TO BE REMOVED

EXISTING LEGEND

- PL — PROPERTY LINE
 - R/W — RIGHT-OF-WAY
 - PAVEMENT/ SIDEWALK
 - PAVEMENT STRIPING
 - CURB
 - ROAD CENTERLINE
 - TREE DRIP LINE
 - / — FENCE
 - STREAM
 - STORM SEWER
 - SANITARY SEWER
 - w — WATER LINE
 - g — GAS LINE
 - fo — FIBER OPTIC LINE
 - e — ELECTRIC
 - ohe — OVERHEAD ELECTRIC
 - t — TELECOMMUNICATION
 - ctv — CABLE TELEVISION
 - SOIL TYPE BOUNDARY
- EXISTING SITE CONSISTS OF TYPE D SOILS.

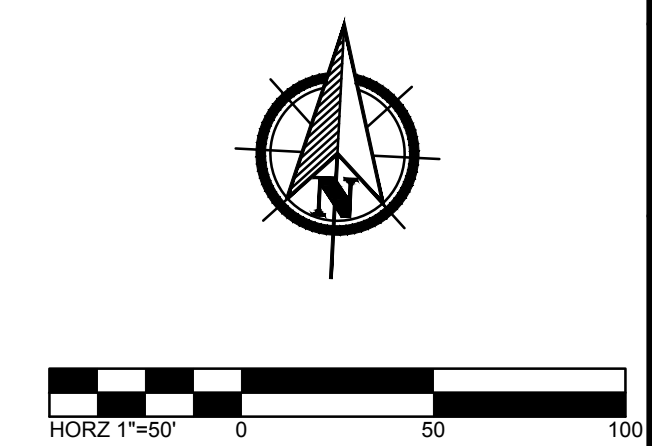


PRELIMINARY PLAN
FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
**EXISTING CONDITIONS &
DEMOLITION PLAN**

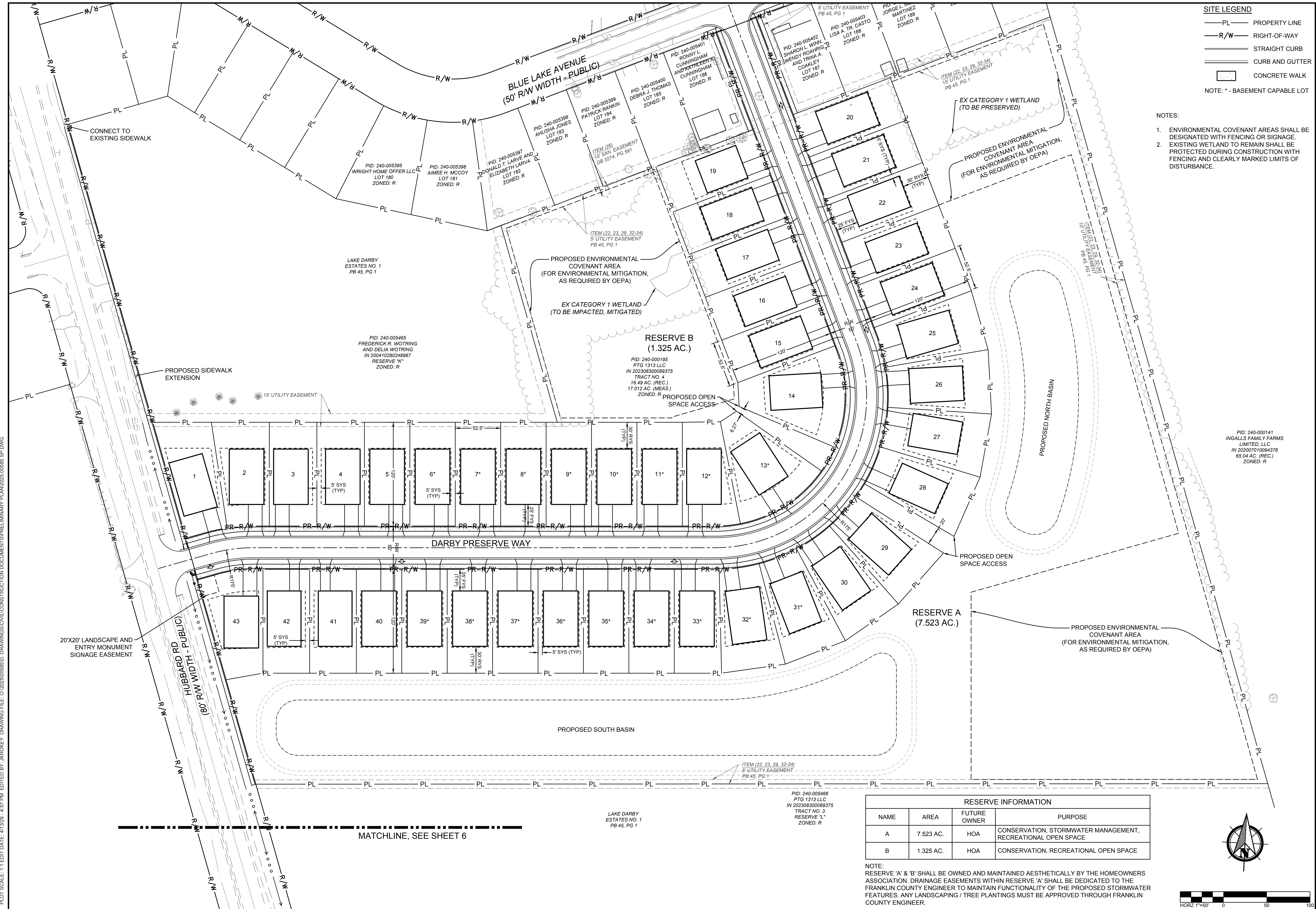
REVISIONS	DATE	SHEET NO.	DESCRIPTION

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IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE:	4/10/2026
DRAWN BY:	HSR
CHECKED BY:	JJK
JOB NUMBER:	2025.00585



PLOT SCALE: 1"=110' DATE: 4/13/26 4:57 PM EDITED BY: MKOKEY DRAWING FILE: 0:202500585.DRAWINGS\CIVIL\CONSTRUCTION\DOCUMENTS\PRELIMINARY\PLAN\2025.00585.SP.DWG



SITE LEGEND

- PL — PROPERTY LINE
- R/W — RIGHT-OF-WAY
- STRAIGHT CURB
- CURB AND GUTTER
- ▭ CONCRETE WALK

NOTE: * - BASEMENT CAPABLE LOT

- NOTES:
- ENVIRONMENTAL COVENANT AREAS SHALL BE DESIGNATED WITH FENCING OR SIGNAGE.
 - EXISTING WETLAND TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING AND CLEARLY MARKED LIMITS OF DISTURBANCE.

AMERICAN STRUCTUREPOINT INC.

2550 Corporate Exchange Ct, Ste 300 | Columbus, Ohio 43221
TEL: 614.422.2226
WWW.STRUCTUREPOINT.COM

PRELIMINARY PLAN FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY SITE PLAN

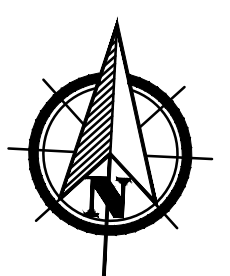
REVISIONS	DATE	SHEET NO.	DESCRIPTION

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DATE:	4/13/2026
DRAWN BY:	HSR
CHECKED BY:	JJK
JOB NUMBER:	2025.00585

RESERVE INFORMATION			
NAME	AREA	FUTURE OWNER	PURPOSE
A	7.523 AC.	HOA	CONSERVATION, STORMWATER MANAGEMENT, RECREATIONAL OPEN SPACE
B	1.325 AC.	HOA	CONSERVATION, RECREATIONAL OPEN SPACE

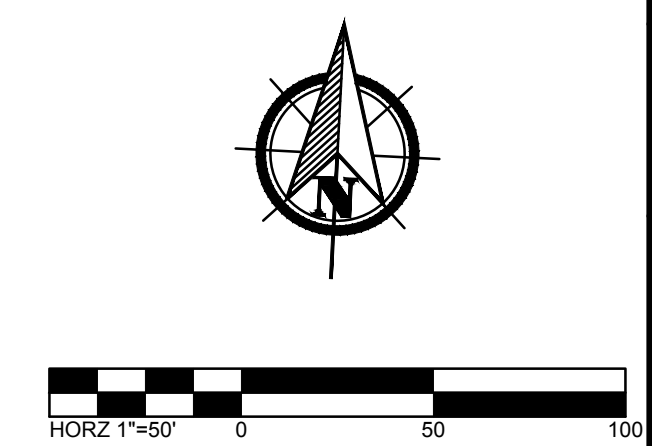
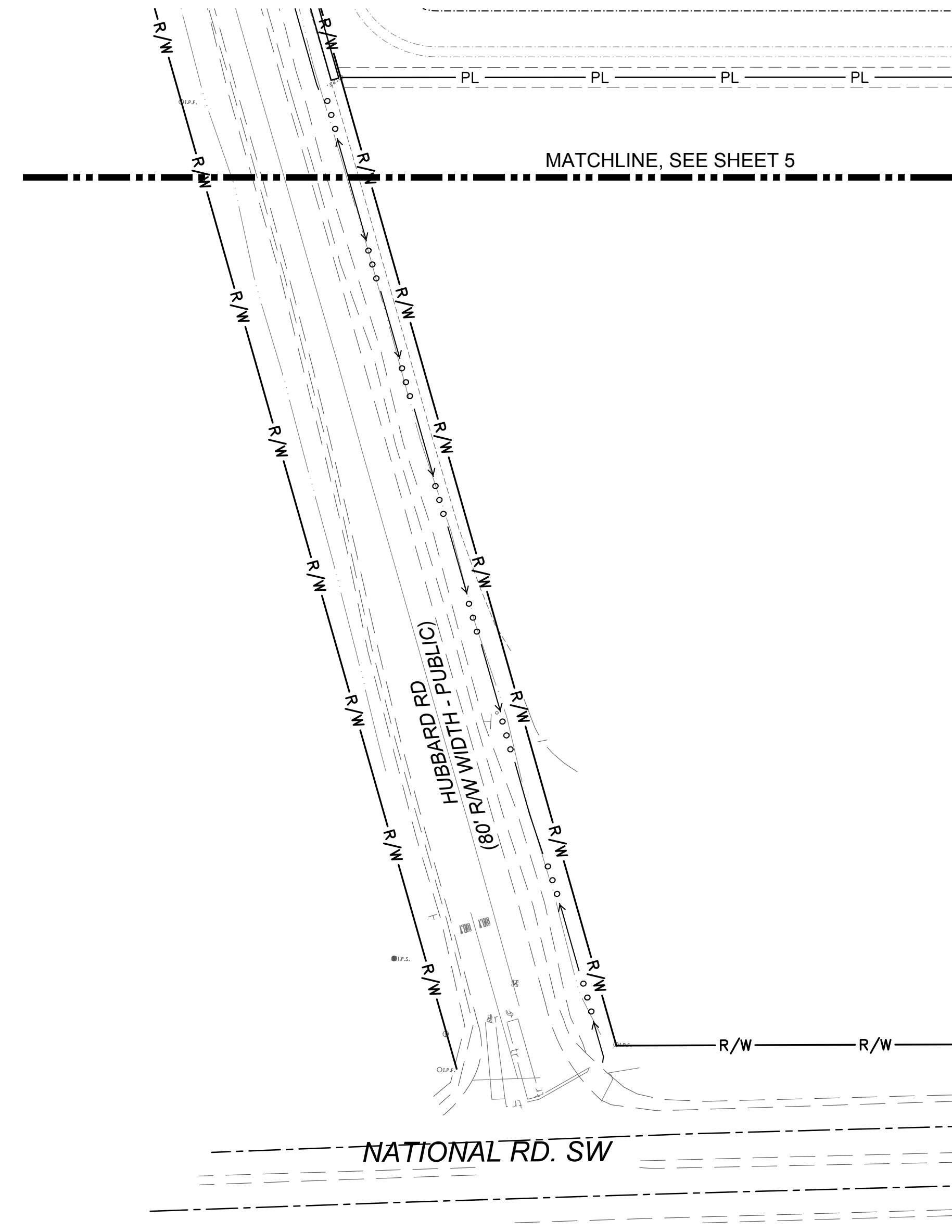
NOTE: RESERVE 'A' & 'B' SHALL BE OWNED AND MAINTAINED AESTHETICALLY BY THE HOMEOWNERS ASSOCIATION. DRAINAGE EASEMENTS WITHIN RESERVE 'A' SHALL BE DEDICATED TO THE FRANKLIN COUNTY ENGINEER TO MAINTAIN FUNCTIONALITY OF THE PROPOSED STORMWATER FEATURES. ANY LANDSCAPING / TREE PLANTINGS MUST BE APPROVED THROUGH FRANKLIN COUNTY ENGINEER.



PLOT SCALE: 1:1 EDIT DATE: 4/13/26 - 4:18 PM EDITED BY: BUCHANSON DRAWING FILE: O:\2025\00585\DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\PRELIMINARY PLAN\2025.00585.SP.DWG

SITE LEGEND

— PL —	PROPERTY LINE
— R/W —	RIGHT-OF-WAY
=====	STRAIGHT CURB
=====	CURB AND GUTTER
▨	CONCRETE WALK



REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

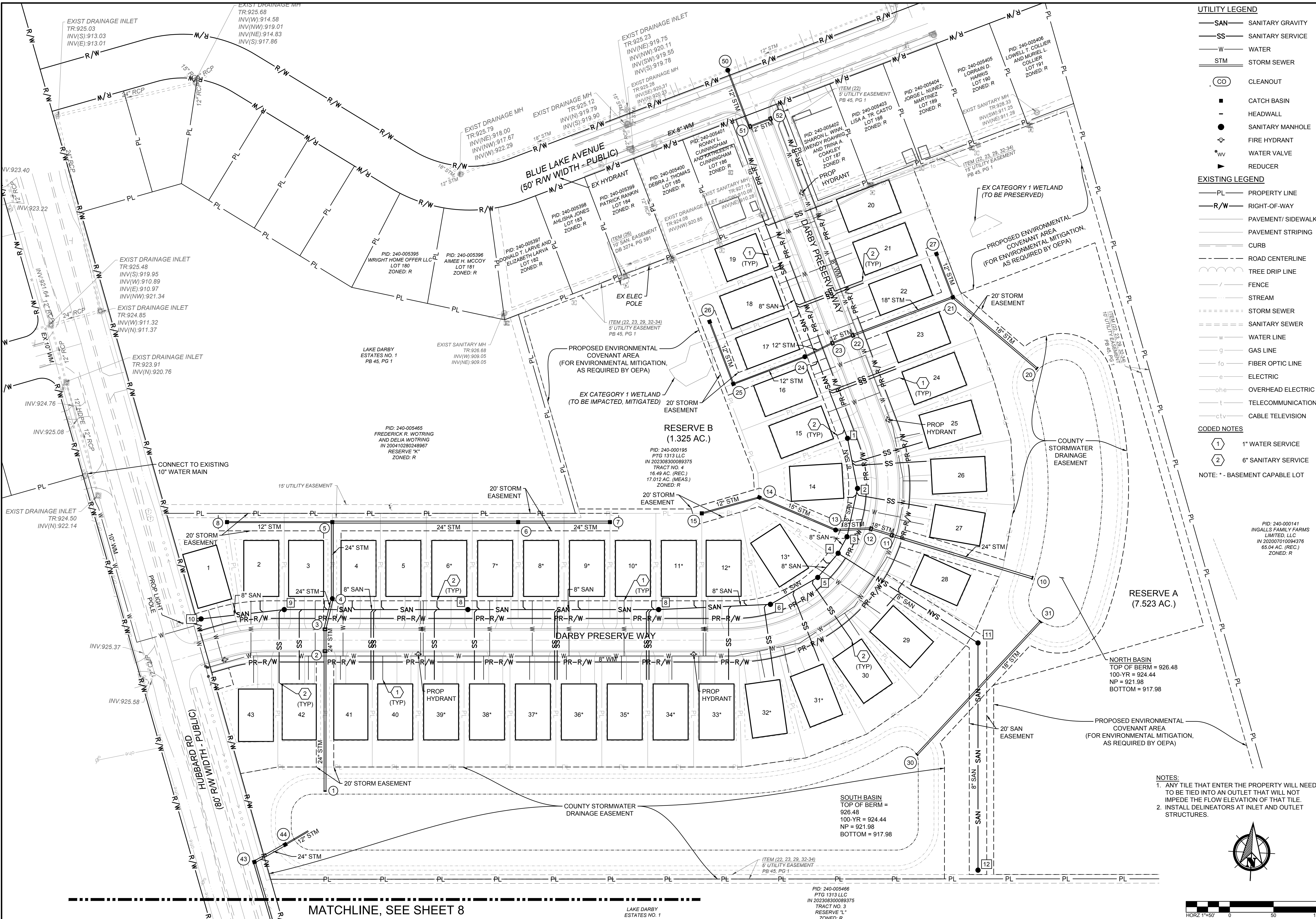
DATE:	4/13/2026
DRAWN BY:	HSR
CHECKED BY:	JJK
JOB NUMBER:	2025.00585

6/11

PRELIMINARY PLAN
 FOR
DARBY PRESERVE
 PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY SITE PLAN

AMERICAN STRUCTUREPOINT INC.
 2550 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43231
 TEL: 614.425.1226
 www.structurepoint.com

PLOT SCALE: 1" = 40' DATE: 4/13/25 4:22 PM EDITED BY: BUCHANSON DRAWING FILE: 012025005856.DRAWINGSCIVILCONSTRUCTION DOCUMENTS\PRELIMINARY PLANS\2025.005856 UP.DWG



- UTILITY LEGEND**
- SAN — SANITARY GRAVITY
 - SS — SANITARY SERVICE
 - W — WATER
 - STM — STORM SEWER
 - ⊙ CO CLEANOUT
 - CATCH BASIN
 - HEADWALL
 - SANITARY MANHOLE
 - ⊕ FIRE HYDRANT
 - ⊙ WW WATER VALVE
 - ▼ REDUCER
- EXISTING LEGEND**
- PL — PROPERTY LINE
 - R/W — RIGHT-OF-WAY
 - PAVEMENT/ SIDEWALK
 - PAVEMENT STRIPING
 - CURB
 - ROAD CENTERLINE
 - TREE DRIP LINE
 - FENCE
 - STREAM
 - STORM SEWER
 - SANITARY SEWER
 - WATER LINE
 - GAS LINE
 - FO FIBER OPTIC LINE
 - E ELECTRIC
 - ohe OVERHEAD ELECTRIC
 - t TELECOMMUNICATION
 - ctv CABLE TELEVISION
- CODED NOTES**
- ① 1" WATER SERVICE
 - ② 6" SANITARY SERVICE
- NOTE: * - BASEMENT CAPABLE LOT

**PRELIMINARY PLAN FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY UTILITY PLAN**

AMERICAN STRUCTUREPOINT INC.

2550 Corporate Exchange Dr., Ste. 300 | Columbus, Ohio 43221
TEL: 614.991.1226
WWW.STRUCTUREPOINT.COM

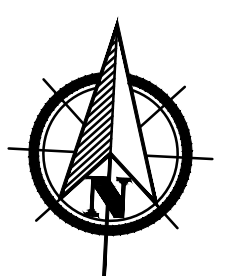
REVISIONS	DATE	SHEET NO.	DESCRIPTION

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DATE: 4/13/2026
 DRAWN BY: HSR
 CHECKED BY: JJK
 JOB NUMBER: 2025.00585

7/11

NOTES:
 1. ANY TILE THAT ENTER THE PROPERTY WILL NEED TO BE TIED INTO AN OUTLET THAT WILL NOT IMPEDE THE FLOW ELEVATION OF THAT TILE.
 2. INSTALL DELINEATORS AT INLET AND OUTLET STRUCTURES.



MATCHLINE, SEE SHEET 8

PID: 240-005466
 PTG 1313 LLC
 IN 202308300089375
 TRACT NO. 3
 RESERVE 1" ZONED: R

LAKE DARBY ESTATES NO. 1

PID: 240-000141
 INGALLS FAMILY FARMS LIMITED, LLC
 IN 202007010094376
 65.04 AC. (REC.)
 ZONED: R

NORTH BASIN
 TOP OF BERM = 926.48
 100-YR = 924.44
 NP = 921.98
 BOTTOM = 917.98

SOUTH BASIN
 TOP OF BERM = 926.48
 100-YR = 924.44
 NP = 921.98
 BOTTOM = 917.98

PROPOSED ENVIRONMENTAL COVENANT AREA (FOR ENVIRONMENTAL MITIGATION, AS REQUIRED BY OEPA)

EX CATEGORY 1 WETLAND (TO BE IMPACTED, MITIGATED)

EX CATEGORY 1 WETLAND (TO BE PRESERVED)

PROPOSED ENVIRONMENTAL COVENANT AREA (FOR ENVIRONMENTAL MITIGATION, AS REQUIRED BY OEPA)

RESERVE B (1.325 AC.)

RESERVE A (7.523 AC.)

PID: 240-000195
 PTG 1313 LLC
 IN 202308300089375
 TRACT NO. 4
 16.49 AC. (REC.)
 17.012 AC. (MEAS.)
 ZONED: R

PID: 240-005465
 FREDERICK R. WOTRING AND DELIA WOTRING
 IN 201410280248967
 RESERVE "K"
 ZONED: R

LAKE DARBY ESTATES NO. 1
 PB 45, PG 1

EXIST SANITARY MH
 TR: 926.68
 INV(W): 909.05
 INV(NE): 909.05

PID: 240-005397
 DOUGLAD T. LARVE AND ELIZABETH LARVA
 LOT 182
 ZONED: R

PID: 240-005396
 AIMEE H. MCCOY
 LOT 181
 ZONED: R

PID: 240-005395
 WRIGHT HOME OFFER LLC
 LOT 180
 ZONED: R

EXIST DRAINAGE MH
 TR: 925.23
 INV(NE): 919.75
 INV(NW): 920.11
 INV(SW): 919.55
 INV(S): 919.78

EXIST DRAINAGE MH
 TR: 925.12
 INV(N): 919.79
 INV(S): 919.90

EXIST DRAINAGE MH
 TR: 925.79
 INV(NE): 918.00
 INV(NW): 917.67
 INV(W): 922.29

EXIST DRAINAGE INLET
 TR: 925.03
 INV(S): 913.03
 INV(E): 913.01

EXIST DRAINAGE MH
 TR: 925.68
 INV(W): 914.58
 INV(NW): 919.01
 INV(NE): 914.83
 INV(S): 917.86

EXIST DRAINAGE INLET
 TR: 925.48
 INV(S): 919.95
 INV(W): 910.89
 INV(E): 910.97
 INV(NW): 921.34

EXIST DRAINAGE INLET
 TR: 924.85
 INV(W): 911.32
 INV(N): 911.37

EXIST DRAINAGE INLET
 TR: 923.91
 INV(N): 920.76

EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

CONNECT TO EXISTING 10" WATER MAIN

EXIST DRAINAGE INLET
 TR: 925.37
 INV(N): 925.58

EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

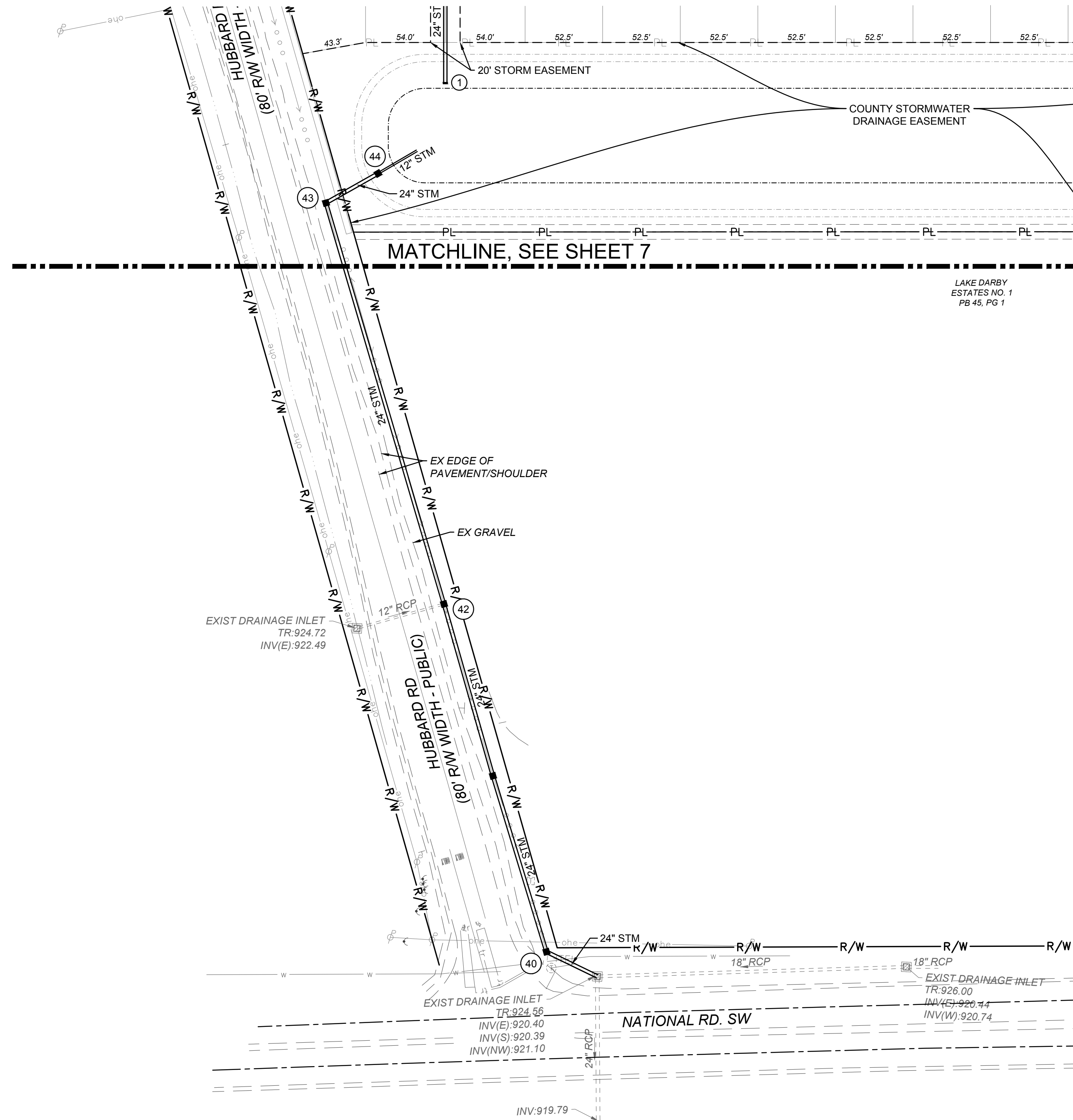
EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

EXIST DRAINAGE INLET
 TR: 924.50
 INV(N): 922.14

PLOT SCALE: 1:1 EDIT DATE: 4/13/26 4:22 PM EDITED BY: BUCHANSON DRAWING FILE: O:\2025\0585\0585.D DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\PRELIMINARY PLAN\2025.0585.LP.DWG



UTILITY LEGEND

- SANITARY GRAVITY
- SANITARY SERVICE
- WATER
- STORM SEWER
- CLEANOUT
- CATCH BASIN
- HEADWALL
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- REDUCER

EXISTING LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- PAVEMENT/ SIDEWALK
- PAVEMENT STRIPING
- CURB
- ROAD CENTERLINE
- TREE DRIP LINE
- FENCE
- STREAM
- STORM SEWER
- SANITARY SEWER
- WATER LINE
- GAS LINE
- FIBER OPTIC LINE
- ELECTRIC
- OVERHEAD ELECTRIC
- TELECOMMUNICATION
- CABLE TELEVISION

CODED NOTES

- 1" WATER SERVICE
- 6" SANITARY SERVICE

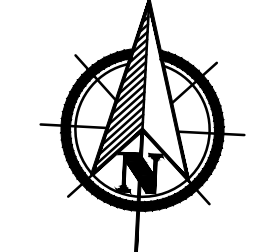
AMERICAN STRUCTUREPOINT INC.
 2550 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43231
 TEL: 614.422.2226
 www.structurepoint.com

PRELIMINARY PLAN
 FOR
DARBY PRESERVE
 PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
PRELIMINARY UTILITY PLAN

REVISIONS	DATE	SHEET NO.	DESCRIPTION

APPROVAL PENDING NOT FOR CONSTRUCTION
 IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

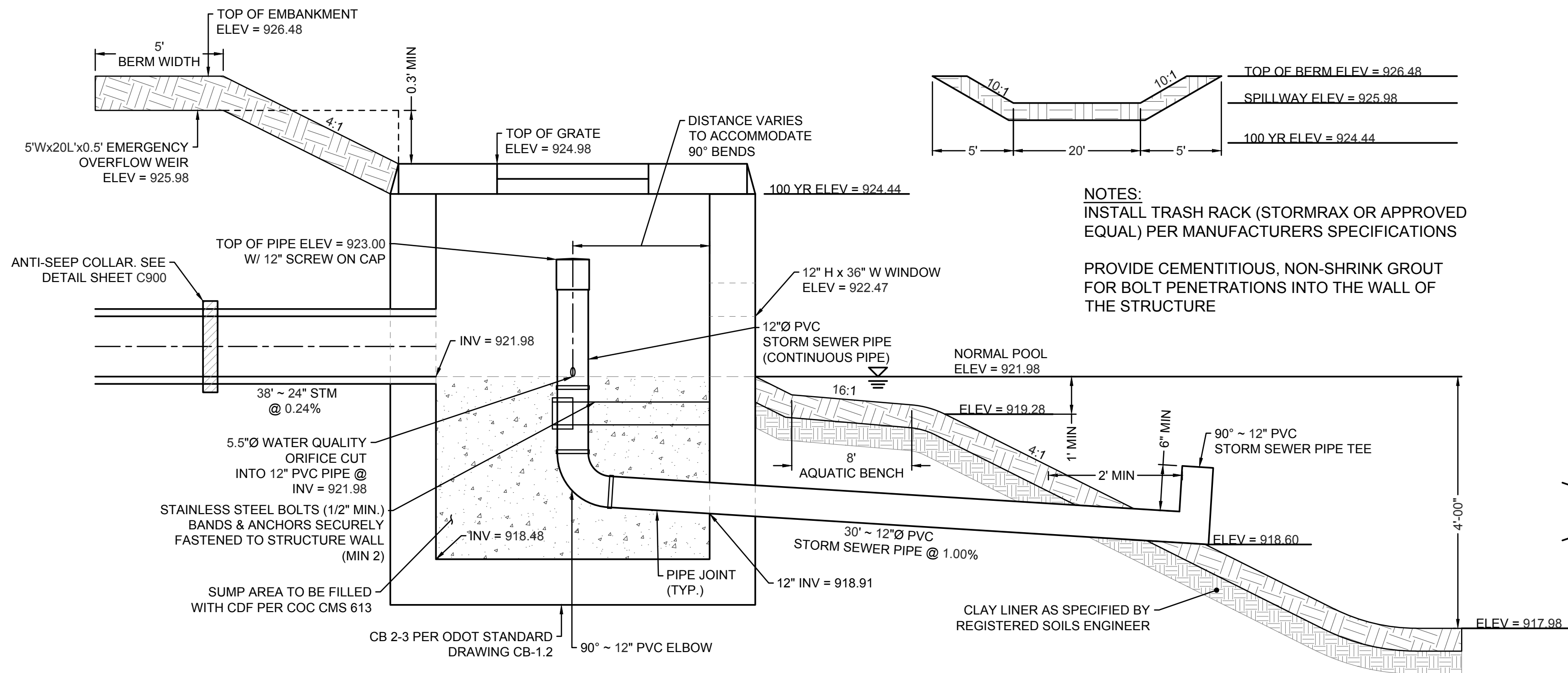
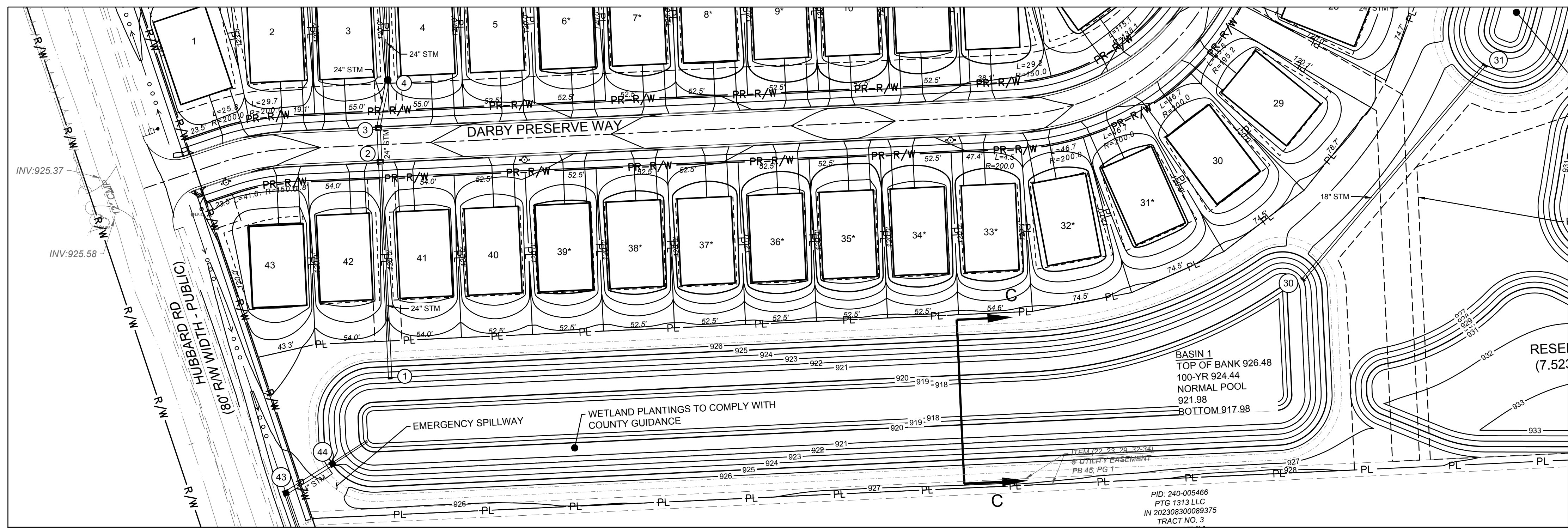
- NOTES:**
- ANY TILE THAT ENTER THE PROPERTY WILL NEED TO BE TIED INTO AN OUTLET THAT WILL NOT IMPEDE THE FLOW ELEVATION OF THAT TILE.
 - INSTALL DELINEATORS AT INLET AND OUTLET STRUCTURES.



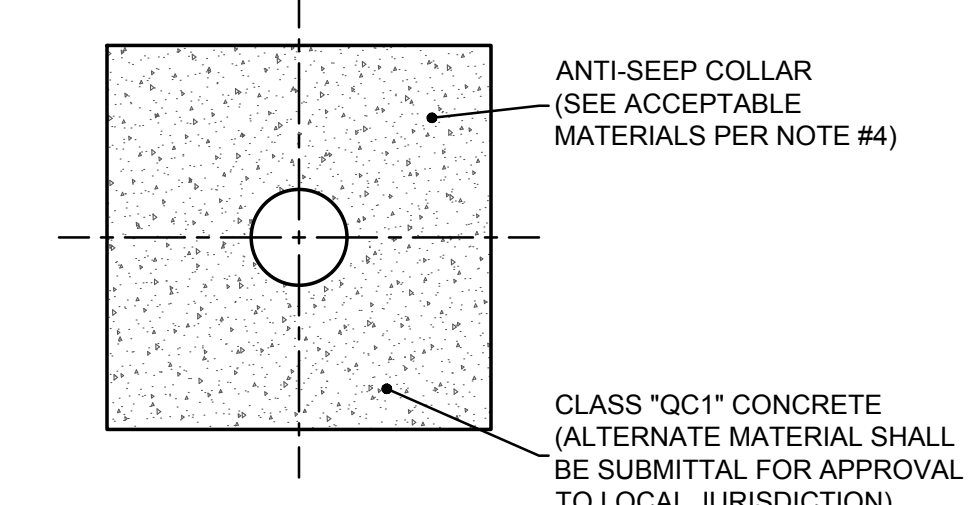
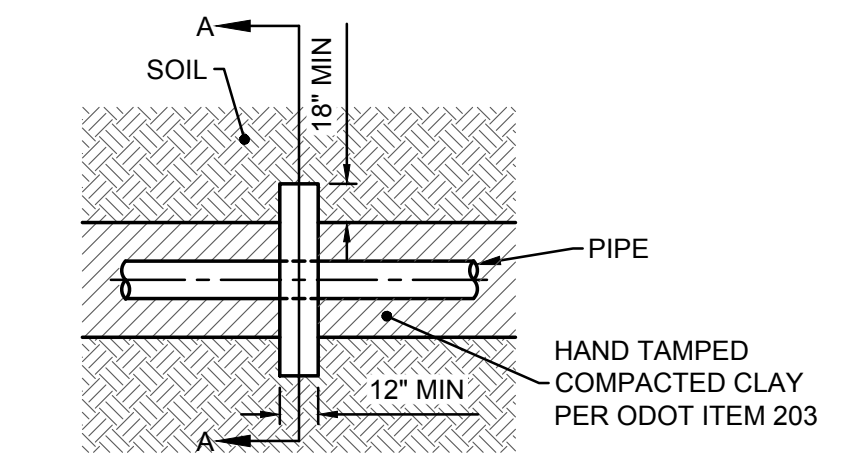
DATE:	4/13/2026
DRAWN BY:	HSR
CHECKED BY:	JJK
JOB NUMBER:	2025.00585

8/11

PLOT SCALE: 1:1; EDIT DATE: 4/13/26 - 4:51 PM; EDITED BY: MKOKEY; DRAWING FILE: 0:202600585.D; DRAWINGS\CIVIL\CONSTRUCTION DOCUMENT\PRELIMINARY PLAN\2026 00585 SWM.DWG

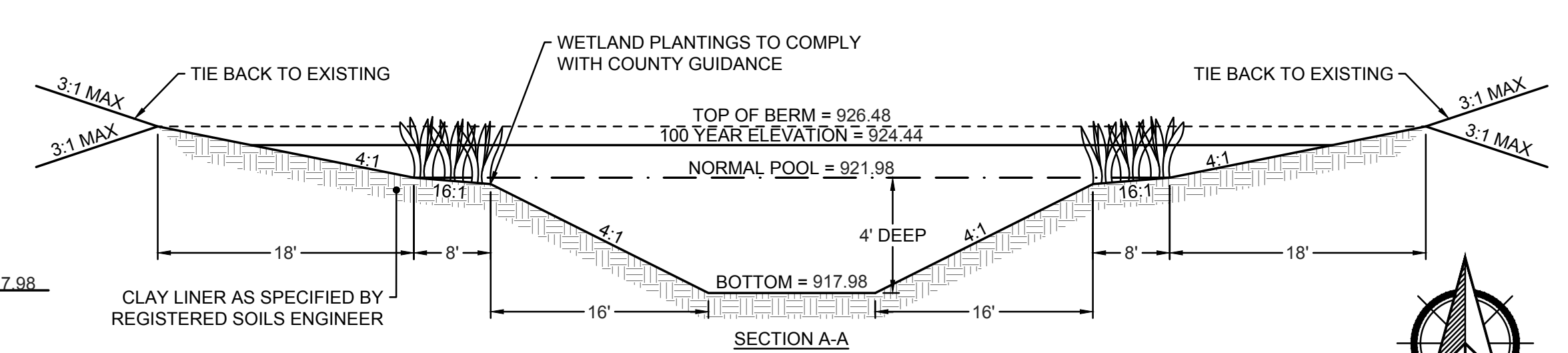


NOTES:
INSTALL TRASH RACK (STORMRAX OR APPROVED EQUAL) PER MANUFACTURERS SPECIFICATIONS
PROVIDE CEMENTITIOUS, NON-SHRINK GROUT FOR BOLT PENETRATIONS INTO THE WALL OF THE STRUCTURE



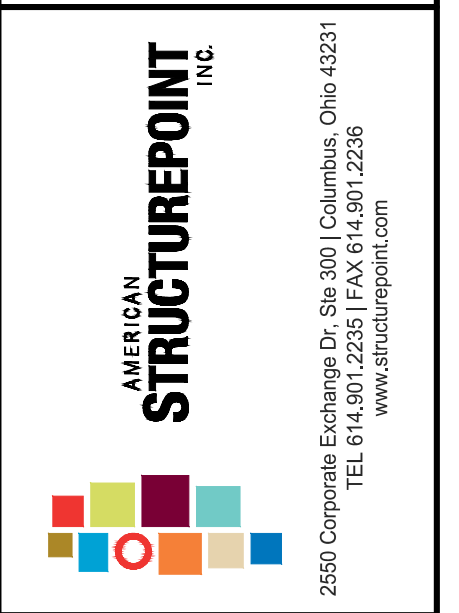
- NOTES
- SPACING BETWEEN ADJACENT COLLARS SHALL BE A MINIMUM OF 5 FEET WITH THE FIRST COLLAR BEING A MINIMUM OF 5 FEET FROM THE INLET.
 - FURNISH A MINIMUM OF 2 COLLARS PER OUTLET CONDUIT.
 - ALL ANTI-SEEP COLLARS AND THEIR CONNECTIONS SHALL BE WATERTIGHT.
 - ANTI-SEEP COLLAR SHALL BE CONSTRUCTED OF CONCRETE OR SAME MATERIAL AS THE CONDUIT. THE FOLLOWING ARE ACCEPTABLE MATERIALS:
- A. CLASS "QC1" CONCRETE
B. STEEL
C. CORRUGATED METAL
D. PLASTIC

B ANTI-SEEP COLLAR
NOT TO SCALE



C TYPICAL BASIN SECTION
NOT TO SCALE

A WET BASIN OUTLET AND WATER QUALITY CONTROL STRUCTURE (44)
NOT TO SCALE

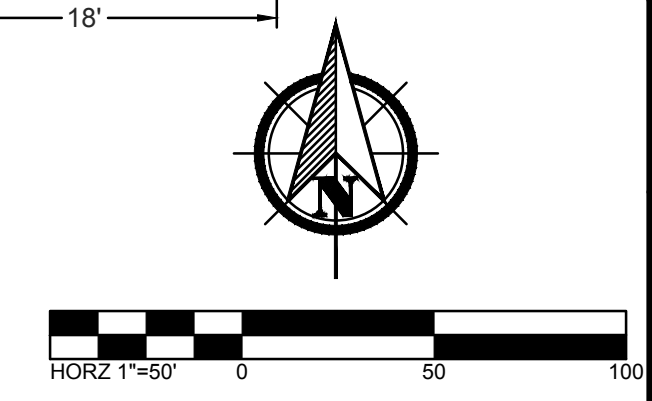


PRELIMINARY PLAN FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
STORMWATER
MANAGEMENT DETAILS

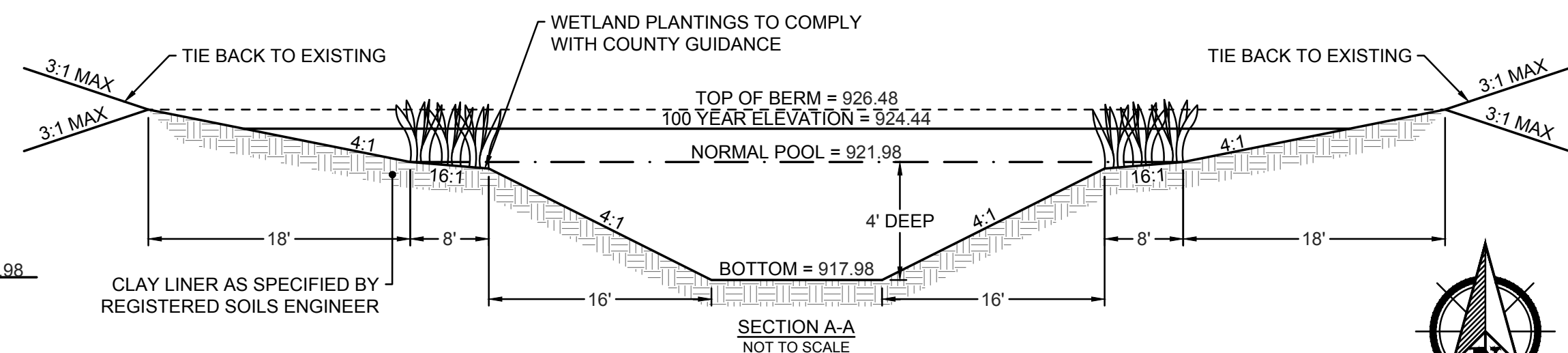
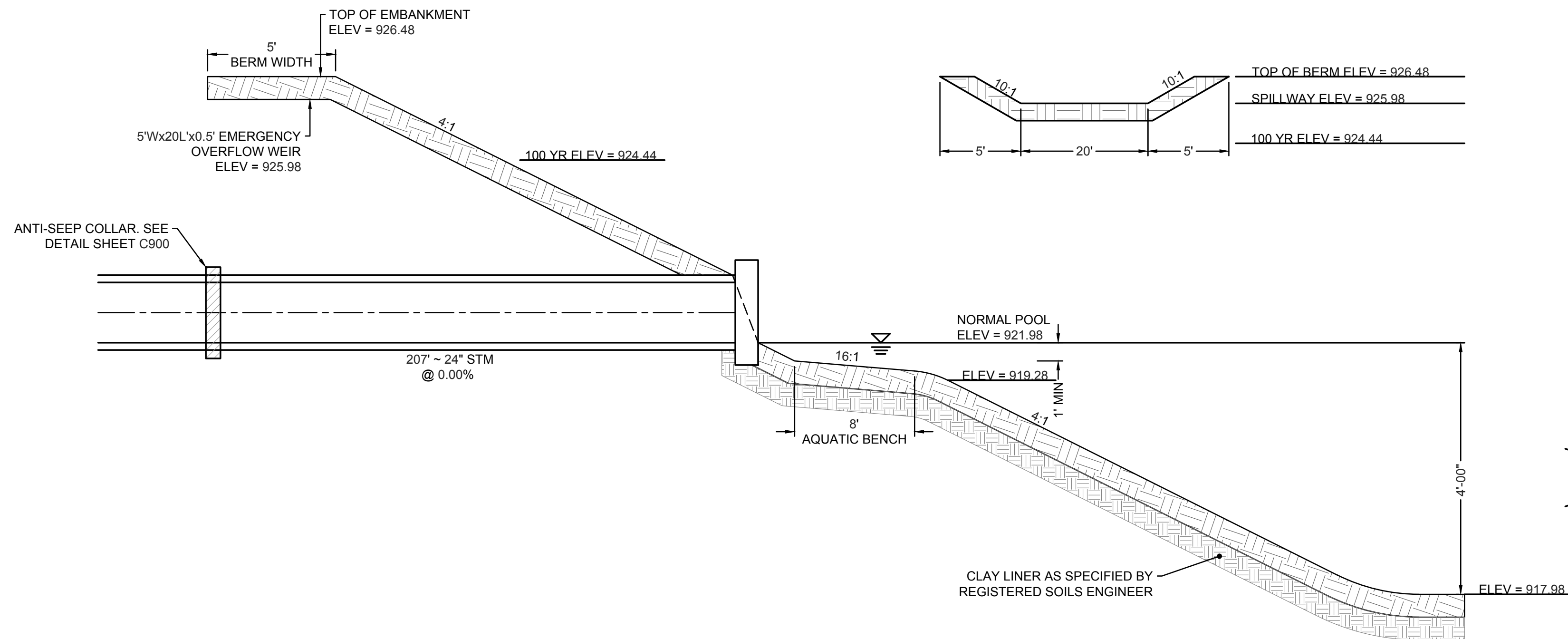
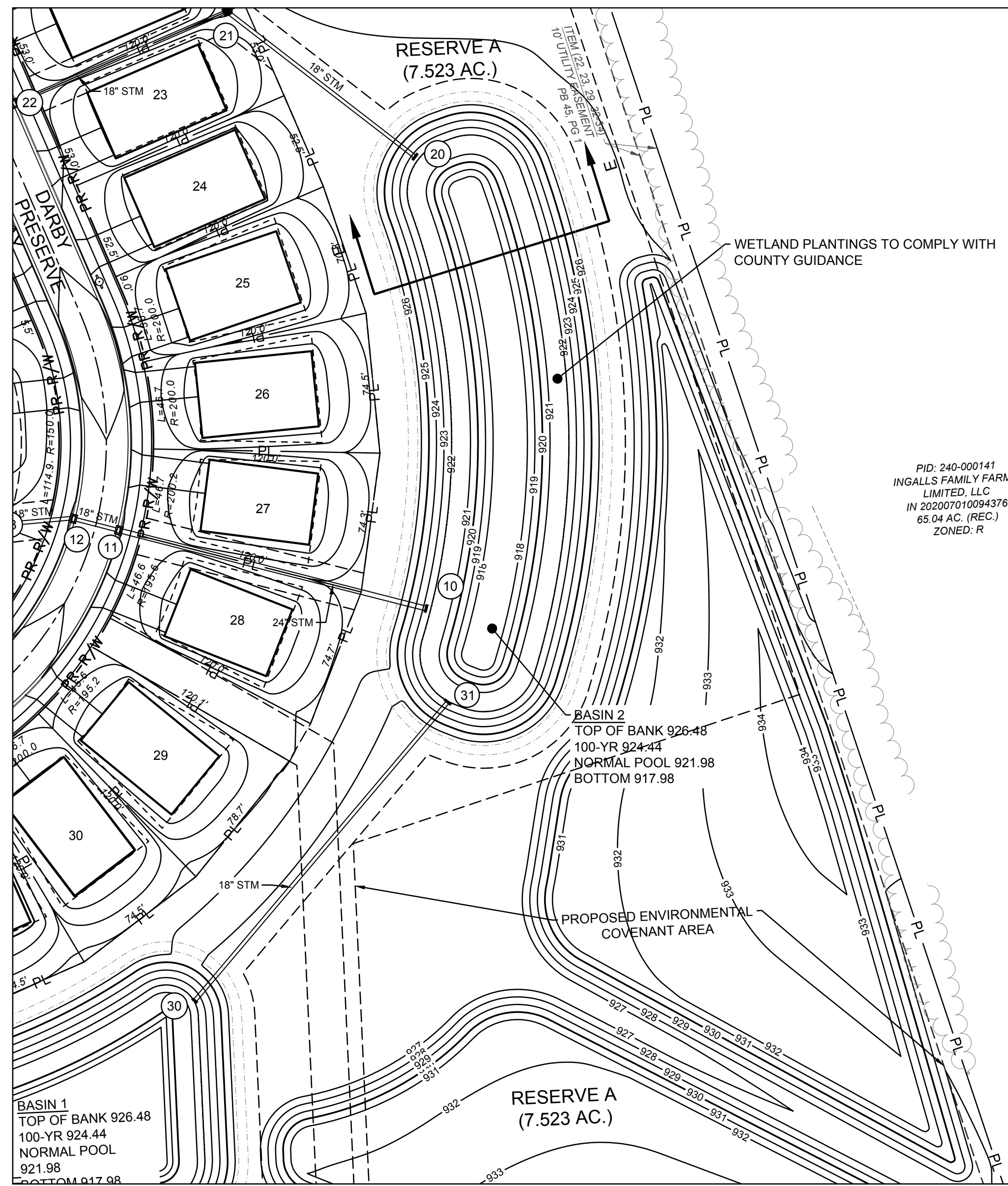
REVISIONS	DATE	DESCRIPTION

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IN SUBMITTING BIDS IN RELIANCE ON THESE PLANS THE CONTRACTOR ASSUMES ALL RISKS OF ADDITIONAL COSTS OF REVISIONS DUE TO REQUIREMENTS OF THE OWNER OR GOVERNMENTAL AUTHORITIES AND MATERIAL REVISIONS IN THE COURSE OF COMPLETING THE FINAL DESIGN.

DATE: 4/13/2026
DRAWN BY: HSR
CHECKED BY: JJK
JOB NUMBER: 2025.00585

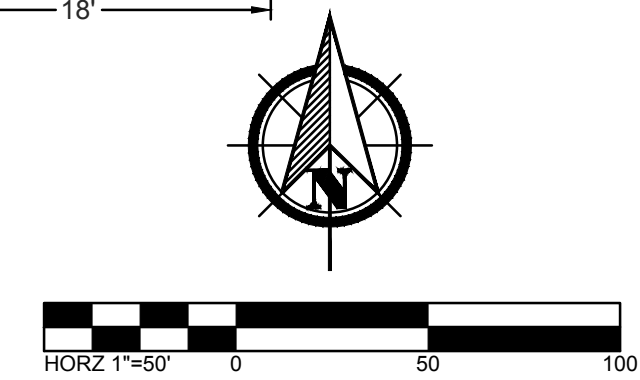


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D WET BASIN OUTLET STRUCTURE (31)
NOT TO SCALE

E TYPICAL BASIN SECTION
NOT TO SCALE



PRELIMINARY PLAN
FOR
DARBY PRESERVE
PRAIRIE TOWNSHIP, FRANKLIN COUNTY, OHIO
**STORMWATER
MANAGEMENT DETAILS**

REVISIONS	DATE	SHEET NO.	DESCRIPTION

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