

Technical Review Committee Agenda

Zoom Conference Meeting

(To participate: (929) 436-2866; Meeting ID: 911 3401 0004; Password: 471510)

May 20, 2026

1:30 p.m.

1. New Business

I. WASH-26-02

Owner/Applicant:	Kevin Bennington, ETAL, Co-Trustees Duroc Trust / K2 Retail Development, Kris Krstovski
Township:	Washington Township
Site:	7608 Plain City Rd. (271-000026); Dublin Plain City Rd. (271-000011); 7520 Plain City Rd. (271-000014)
Acreage:	5.8 Acres
Utilities:	Public
Zoning:	R-SR (Suburban Residential)
Request:	(Planning Commission Recommendation to Township Zoning Commission) Request to rezone from R-SR to the PCD (Planned Commercial District) to develop a shopping center with commercial activities and businesses.

II. ZON-26-05

Owner/Applicant:	Bible Truth Tabernacle, Anthony Reilly / Jim Dorenbusch, Junction Architecture & Design, LLC
Township:	Franklin
Site:	717-725 N. Hague Ave. (PID #140-002667)
Acreage:	2 acres
Utilities:	Public
Zoning:	Restricted Industrial & Rural
Request:	Requesting to rezone 3 acres from the Restricted Industrial (RI) district and Rural (R) district to the Restricted Urban Residential (R-8) district to make property conforming.

III. 799-SUB-V

Owner/Applicant:	Master Development Group LLC
Township:	Pleasant
Site:	0 Opossum Run Rd (PID # 230-000086)
Acreage:	13.025 acres
Utilities:	Private
Zoning:	Rural
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations for a lot that exceeds a 4 to 1 lot depth to width ratio.

IV. ZON-26-06

Owner/Applicant:	HARISUMIRAN OF OH INC
Township:	Brown Township
Site:	0 Walker Rd (PID # 120-000043)
Acreage:	22.894 – acres
Utilities:	Private
Zoning:	Rural (R)
Request:	Requesting to rezone from the Rural (R) district to the Exceptional Use (EU) district for the development of a youth development and sports recreational facility.

V. VA-4165

Owner/Applicant:	Juan Franciso Banegas Oliva
Township:	Clinton Township
Site:	1989 Ormond Ave (PID#130-002359)
Acreage:	0.12 – Acres
Utilities:	Public
Zoning:	Urban Residential (R-12)
Request:	Requesting a Variance from Sections 315.041(d) and 315.043 of the Franklin County Zoning Resolution for a covered porch and addition in rear that exceeds maximum lot coverage and does not meet the minimum setback in an area zoned Restricted Urban Residential (R-12).

VI. VA-4166

Owner/Applicant:	Eric Bahgat
Township:	Norwich Township
Site:	3377 Cemetery Rd (PID#200-000696)
Acreage:	2.823 – Acres
Utilities:	Private
Zoning:	Rural (R)
Request:	Requesting a Variance from Sections 512.02(2)(Table) of the Franklin County Zoning Resolution to construct a detached structure that exceeds the maximum square footage, height, minimum setback on a property that is between 2 and 3 acres in an area zoned Rural (R).

VII. CU-4167

Owner/Applicant:	Bataineh Faten M
Township:	Madison Township
Site:	3773 Beechton Rd (PID#180-002363)
Acreage:	0.1653 – Acres
Utilities:	Public
Zoning:	Restricted Urban Residential (R-8)
Request:	Requesting a Conditional Use per Section 610.06(2,4, & 7) of the Franklin County Zoning Resolution to construct and grade a single-family residence, detached garage, and driveway in a Floodway Fringe.

**WASHINGTON TOWNSHIP ZONING COMMISSION
APPLICATION FOR ZONING AMENDMENT**

Name(s) of Applicant(s) K2 Retail Development – Kris Krstovski

Address of Applicant(s) 5110 28th Street, #1147, Grand Rapids, MI 49512

Name(s) of Owner(s) of the Subject Property, If Different From Applicant Kevin Bennington, ETAL, Co-Trustees Duroc Trust
7608 St. Rt. 161, LLC

Description of Property involved (address—if any, on which side of particular street or roadway it is located, frontage and depth in feet, acreage, etc./please attach a copy of a legal description such as would appear in a deed and a drawing showing the property's location and dimensions):

Three parcels along the north side of St. Rt. 161, directly east of Fulk Road, with a northern boundary represented by the Washington Township/Franklin County line. Approximately 803 feet of frontage along St. Rt. 161, totaling 5.8 acres. More information is provided on the legal description and survey provided with this application.

- Present Zoning Category Applicable to the Property:
R-SR (Suburban Residential)
- Proposed Different Use of the Property/Describe:
PCD – (Planned Commercial District): shopping center with commercial activities and businesses.

- List of Property Owners (include the names and mailing addresses of all persons and entities owning property adjacent to the sides and rear of the subject property and all property across any streets that border it. If not known, check the real estate tax records at the Franklin County Courthouse.):

Names	Addresses
<u>See supplement page w/names and addresses.</u>	
<u>_____</u>	<u>_____</u>
<u>_____</u>	<u>_____</u>
<u>_____</u>	<u>_____</u>
<u>_____</u>	<u>_____</u>

This Application is submitted as of April 10, 2026

Signature(s) of Applicant(s)

The foregoing form should be submitted with the appropriate filing fee (\$500.00) to the Secretary of the Washington Township Zoning Commission.

Rebecca C. Princehorn
Bricker & Eckler LLP
100 S. 3rd Street
Columbus, Ohio 43215



September 8, 2025

Sam Tobe
Kimley-Horn
7965 N. High St, Suite 200
Columbus OH 43235

**Subject: Gateway Crossing
City of Marysville Utility Availability
Union County Parcel No. 1500310060000 (Union County)**

Dear Mr. Tobe,

The City has received your schematic site plan (attached Exhibit A) for the mixed-use Gateway Crossing development along Weldon Road on the Bennington property (Union County Parcel No. 1500310060000), and determined that there are downstream sanitary sewers and public waterlines to serve your proposed development within Union County (provided that the usage is consistent with a “typical” commercial amount).

The southern portion of your development is located in Franklin County (Washington Township), which is outside of the City of Marysville’s utility service area. The City is able and willing to provide sanitary sewer and water services to the portion of the development in Franklin County as long as an intergovernmental agreement is reached giving the City of Marysville utility rights to serve this portion of the development.

There is a private sanitary sewer pump station within the adjacent Dublin Green property (Union County Parcel No. 1500310180040), at a depth that is able to serve the proposed Weldon Road mixed-use developments sanitary sewer. A sanitary sewer study will be required to determine if the private pump station, its four (4) inch force main, and the downstream gravity sewers have sufficient capacity to meet the sanitary sewer volume from the proposed development. If it is determined that the existing sanitary infrastructure (pump station, force main, gravity sewers, etc.) have sufficient capacity to serve the proposed Weldon Road mixed-use development, the Dublin Green private pump station will be required to be brought up to City of Marysville public pump station standards. These upgrades will be the sole responsibility of the Developer. The City can provide these standards and requirements if necessary. This development is within the City’s Pump Station #2 surcharge area and will be assessed the applicable surcharge fees at the time capacity fees are due.

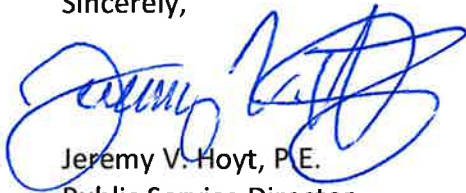
A twelve (12) inch public waterline is available on the adjacent Dublin Green property (Union County Parcel No. 1500310180040) and has adequate capacity to provide water service for proposed Weldon Road mixed-use development. Any waterline redundancy requirements can be coordinated with the Jerome Township Fire Department and the City of Marysville during the Preliminary / Final Plat and Engineering Plan Reviews. This development is within the City's "south of Fladt Road Water Tower" capacity fee surcharge area and will be assessed the applicable surcharge for water system (fire flow) upgrades at the time capacity fees are due.

Any required utility extensions (including the required public extension to and along Weldon Road) or upgrades will be the sole responsibility of the Developer. Also, all utility design standards and fees (including monthly user and one-time capacity charges) for the City's Utility System can be found on our website (www.marysvilleohio.org).

As a reminder, this property is within the Joint Economic Development District (JEDD) between Marysville and Jerome Township. Therefore, a signed petition requesting inclusion to the JEDD will be required prior to plan approval and is a requirement for connection to the Marysville public utilities. Please contact the Union County Economic Development Director (Eric Phillips) to coordinate this process.

Please contact us if you need additional clarification or wish to discuss this letter in further detail.

Sincerely,



Jeremy V. Hoyt, P.E.
Public Service Director

- cc. Kyle Hoyng, P.E. (City of Marysville)
- Brian Mullaney (City of Marysville)
- Scott Sheppard (City of Marysville)
- Cory Smith (City of Marysville)
- Luke Sutton (Union County Engineer's Office)



August 29, 2025

Sam Tobe – Kimley-Horn
7965 N. High Street, Suite 200, Columbus, OH 43235
Sam.tobe@kimley-horn.com
(380) 799 - 7828

RE: AEP Ohio Electric Service for Union County Ohio Parcel Number 15-0031006.0000

Dear **Sam**,

Thank you for your interest in utilizing AEP Ohio to serve the electrical needs for the proposed project located at parcel number **15-0031006.0000** in Union County, OH.

Based on the information provided, we have reviewed our distribution system in the area and have determined the subject project or site is located within AEP Ohio service territory. The specific details of this service have not been developed and may include Contribution In Aid of Construction (CIAC) charges to the customer. Specific details and associated CIAC charges may include but are not limited to: customer and company responsibilities, service type & characteristics, cable/conductor routing, overall project timing, and labor & equipment costs.

A Letter of Agreement (LOA) will be required for distribution voltage retail loads greater than \$1,000,000 in total project costs and/or requesting over 10MW.

If you should have any questions regarding the electric service at this location, please feel free to contact me at (614) 883-7805 or laschindel@aep.com. To initiate the construction and service process please call 1-800-277-2177.

Sincerely,

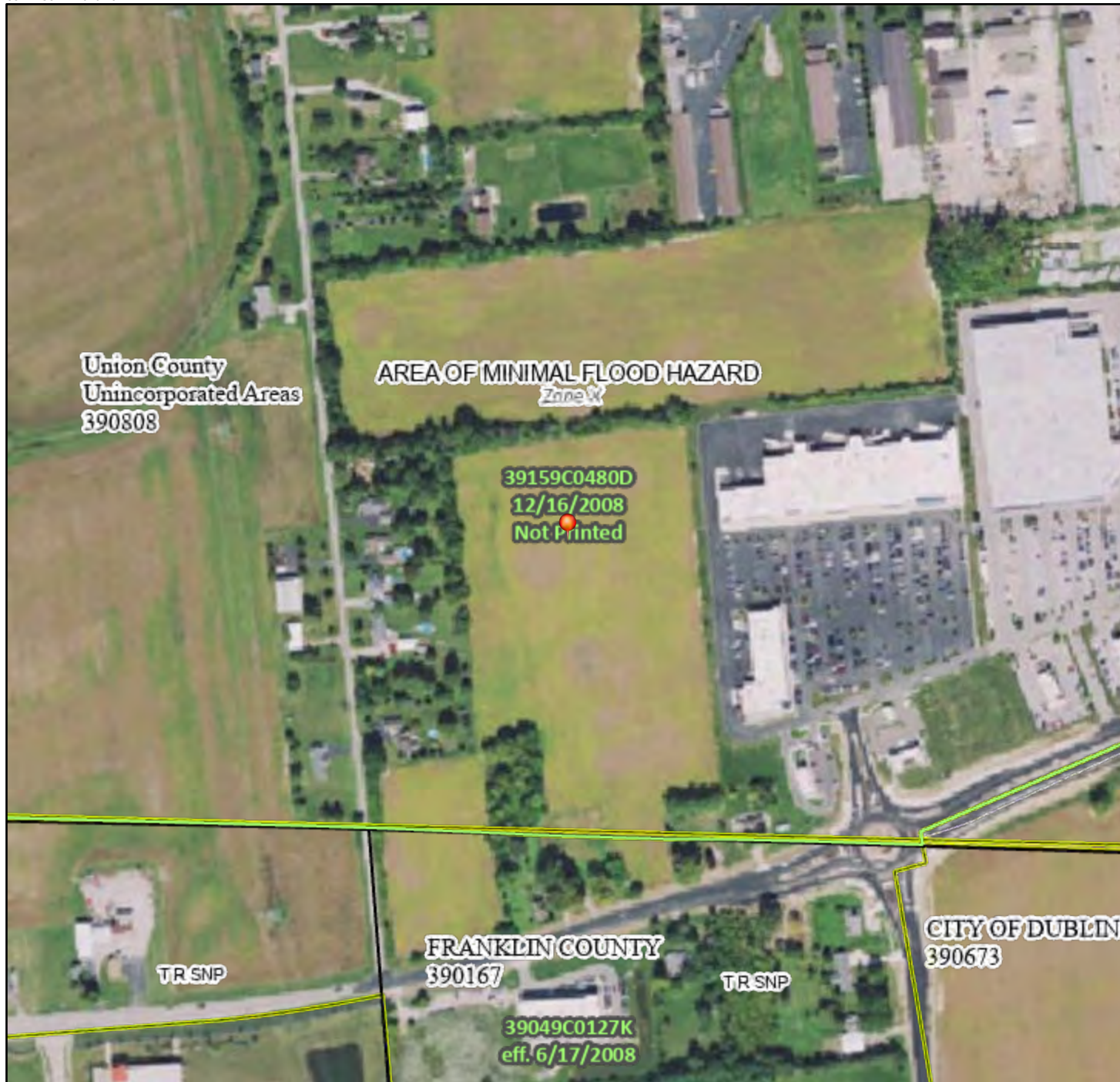
Liberty A. Boyd

Liberty A. Boyd
Manager - Projects
AEP Ohio

National Flood Hazard Layer FIRMMette



83°11'58"W 40°6'48"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| OTHER FEATURES | | Levee, Dike, or Floodwall |
| | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |

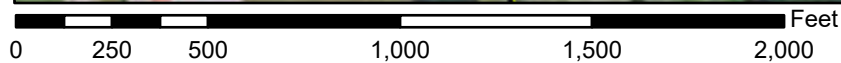


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/30/2025 at 8:28 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



1:6,000

83°11'21"W 40°6'21"N

Basemap Imagery Source: USGS National Map 2023

Hydrologic Soil Group—Franklin County, Ohio, and Union County, Ohio
(K-2 Retail Bennington)



Map Scale: 1:6,470 if printed on A landscape (11" x 8.5") sheet.

0 50 100 200 300 Meters


0 300 600 1200 1800 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Franklin County, Ohio
 Survey Area Data: Version 23, Aug 27, 2024

Soil Survey Area: Union County, Ohio
 Survey Area Data: Version 23, Aug 30, 2024

Your area of interest (AOI) includes more than one soil survey area. These survey areas may have been mapped at different scales, with a different land use in mind, at different times, or at different levels of detail. This may result in map unit symbols, soil properties, and interpretations that do not completely agree across soil survey area boundaries.

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 1, 2024—Jul 1, 2024

MAP LEGEND

MAP INFORMATION

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CrA	Crosby silt loam, Southern Ohio Till Plain, 0 to 2 percent slopes	C/D	20.9	10.8%
Ko	Kokomo silty clay loam, 0 to 2 percent slopes	C/D	19.0	9.8%
LeB	Lewisburg-Crosby complex, 2 to 6 percent slopes	D	8.0	4.1%
Subtotals for Soil Survey Area			47.9	24.7%
Totals for Area of Interest			194.0	100.0%

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Bs	Brookston silty clay loam, fine texture, 0 to 2 percent slopes	C/D	85.3	44.0%
CrA	Crosby silt loam, Southern Ohio Till Plain, 0 to 2 percent slopes	C/D	60.8	31.3%
Subtotals for Soil Survey Area			146.1	75.3%
Totals for Area of Interest			194.0	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

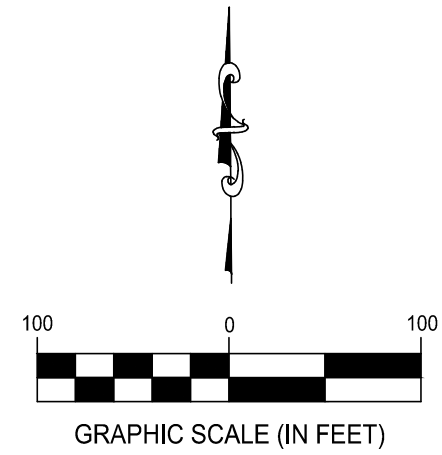
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

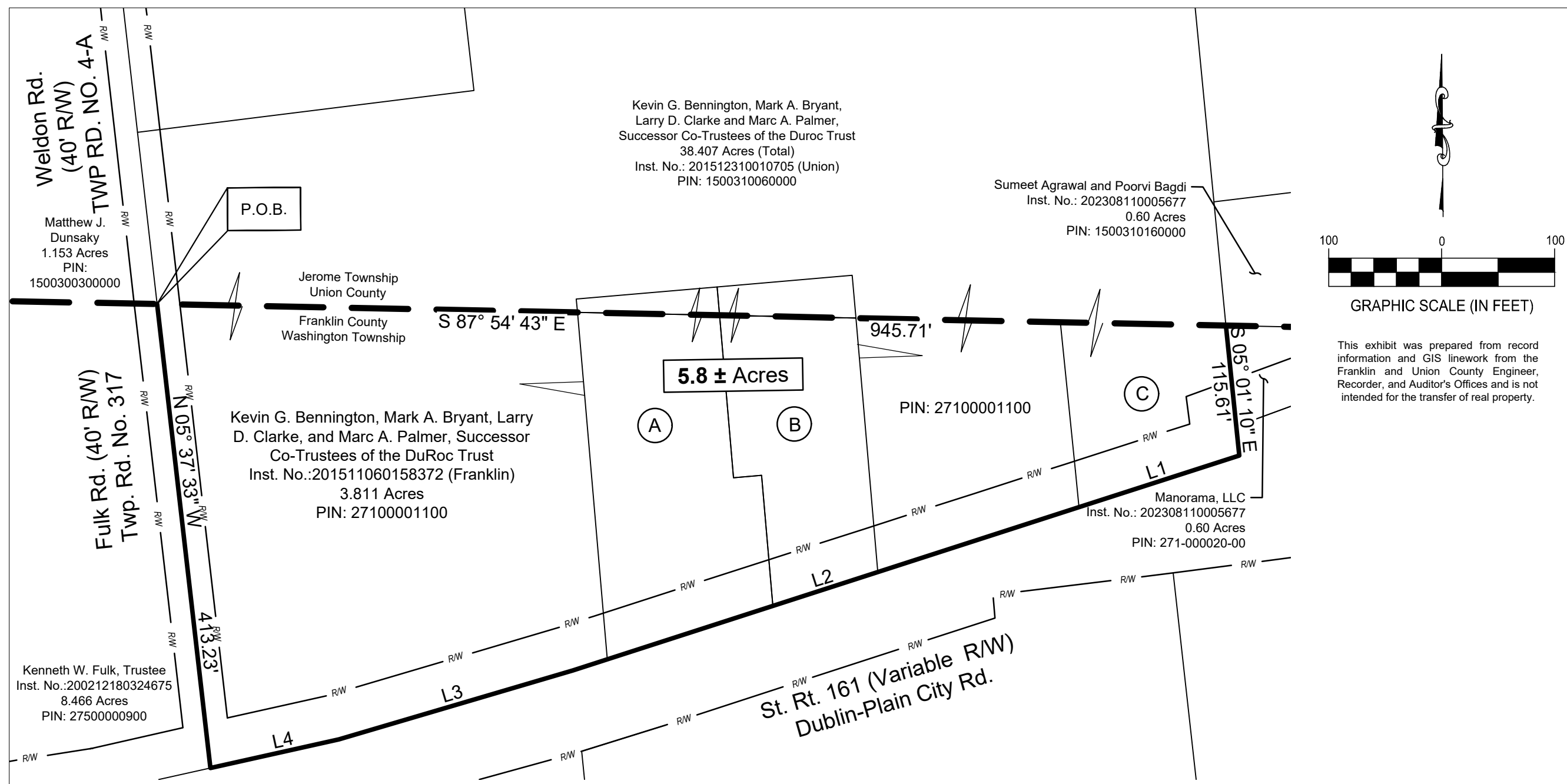
Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



This exhibit was prepared from record information and GIS linework from the Franklin and Union County Engineer, Recorder, and Auditor's Offices and is not intended for the transfer of real property.



Bennington Properties

5.8± Acre

Virginia Military Survey 6748, Township of Washington,
County of Franklin, State of Ohio

© 2025 CESO, INC.

Project Number: 766821
Scale: 1" = 100'
Drawn By: KBS
Checked By: ALB
Date: 2/13/2026
Issue:

Drawing Title:
Zoning Exhibit

LEGEND

- Property Line
- Proposed Zoning
- County Line
- Right-of-way

- (A)** 7608 St. Rt. 161, LLC
Inst. No.: 202205200077031
Tr. One - 0.903 Ac. (Franklin)
0.042 Ac. (Union)
PIN: 27100002600 (Franklin)
150031044000 (Union)
- (B)** 7608 St. Rt. 161, LLC
Inst. No.: 202205200077031
Tr. Two - 0.611 Ac. (Franklin)
0.085 Ac. (Union)
PIN: 27100002600 (Franklin)
1500310141000 (Union)

- (C)** Kevin G. Bennington, Mark A. Bryant, Larry D. Clarke, and Marc A. Palmer, Successor Co-Trustees of the DuRoc Trust
Inst. No.: 201511060158372 (Franklin)
0.419 Acres
PIN: 27100001400

LINE TABLE		
Line #	Direction	Length
L1	S73° 03' 27"W	149.01'
L2	S73° 02' 56"W	470.56'
L3	S74° 32' 20"W	215.71'
L4	S78° 22' 07"W	116.52'

GATEWAY CROSSING

WASHINGTON TOWNSHIP, FRANKLIN COUNTY, OHIO

REZONING PLAN

PROJECT TEAM

DEVELOPER/APPLICANT
 K2 RETAIL DEVELOPMENT, LLC
 6157 28TH STREET
 GRAND RAPIDS, MI 49546
 TEL: (616) 320-3334
 EMAIL: KRISK@K-SQUAREDINC.COM
 CONTACT: KRIS KRSTOVSKI

OWNER
 KEVIN BENNINGTON

CIVIL ENGINEER
 KIMLEY-HORN AND ASSOCIATES, INC.
 7965 N HIGH STREET, SUITE 200
 COLUMBUS, OH 43235
 TEL: (614) 472-8546
 EMAIL: MIKE.REEVES@KIMLEY-HORN.COM
 CONTACT: MIKE REEVES, PE

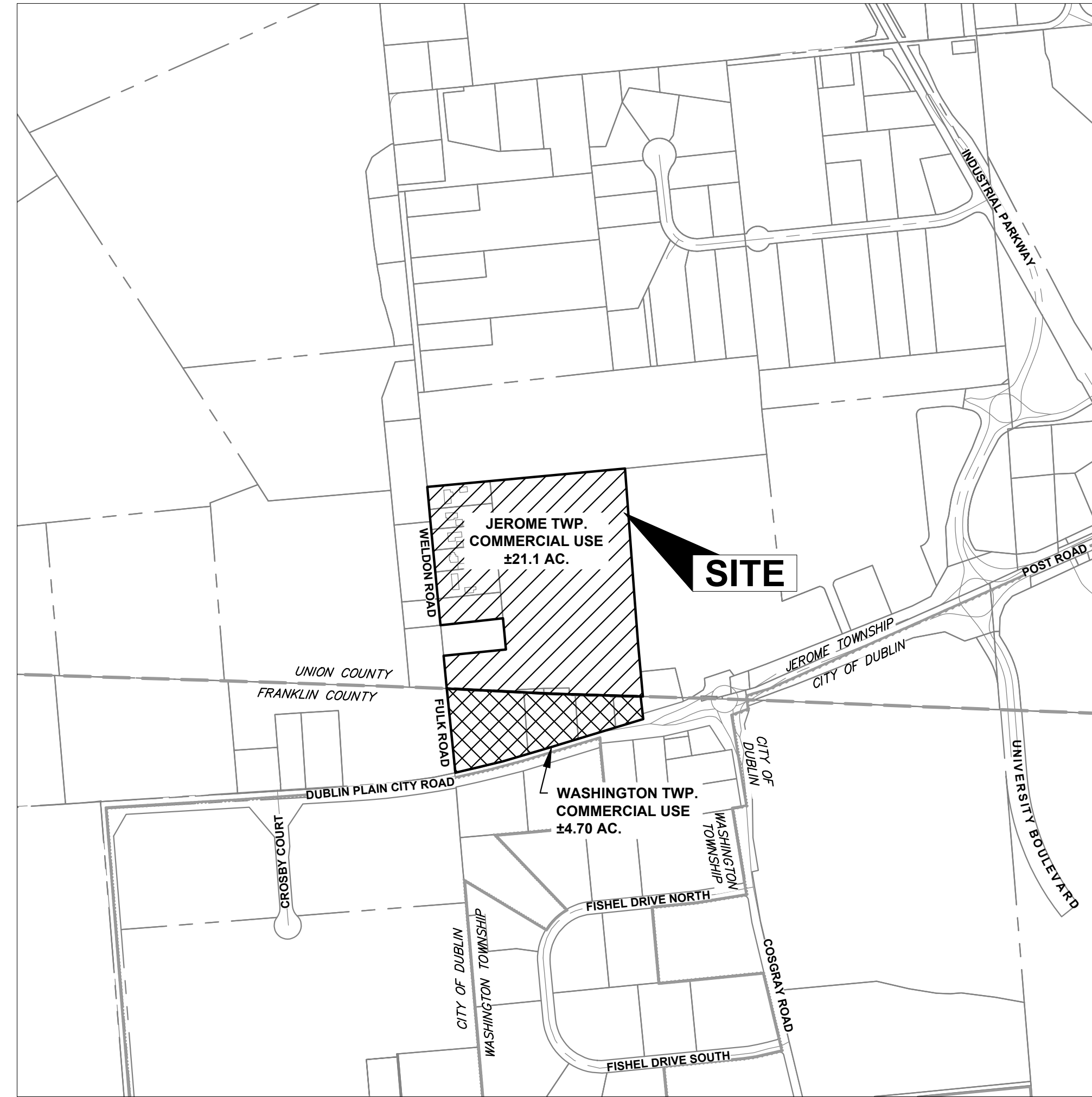
LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATES, INC.
 7965 N HIGH STREET, SUITE 200
 COLUMBUS, OH 43235
 TEL: (614) 696-5192
 EMAIL: DANIEL.BIER@KIMLEY-HORN.COM
 CONTACT: DANIEL BIER

FEMA

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X. COMMUNITY PANEL NUMBER 39159C0480D, EFFECTIVE DATE: DECEMBER 16TH, 2008, AND COMMUNITY PANEL NUMBER 39049C0127K, EFFECTIVE DATE JUNE 17TH, 2008.

REFERENCES

EXISTING TOPOGRAPHIC INFORMATION IS BASED ON AUDITOR AND LIDAR.



VICINITY MAP

SCALE: 1" = 500'

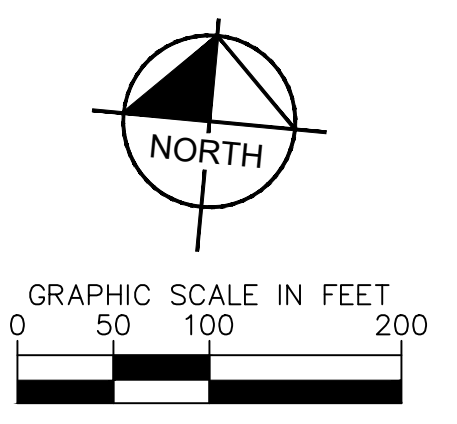
- PORTION OF DEVELOPMENT SITE IN JEROME TOWNSHIP
- PORTION OF DEVELOPMENT SITE IN WASHINGTON TOWNSHIP

SHEET INDEX	
SHEET NO.	SHEET TITLE
A	COVER SHEET - VICINITY MAP
B	EXISTING CONDITIONS PLAN
C	SITE AND PAVING PLAN
D	OPEN SPACE PLAN
E	TRUCK CIRCULATION
F	OVERALL GRADING & DRAINAGE PLAN
F.1	GRADING PLAN & DRAINAGE PLAN
F.2	GRADING PLAN & DRAINAGE PLAN
G	OVERALL UTILITY PLAN
G.1	UTILITY PLAN
G.2	UTILITY PLAN
H	SIGNAGE PLAN
H.1	SIGNAGE DETAILS
LA	OVERALL LANDSCAPE GRAPHIC
LA.1	OVERALL LANDSCAPE PLAN
LA.2	LANDSCAPE PLAN
LA.3	LANDSCAPE PLAN
LA.4	LANDSCAPE PLAN
LA.5	LANDSCAPE PLAN
LA.6	LANDSCAPE PLAN
LA.7	LANDSCAPE PLAN
LA.8	LANDSCAPE PLAN
LA.9	LANDSCAPE NOTES
LA.10	LANDSCAPE DETAILS

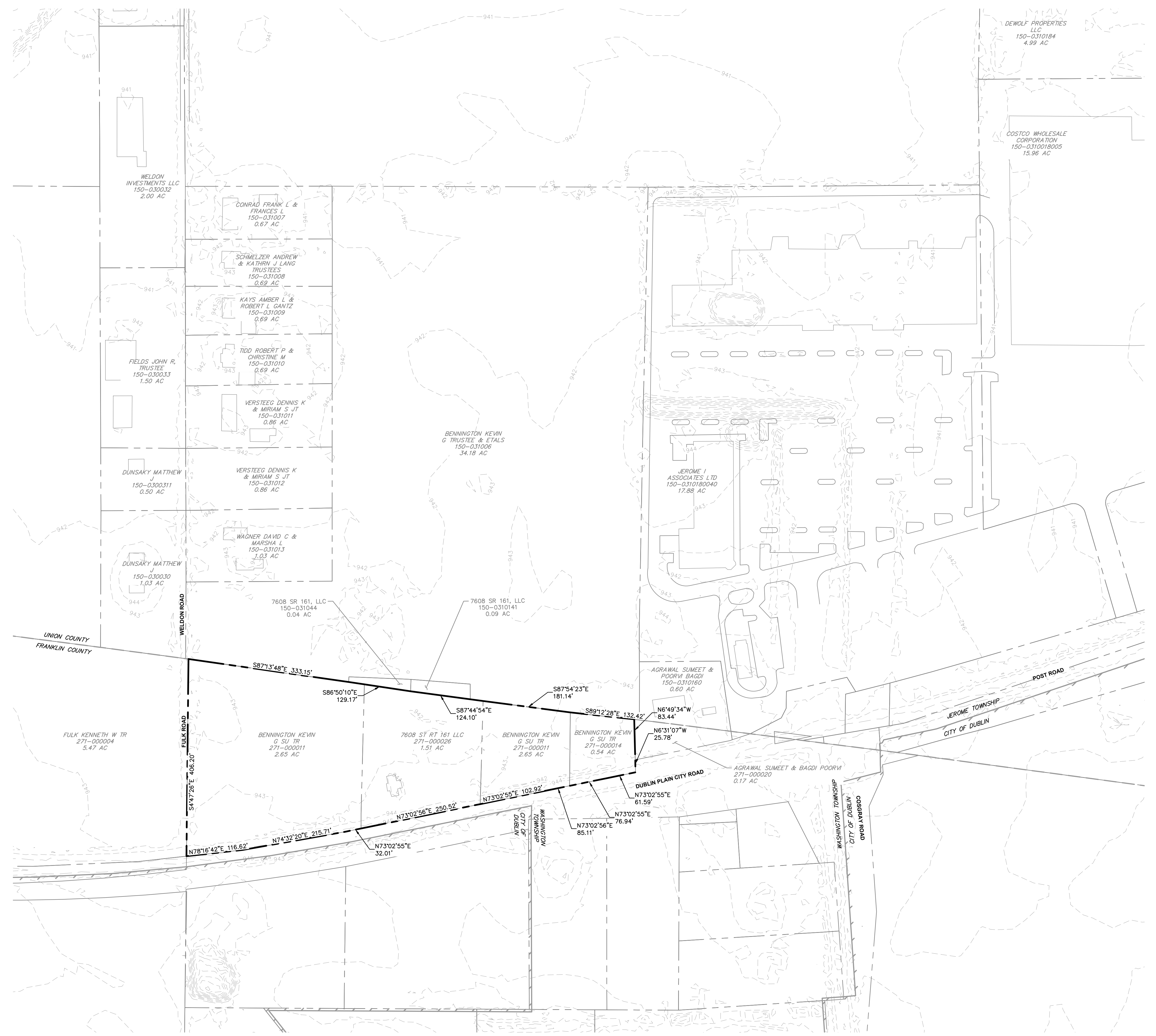
Drawing name: K:\CIB_LBEA\190385000_K2 Retail_Bennington\2 Design\CAD\PlotSheets\Washington_Township_Zoning_Submission\Cover_Sheet - VICINITY MAP.dwg
 Layout: Apr 09, 2026 9:38am by: Sam Toke
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

<p style="font-size: 8px;">© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 7965 N HIGH STREET, SUITE 200 COLUMBUS, OH 43235 PHONE: 614-454-6696 WWW.KIMLEY-HORN.COM</p>	REVISIONS No. DATE BY
SCALE: AS NOTED DESIGNED BY: SDT DRAWN BY: SDT CHECKED BY: MR	
COVER SHEET - VICINITY MAP	
K-2 Retail GATEWAY CROSSING	WELDON RD, PLAIN CITY, OH 43064
ORIGINAL ISSUE: 4/9/2026 KHA PROJECT NO. 190385000 SHEET NUMBER	A

Drawing name: K:\CIB_LBEA\190385000_42 Retail_Bennington2_Design\CAD\Plotsheets\Washington_Township_Zoning_Submission\EXISTING CONDITIONS PLAN.dwg Layout1 Apr 09, 2026 9:38am by: Sam Tope
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EX. UTILITY POLE
	FUTURE ROAD
	EX. FENCE
	EX. DITCH
	EX. EASEMENT LINE
	EX. E



No.	REVISIONS	DATE	BY

Kimley Horn
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 10000 WASHINGTON BLVD SUITE 200
 COLUMBUS, OH 43235
 PHONE: 614-454-6696
 WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	SDT
DRAWN BY:	SDT
CHECKED BY:	MR

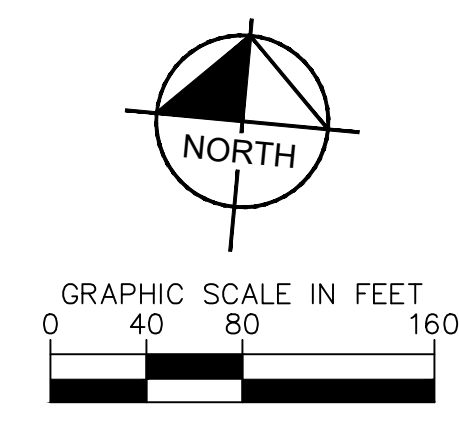
EXISTING CONDITIONS PLAN

**K-2 Retail
GATEWAY
CROSSING**
 WELDON RD, PLAIN CITY, OH 43064

ORIGINAL ISSUE:	4/9/2026
KHA PROJECT NO.	190385000
SHEET NUMBER	B

Drawing name: K:\CIB_LDEV\190385000_42_Retail_Berlington2_Design\CAD\PropSheets\Washington_Township_Zoning_Submission\SITE AND PAVING PLAN.dwg Layout1, Apr 09, 2026, 9:38am by Sam Toles

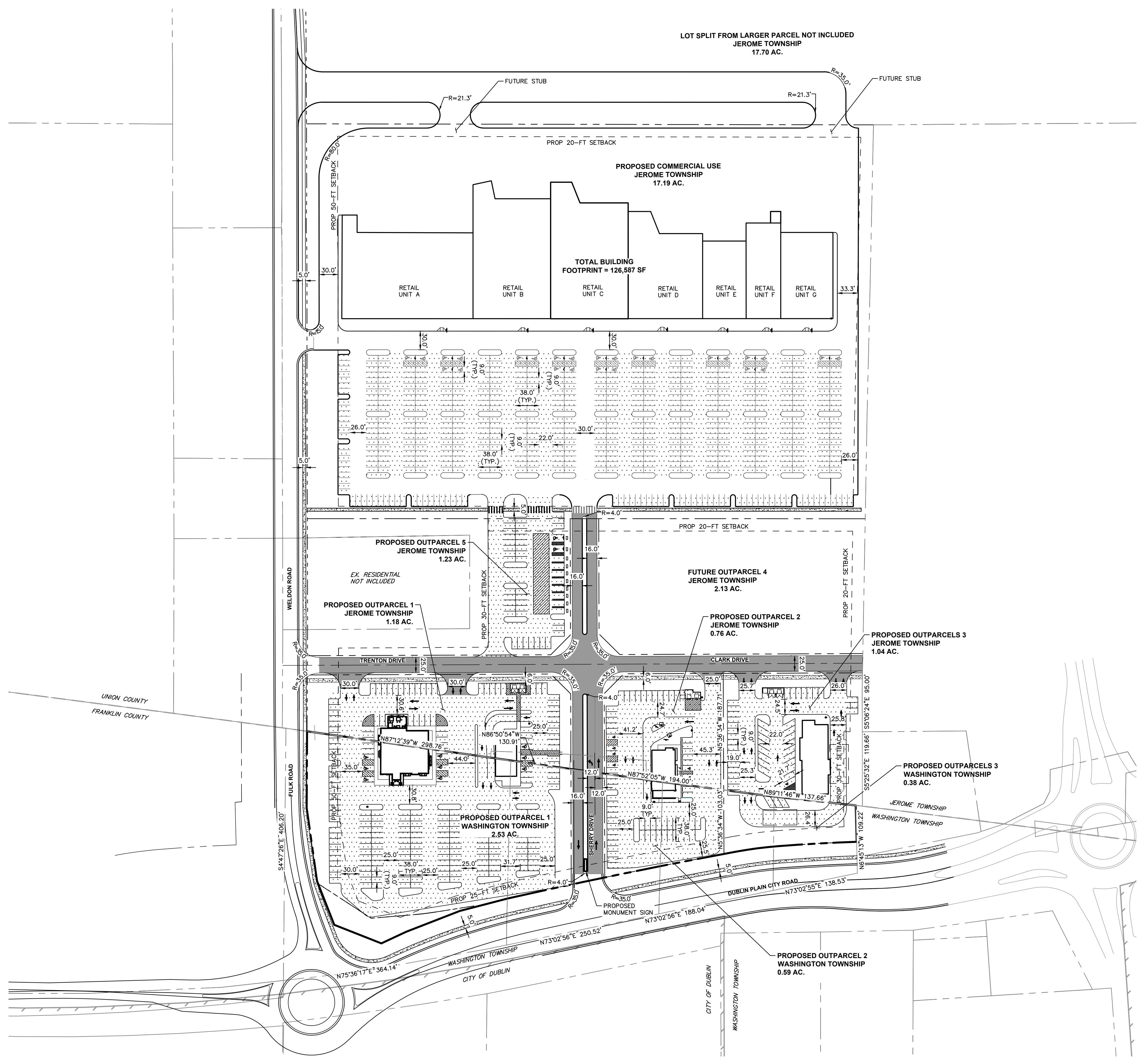
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LEGEND	
	ZONING BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	EX. UTILITY POLE
	FUTURE ROAD
	EX. FENCE
	EX. DITCH
	EX. EASEMENT LINE
	EX. E
	PROP. EASEMENT LINE
	PROP. FENCE
	SETBACK LINE
	STANDARD CURB & GUTTER

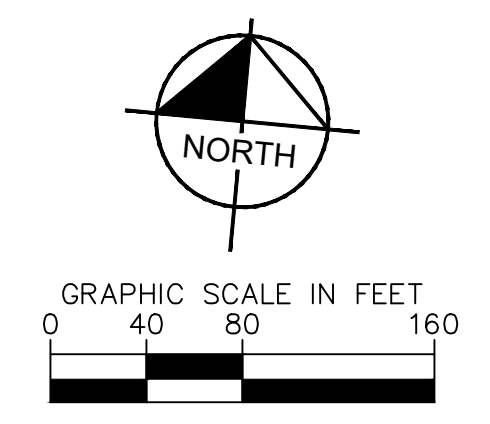
PARKING SUMMARY	
OUTPARCEL 1:	
PARKING SPACES REQUIRED:	= 81 SPACES
PARKING SPACES PROVIDED:	= 226 SPACES
ACCESSIBLE PARKING SPACES REQUIRED:	= 7 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:	= 9 SPACES
OUTPARCELS 2:	
PARKING SPACES REQUIRED:	= 24 SPACES
PARKING SPACES PROVIDED:	= 69 SPACES
ACCESSIBLE PARKING SPACES REQUIRED:	= 3 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:	= 6 SPACES
OUTPARCELS 3:	
PARKING SPACES REQUIRED:	= 49 SPACES
PARKING SPACES PROVIDED:	= 49 SPACES
ACCESSIBLE PARKING SPACES REQUIRED:	= 2 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:	= 2 SPACES

PAVING LEGEND	
	STANDARD DUTY ASPHALTIC PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK



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	REVISIONS No. DATE BY
SCALE: AS NOTED DESIGNED BY: SDT DRAWN BY: SDT CHECKED BY: MR	SITE AND PAVING PLAN
K-2 Retail GATEWAY CROSSING	WELDON RD, PLAIN CITY, OH 43064
ORIGINAL ISSUE: 4/9/2026 KHA PROJECT NO. 190385000 SHEET NUMBER C	

Drawing name: K:\CIB_LBEA\190385000_42 Retail_Berlington2_Design\CAD\PropSheets\Washington_Township_Zoning_Submission\OPEN_SPACE_PLAN.dwg Layout1 Apr 09, 2026 9:39am by: Sam Tober
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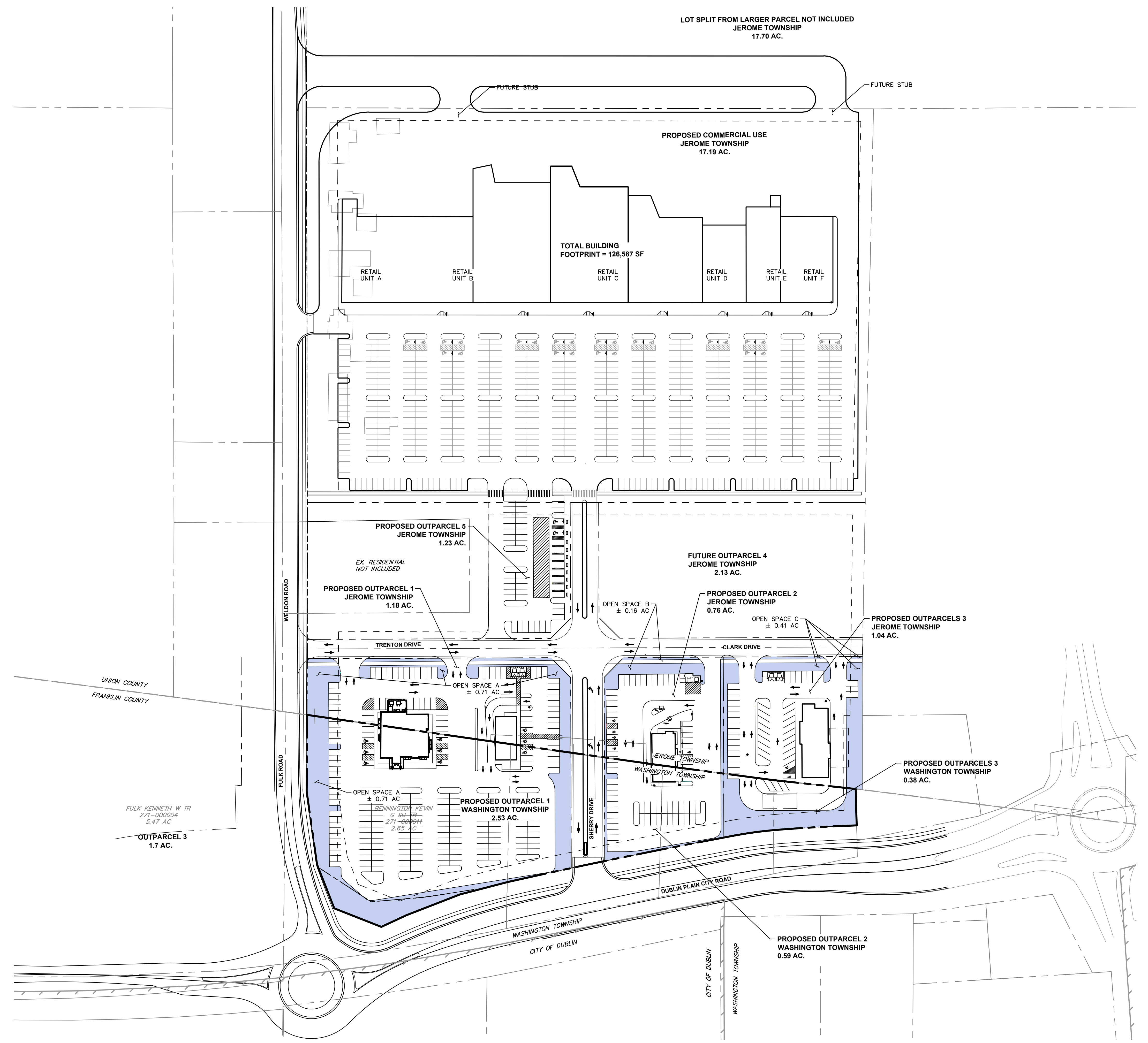
LEGEND

OPEN SPACE

SITE DATA

NET ACREAGE:	± 6.48 AC
OPEN SPACE:	± 0.65 AC
OPEN SPACE REQUIREMENT	(10% TOTAL NET AC)
TOTAL SITE OPEN SPACE:	± 1.28 AC
	(± 19.75% NET AC)

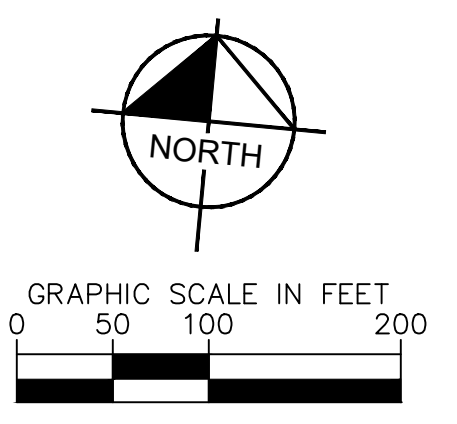
*OPEN SPACE TO BE MANAGED BY OWNER



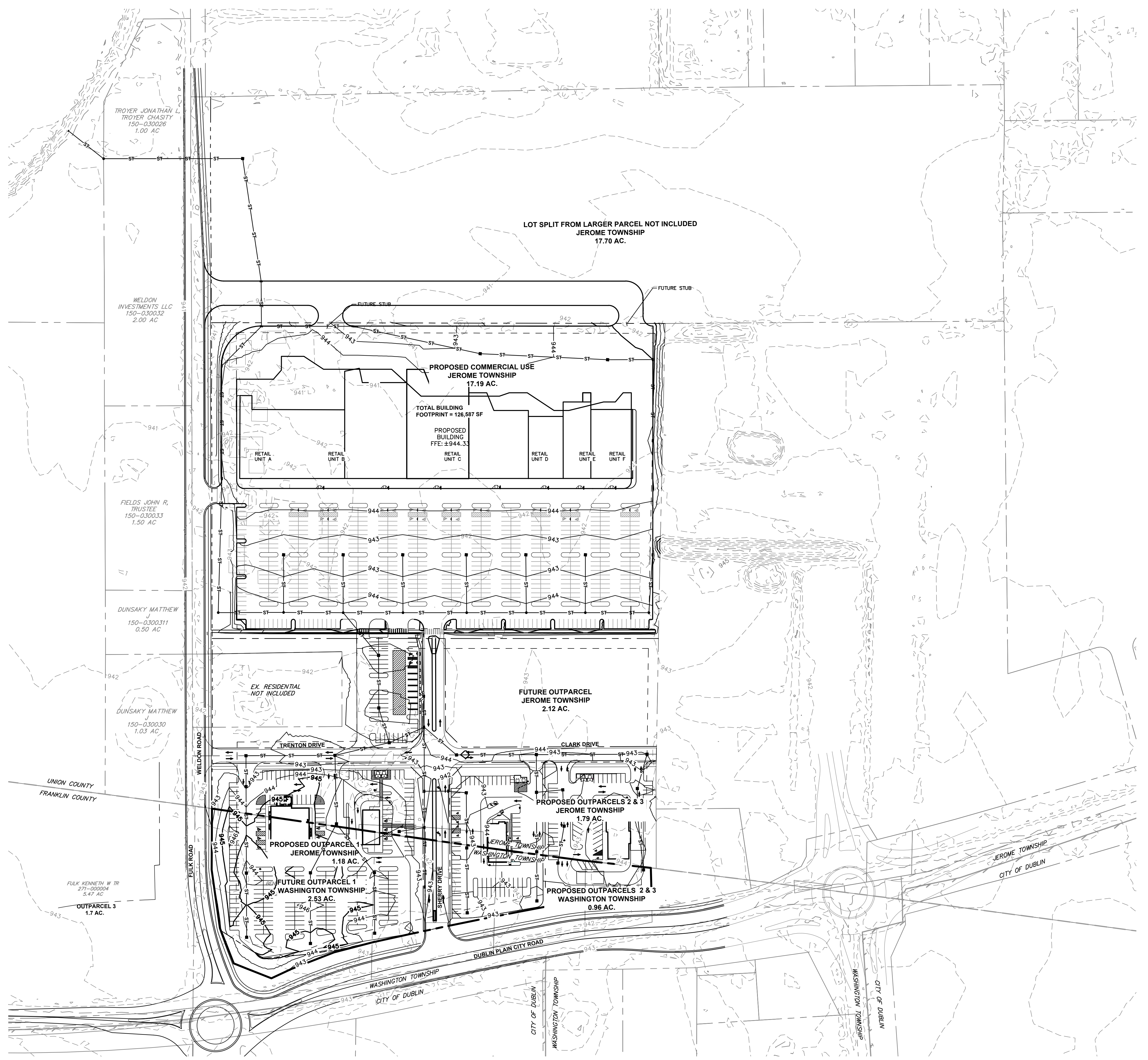
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SCALE: AS NOTED	DESIGNED BY: SDT	DRAWN BY: SDT	CHECKED BY: MR
OPEN SPACE PLAN			
K-2 Retail GATEWAY CROSSING		WELDON RD, PLAIN CITY, OH 43064	
ORIGINAL ISSUE: 4/9/2026		KHA PROJECT NO. 190385000	
SHEET NUMBER		D	
		No.	DATE
		REVISIONS	
		BY	DATE

Drawing name: K:\CIB_LDEA\190385000_42 Retail_Berlington2_Design\CAD\PlanSheets\Washington Township Zoning Submission\OVERALL GRADING PLAN.dwg Layout1 Apr 09, 2026 9:39am by: Sam Toke

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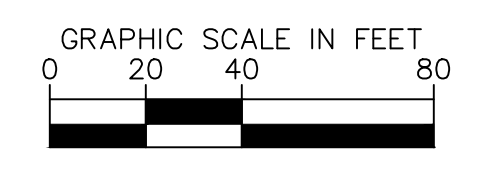
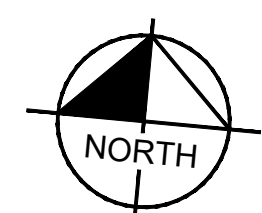


LEGEND	
	PROPERTY LINE
	RIGHT OF WAY
	EXISTING CENTERLINE
	EXISTING STORM
	PROPOSED STORM SEWER
	PROPOSED ROOF DRAIN
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR

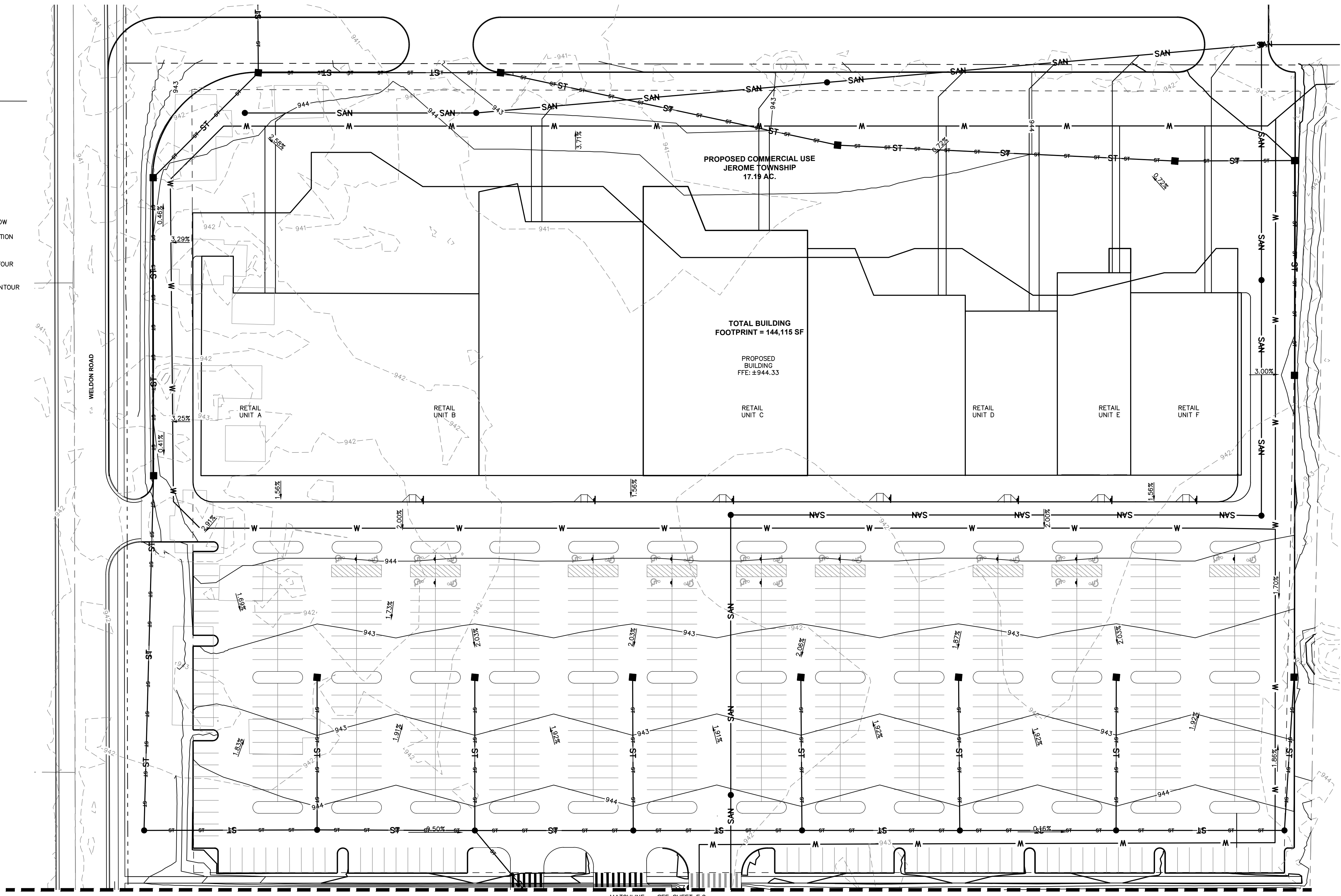


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OVERALL GRADING & DRAINAGE PLAN	K-2 Retail GATEWAY CROSSING
SCALE: AS NOTED	DESIGNED BY: SDT
DRAWN BY: SDT	CHECKED BY: MR
WELDON RD. PLAIN CITY, OH 43064	
ORIGINAL ISSUE: 4/9/2026	KHA PROJECT NO. 190385000
SHEET NUMBER	
F	

Drawing name: K:\CIB_LDE\190385000_42 Retail_Berlington2_Design\CAD\PlanSheets\Washington Township Zoning Submittal\GRADING PLAN.dwg Layout1 Apr 09, 2026 9:39am by: Sam Toke
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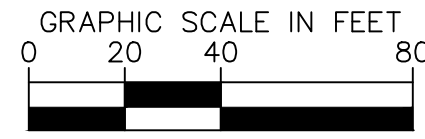
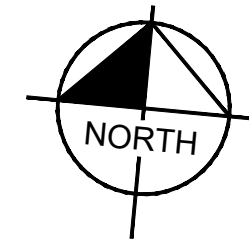


LEGEND	
---	ZONING LINE
---	RIGHT OF WAY
ST	PROPOSED STORM SEWER
RD	PROPOSED ROOF DRAIN
■	PROPOSED CURB INLET
■	PROPOSED CATCH BASIN
●	PROPOSED STORM MANHOLE
XXX.XX	GROUND ELEVATION
---	RIDGE LINE
→	MAJOR FLOOD ROUTING ARROW
↖	EMERGENCY OVERTFLOW LOCATION
- - - 730	EXISTING INDEX CONTOUR
- - - 731	EXISTING INTERMEDIATE CONTOUR
- - - 730	PROPOSED INDEX CONTOUR
- - - 731	PROPOSED INTERMEDIATE CONTOUR



MATCHLINE - SEE SHEET F.2

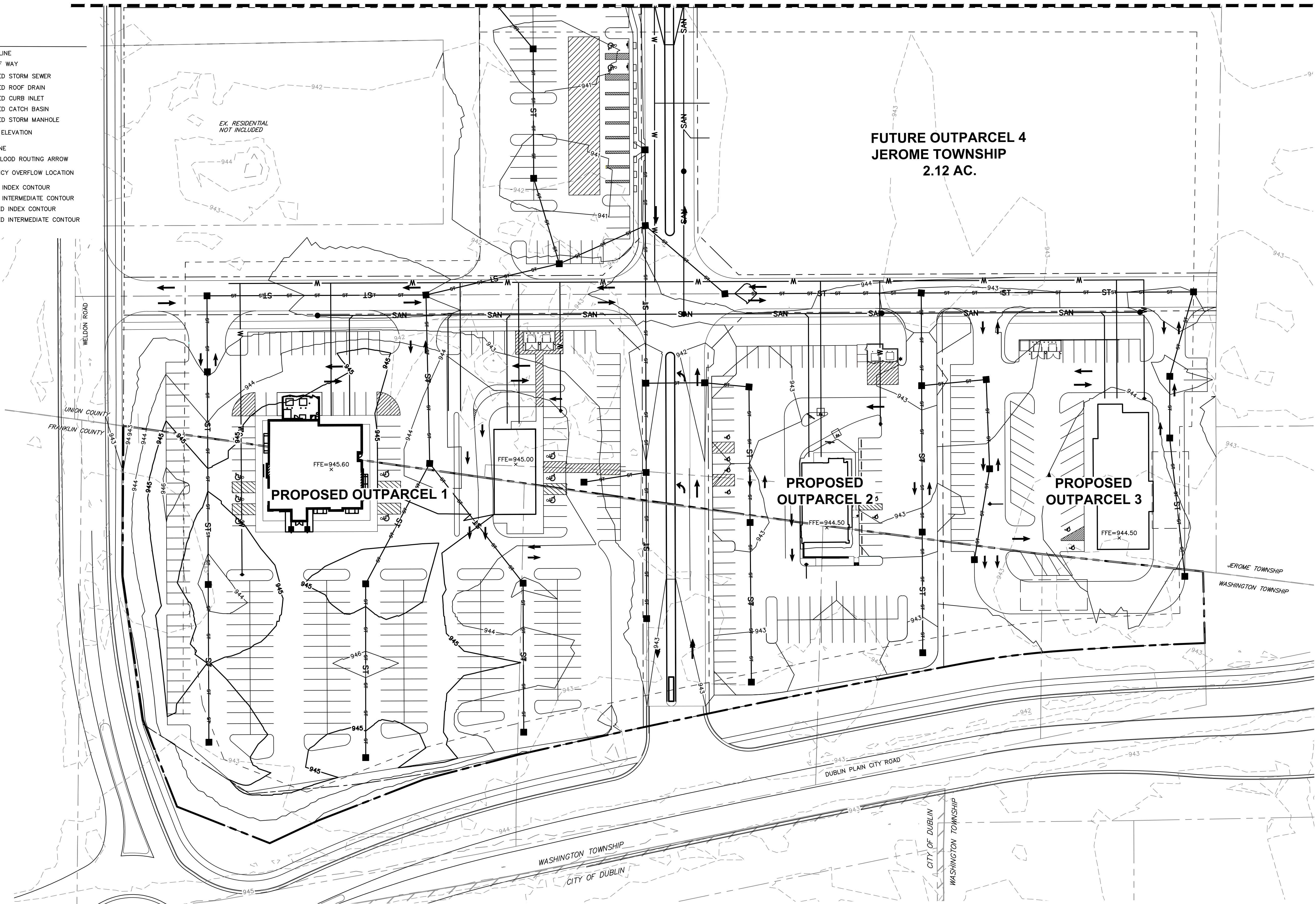
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SCALE: AS NOTED	DESIGNED BY: SDT	DRAWN BY: SDT	CHECKED BY: MR	REVISIONS
GRADING PLAN & DRAINAGE PLAN		K-2 Retail GATEWAY CROSSING		
WELDON RD, PLAIN CITY, OH 43064				
ORIGINAL ISSUE: 4/9/2026		KHA PROJECT NO. 190385000		DATE
SHEET NUMBER		BY		
F.1				



MATCHLINE - SEE SHEET F.1

LEGEND

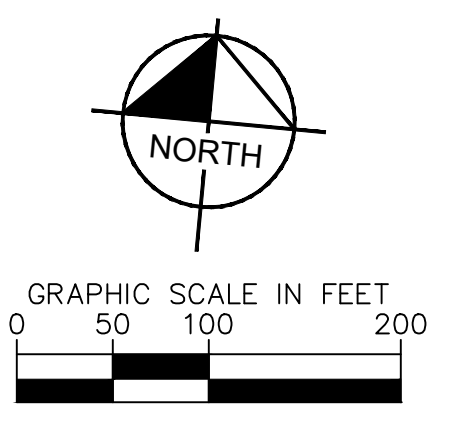
- ZONING LINE
- RIGHT OF WAY
- PROPOSED STORM SEWER
- PROPOSED ROOF DRAIN
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- GROUND ELEVATION
- RIDGE LINE
- MAJOR FLOOD ROUTING ARROW
- EMERGENCY OVERTFLOW LOCATION
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR



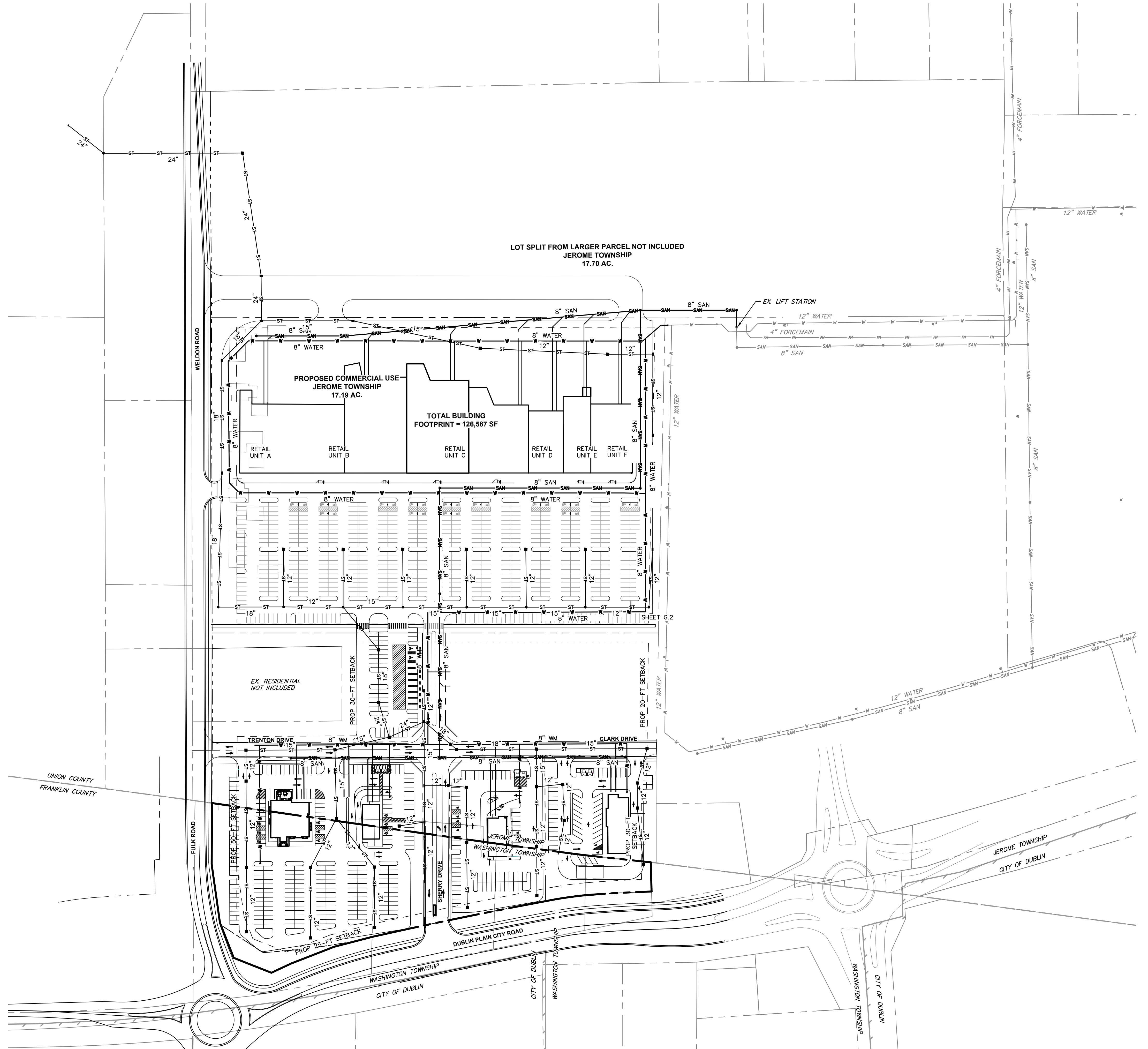
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<p>SCALE: AS NOTED</p> <p>DESIGNED BY: SDT</p> <p>DRAWN BY: SDT</p> <p>CHECKED BY: MR</p>	<p>GRADING PLAN & DRAINAGE PLAN</p>
<p>K-2 Retail GATEWAY CROSSING</p> <p>WELDON RD, PLAIN CITY, OH 43064</p>	<p>FUTURE OUTPARCEL 4 JEROME TOWNSHIP 2.12 AC.</p>
<p>ORIGINAL ISSUE: 4/9/2026</p> <p>KHA PROJECT NO. 190385000</p> <p>SHEET NUMBER</p>	<p>F.2</p>

Drawing name: K:\CIB_LDEA\190385000_42 Retail_Berlington2_Design\CAD\PlotSheets\Washington Township Zoning Submission\OVERALL UTILITY PLAN.dwg OVERALL UTILITY PLAN - Apr 09, 2026 9:39am by: Sam Toth
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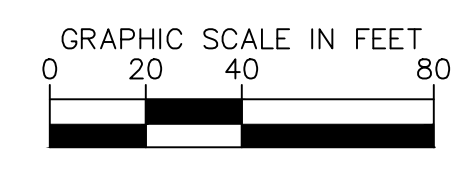
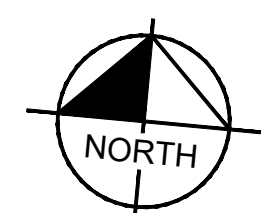


LEGEND	
	ZONING BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING STORM
	EXISTING SANITARY
	EXISTING FORCEMAIN
	EXISTING WM
	PROPOSED STORM SEWER
	PROPOSED ROOF DRAIN
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY
	PROPOSED WM
	PROPOSED HYDRANT
	PROPOSED DOMESTIC WM SERVICE
	PROPOSED FIRE WM SERVICE
	PROPOSED GAS
	PROPOSED TELECOM
	PROPOSED UNDERGROUND ELECTRIC

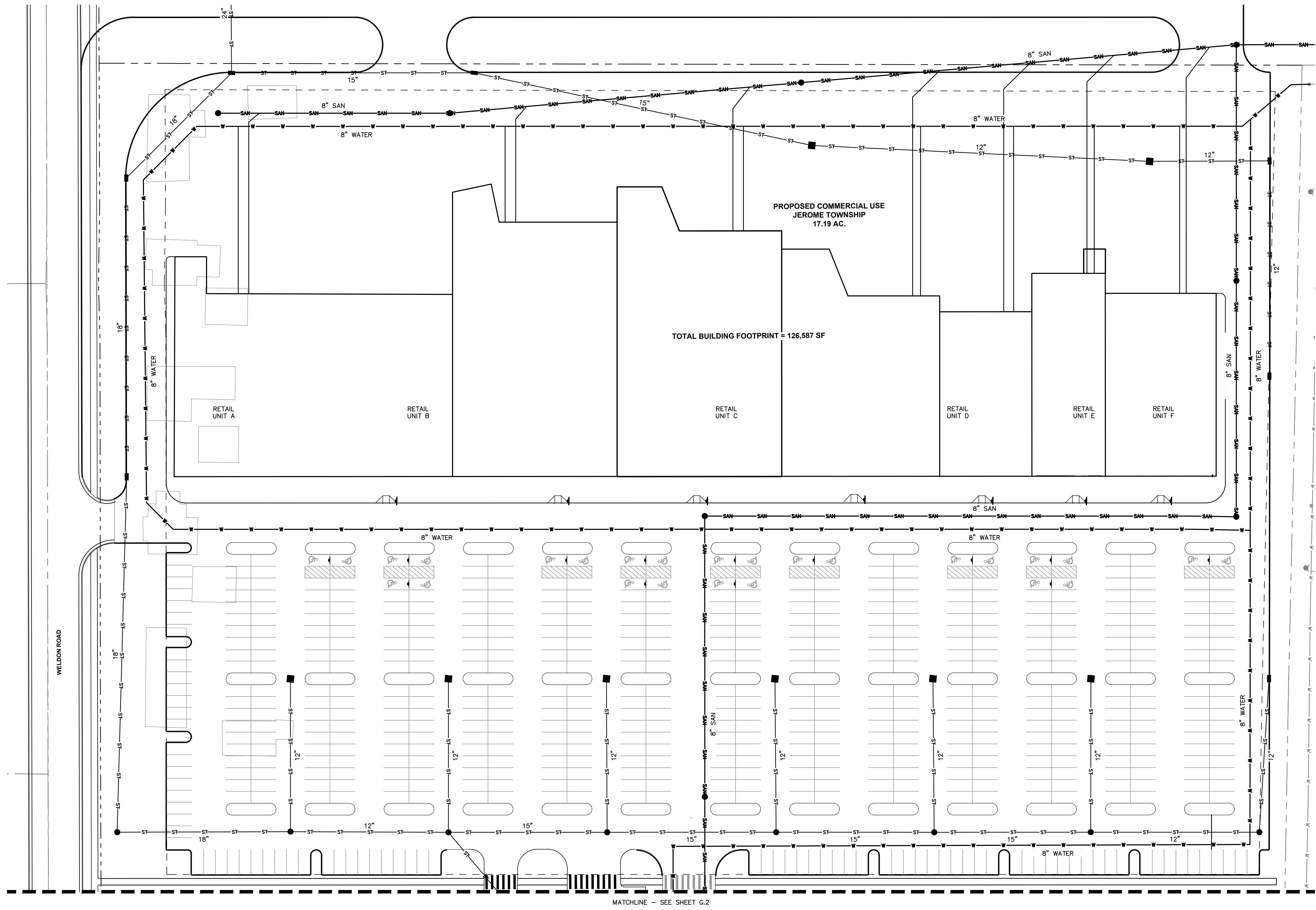


Kimley-Horn <small>© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 200 COLUMBUS, OH 43215 PHONE: 614-454-6696 WWW.KIMLEY-HORN.COM</small>	OVERALL UTILITY PLAN
SCALE: AS NOTED DESIGNED BY: SDT DRAWN BY: SDT CHECKED BY: MR	K-2 Retail GATEWAY CROSSING <small>WELDON RD, PLAIN CITY, OH 43064</small>
ORIGINAL ISSUE: 4/9/2026 KHA PROJECT NO. 190385000 SHEET NUMBER G	
REVISIONS No. DATE BY	

Drawing name: K:\CIB_LDE\190385000_42 Retail_Berlington2_Design\CAD\PlanSheets\Washington_Township_Zoning_Submission\OVERALL UTILITY PLAN.dwg Layout1 Apr 09, 2026, 9:39am By: Sam.Tobe
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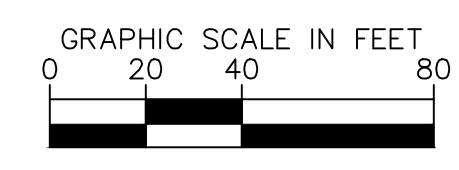
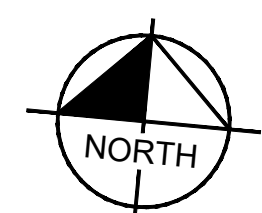
LEGEND	
	ZONING BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING STORM
	EXISTING SANITARY
	EXISTING FORCEMAIN
	EXISTING WATER
	PROPOSED STORM SEWER
	PROPOSED ROOF DRAIN
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY
	PROPOSED WATER
	PROPOSED HYDRANT
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED FIRE WATER SERVICE
	PROPOSED GAS
	PROPOSED TELECOM
	PROPOSED UNDERGROUND ELECTRIC



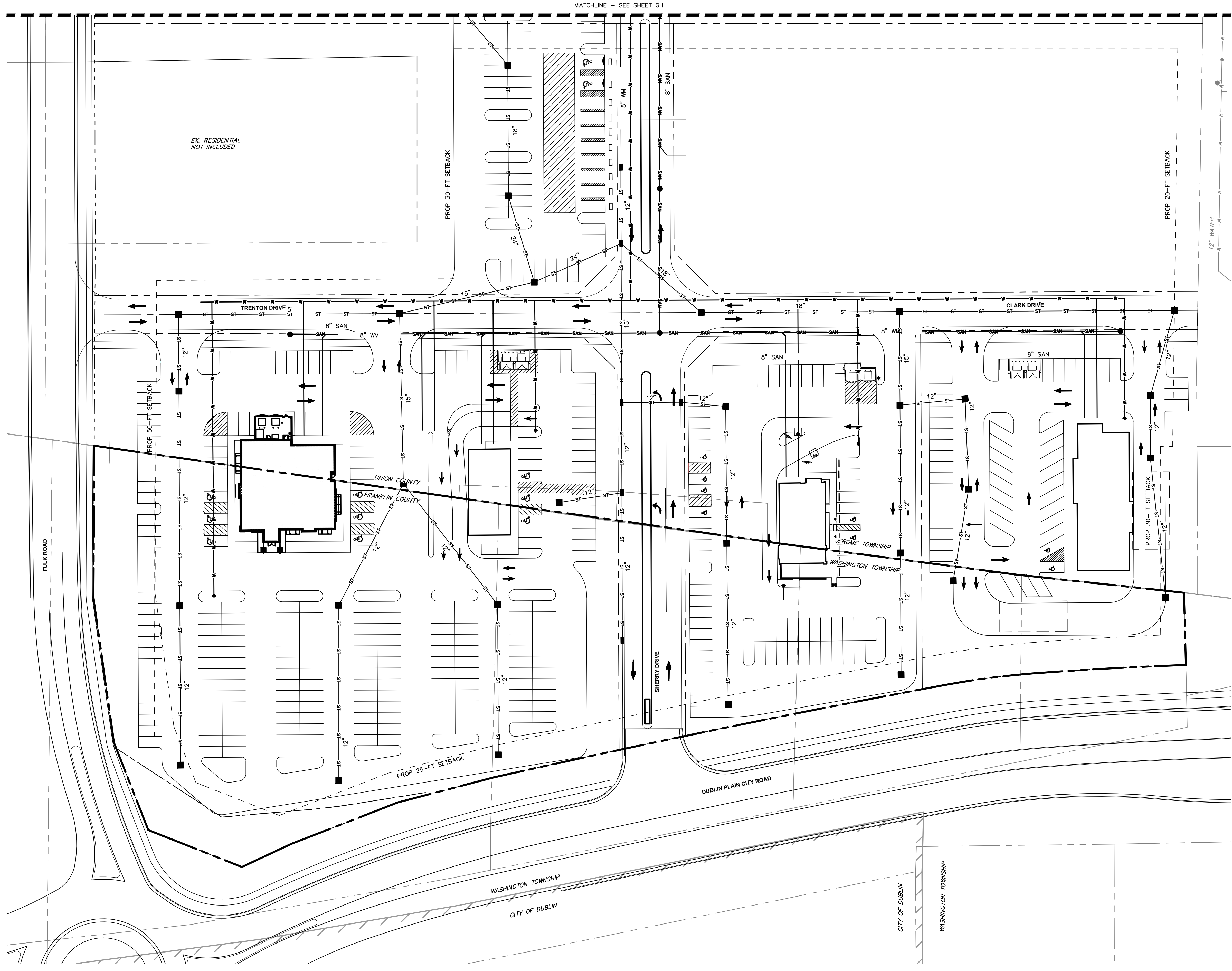
<h2 style="margin: 0;">UTILITY PLAN</h2>	<h2 style="margin: 0;">K-2 Retail GATEWAY CROSSING</h2> <p style="font-size: small; margin: 0;">WELDON RD, PLAIN CITY, OH 43064</p>
SCALE: AS NOTED DESIGNED BY: SDT DRAWN BY: SDT CHECKED BY: MR	Kimley-Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 10000 KIMLEY-HORN BLVD., SUITE 200 COLUMBUS, OH 43235 PHONE: 614-454-6696 WWW.KIMLEY-HORN.COM
ORIGINAL ISSUE: 4/9/2026 KHA PROJECT NO. 190385000 SHEET NUMBER	REVISIONS No. DATE BY
G.1	

Drawing name: K:\CIB_LDE\190385000_42 Retail_Berlington2_Design\CAD\PropSheets\Washington Township Zoning Submission\Overall Utility Plan.dwg Layout1 (2) Apr 09, 2025 9:39am by Sam Toke

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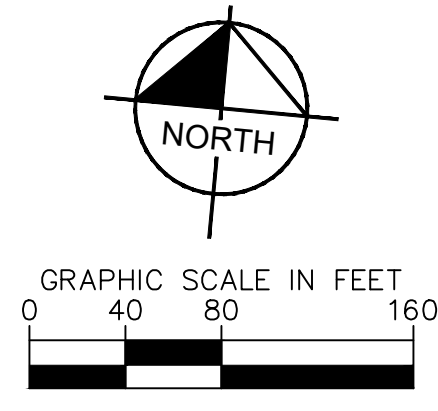
LEGEND	
	ZONING BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING STORM
	EXISTING SANITARY
	EXISTING FORCEMAIN
	EXISTING WATER
	PROPOSED STORM SEWER
	PROPOSED ROOF DRAIN
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY
	PROPOSED WATER
	PROPOSED HYDRANT
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED FIRE WATER SERVICE
	PROPOSED GAS
	PROPOSED TELECOM
	PROPOSED UNDERGROUND ELECTRIC



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		<small>SCALE: AS NOTED</small>	<small>DESIGNED BY: SDT</small>
<h2 style="margin: 0;">UTILITY PLAN</h2>		<small>DRAWN BY: SDT</small>	<small>CHECKED BY: MR</small>
		<h3 style="margin: 0;">K-2 Retail GATEWAY CROSSING</h3>	
<small>WELDON RD, PLAIN CITY, OH 43064</small>		<small>ORIGINAL ISSUE: 4/9/2026</small>	
<h1 style="margin: 0;">G.2</h1>		<small>KHA PROJECT NO. 190385000</small>	
<small>SHEET NUMBER</small>		<small>REVISIONS</small>	
<small>DATE</small>		<small>BY</small>	

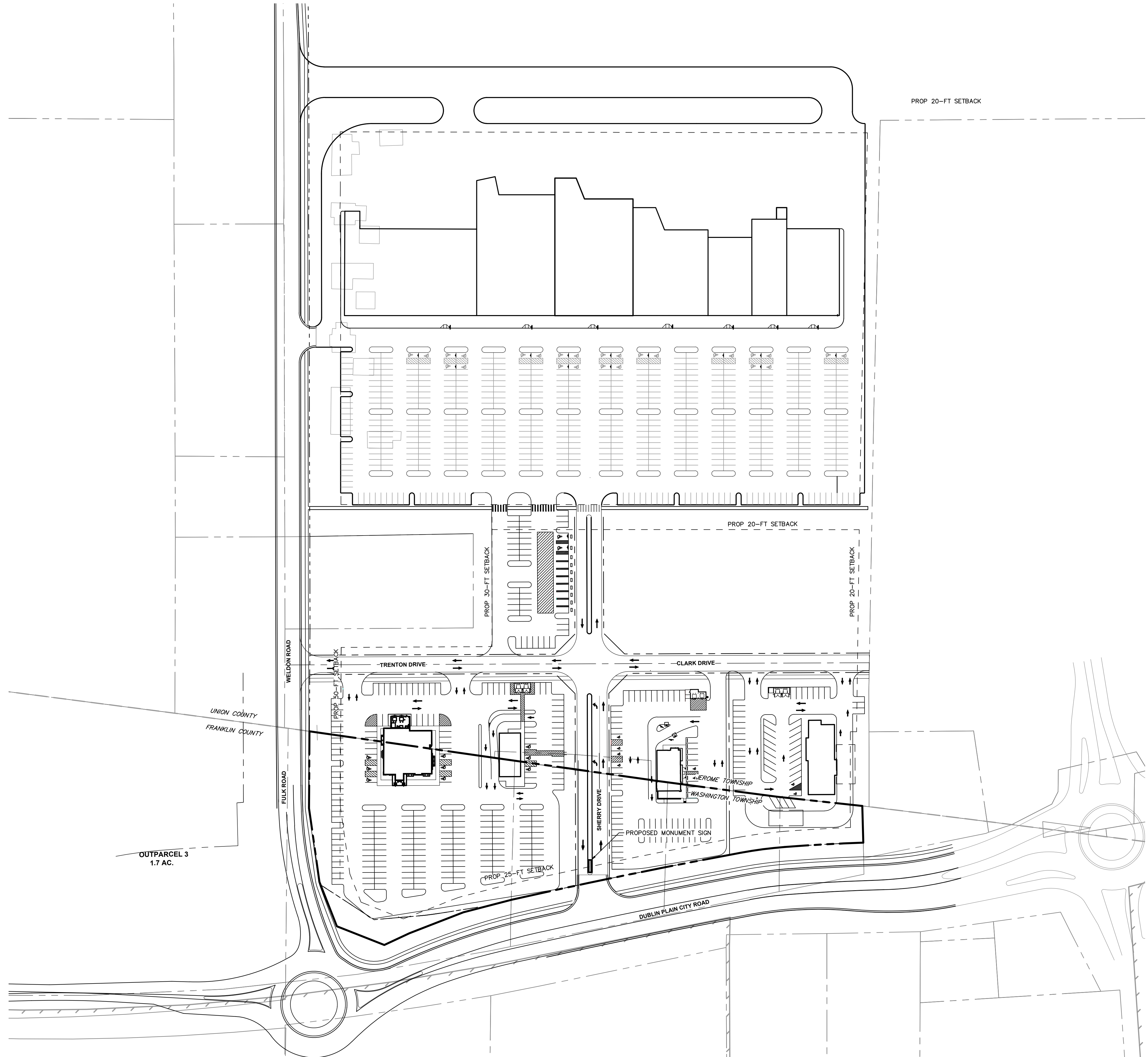
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LEGEND

- PROPOSED DOUBLE SIDED MONUMENT SIGNAGE
- PROPOSED SINGLE SIDED MONUMENT SIGNAGE



K-2 Retail GATEWAY CROSSING

WELDON RD, PLAIN CITY, OH 43064

SIGNAGE PLAN

SCALE: AS NOTED
 DESIGNED BY: SDT
 DRAWN BY: SDT
 CHECKED BY: MR

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No.	REVISIONS	DATE	BY



G Gateway
CROSSING

TYP LG. SIGN PANEL
36" X 758" = 18.75 SF
INTERNALLY ILLUMINATED

2" FRAME TYP.

TYP SM. SIGN PANEL
24" X 75" = 12.5 SF
INTERNALLY ILLUMINATED

OPEN

BRONZE STANDING SEAM METAL
ROOF, TRIM AND FASCIA

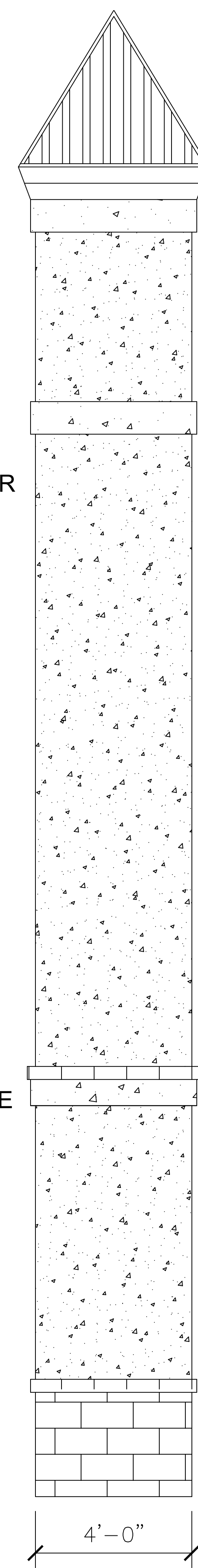
EIFS CORNICE

SHOPPING CENTER ID PANEL
34" X 108" = 23.1 SF
INTERNALLY ILLUMINATED

EIFS COLUMNS AND RELIEF CORNICE
COLRS TBD TO MATCH RETAIL CENTER

SOLDIER COURSE FACE BRICK CAP
EIFS COLUMNS AND RELIEF CORNICE

SOLDIER COURSE FACE BRICK CAP
SMOOTH LIMESTONE VENEER BASE



SCALE : 1/2" = 1'0"

DOUBLE SIDED TYP. ELEVATION

1

DESIGNER
PE/AK
Signage

ARCHITECT STAMP

PROJECT TITLE
SITE IMPROVEMENT FOR
PROPOSED PYLON SIGN
Faulk Rd & S.R. 161
Jerome TWP. OH

DRAWING TITLE
Gateway
CROSSING

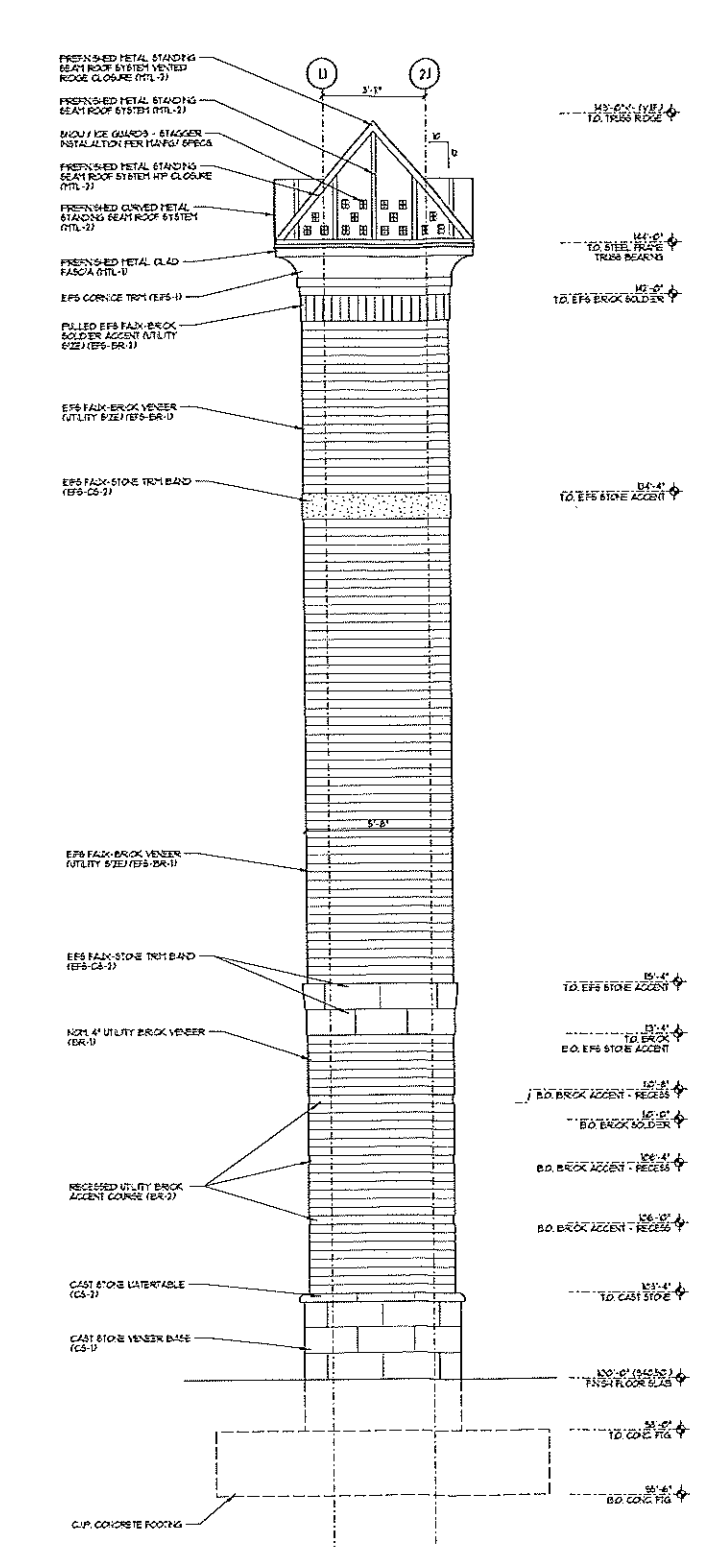
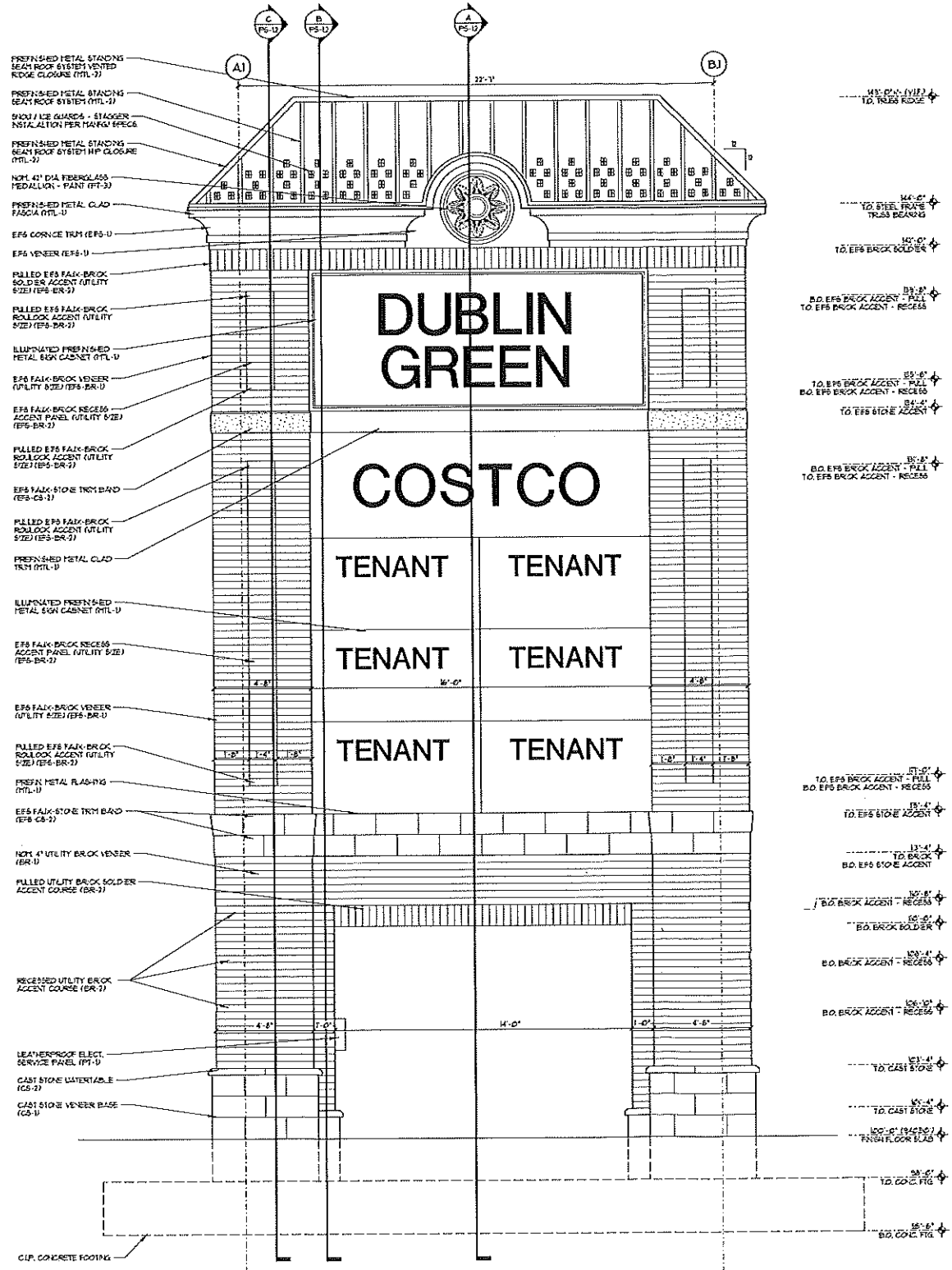
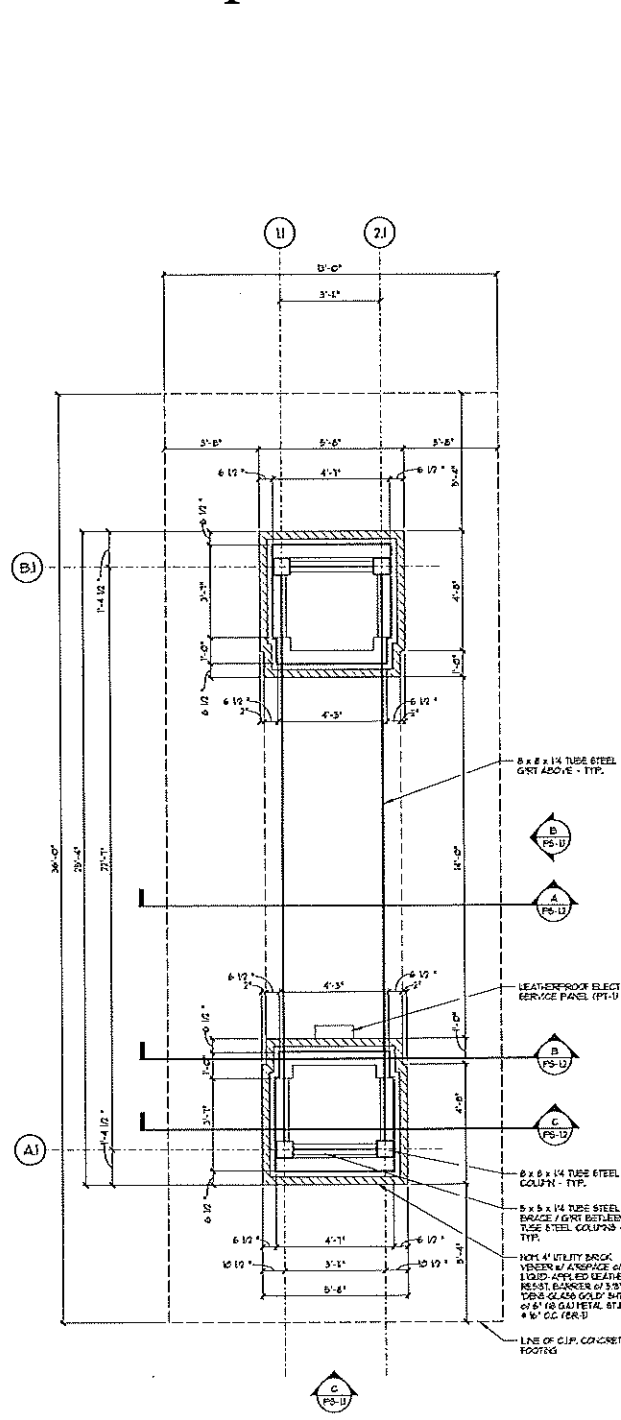
NOTES
THESE DRAWINGS WERE ORIGINALLY SOLD
ON OTHER SHEETS. THEY WILL NOT BE
SOLD AS NOTED.

REVISIONS	DATE	BY	DESCRIPTION
1	4/07/26	DEVELOPER	EDIT

DATE: 7/03/2025
Pylon

Dublin Green Sign for Comparable Purposes

MATERIAL FINISH KEY															
MARK	MANUFACTURER	DESCRIPTION	REMARKS	MARK	MANUFACTURER	DESCRIPTION	REMARKS	MARK	MANUFACTURER	DESCRIPTION	REMARKS	MARK	MANUFACTURER	DESCRIPTION	REMARKS
BRICK - UTILITY SIZE UNITS (3 5/8" x 3 5/8" x 3 5/8")				CAST STONE - SIZES TO BE DETERMINED				EXTERNAL INSULATION AND FINISH SYSTEM (EIFS)				PREPARED METAL			
[BR-1]	BELDEN - BELLEST	FACE BRICK - TUSCAN BLEND BR	MORTAR - T.B.D.	[ES-1]	READING ROCK	BACKSKIN BRICKSIN BR1303	MORTAR - T.B.D.	[EP-1]	DRYVIT	BARBARAN WOOD 448	SANITIZABLE FINE FINISH	[PTL-1]	DYS	TRC	TRC SIGN CABINET
[BR-2]	BELDEN - BELLEST	FACE BRICK - ST. MARY BLEND BR	MORTAR - T.B.D.	[ES-2]	READING ROCK	BACKSKIN BR1303H	MORTAR - T.B.D.	[EP-2]	DRYVIT	COLOR / TEXTURE TO MATCH BRICK	TALK BRICK FINISH	[PTL-2]	DYS	CLASS 'C BRONZE'	METAL ROOF TRIM
ALTERNATE MANUFACTURERS ACCEPTABLE				ALTERNATE MANUFACTURERS ACCEPTABLE				ALTERNATE MANUFACTURERS ACCEPTABLE				ALTERNATE MANUFACTURERS ACCEPTABLE			
NOTE - TEXTURE AND COLOR OF TALK BRICK FINISH TO MATCH ADJACENT PYLON AREA BRICK FINISH + COLOR MULTIPLE COLORS FOR BLEND - TYP.				NOTE - TEXTURE AND COLOR OF TALK STONE FINISH TO MATCH ADJACENT PYLON AREA CAST STONE FINISH + COLOR - TYP.				ALTERNATE MANUFACTURERS ACCEPTABLE							



FORD & ASSOCIATES
1500 West First Avenue
Columbus, OH 43122
P: 614.441.4332
F: 614.441.9943
ARCHITECTS

DUBLIN GREEN - PYLON SIGNS
STATE ROUTE 161 (POST ROAD) & INDUSTRIAL PARKWAY
PLAIN CITY, OHIO 43084
FOR JEROME TOWNSHIP, UNION COUNTY
FOR JOSEPH SKILKEN & CO.
383 S. THIRD STREET
COLUMBUS, OHIO 43215

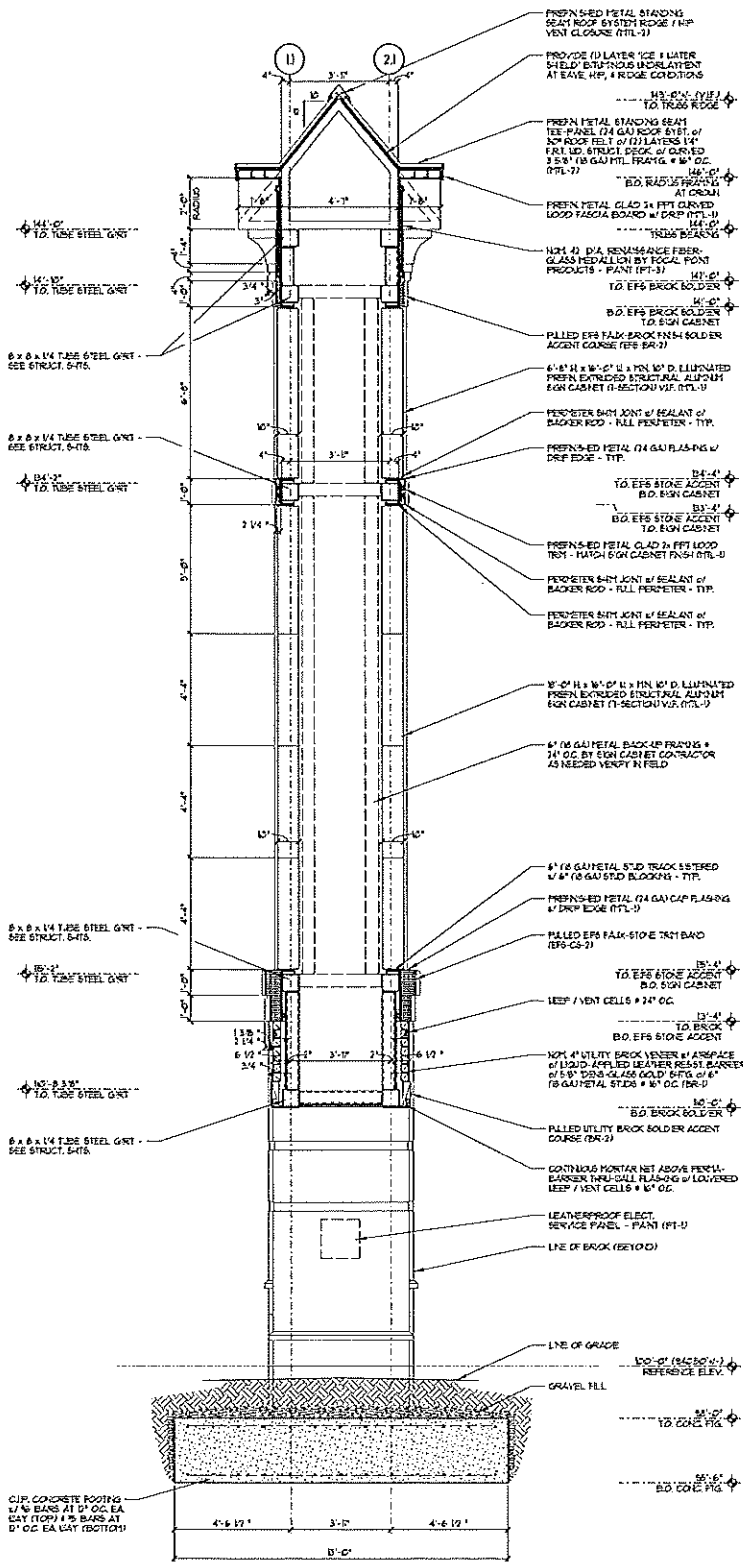
STATE OF OHIO
MARK P. SKILKEN
REGISTERED ARCHITECT
No. 11,107
Expiration Date 12/31/2017

DATE	REVISION	DATE
02/14/2017	01	02/14/2017
02/14/2017	02	02/14/2017

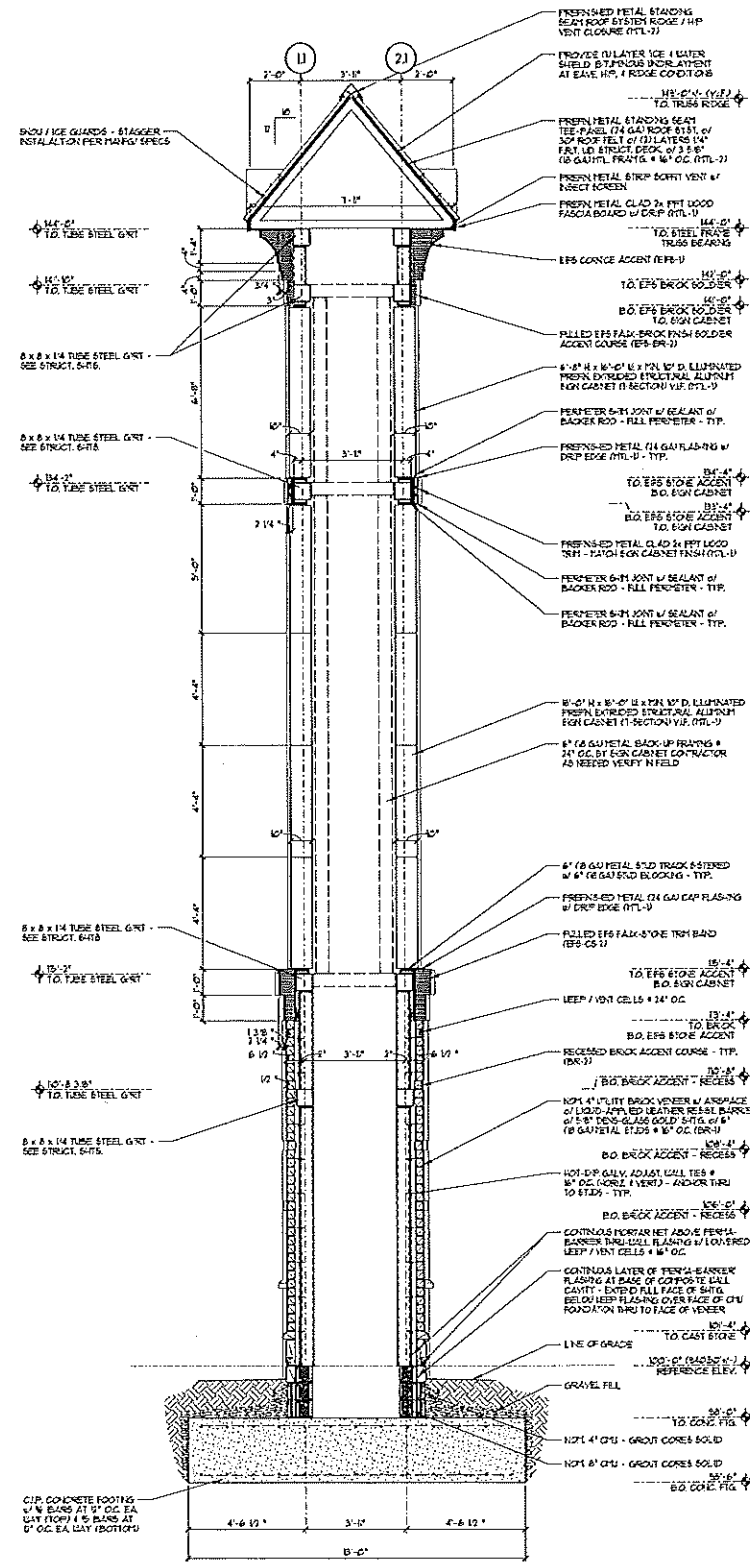
PS-1.1
DUBLIN GREEN
PYLON SIGNS

CONSTRUCTION NOTES

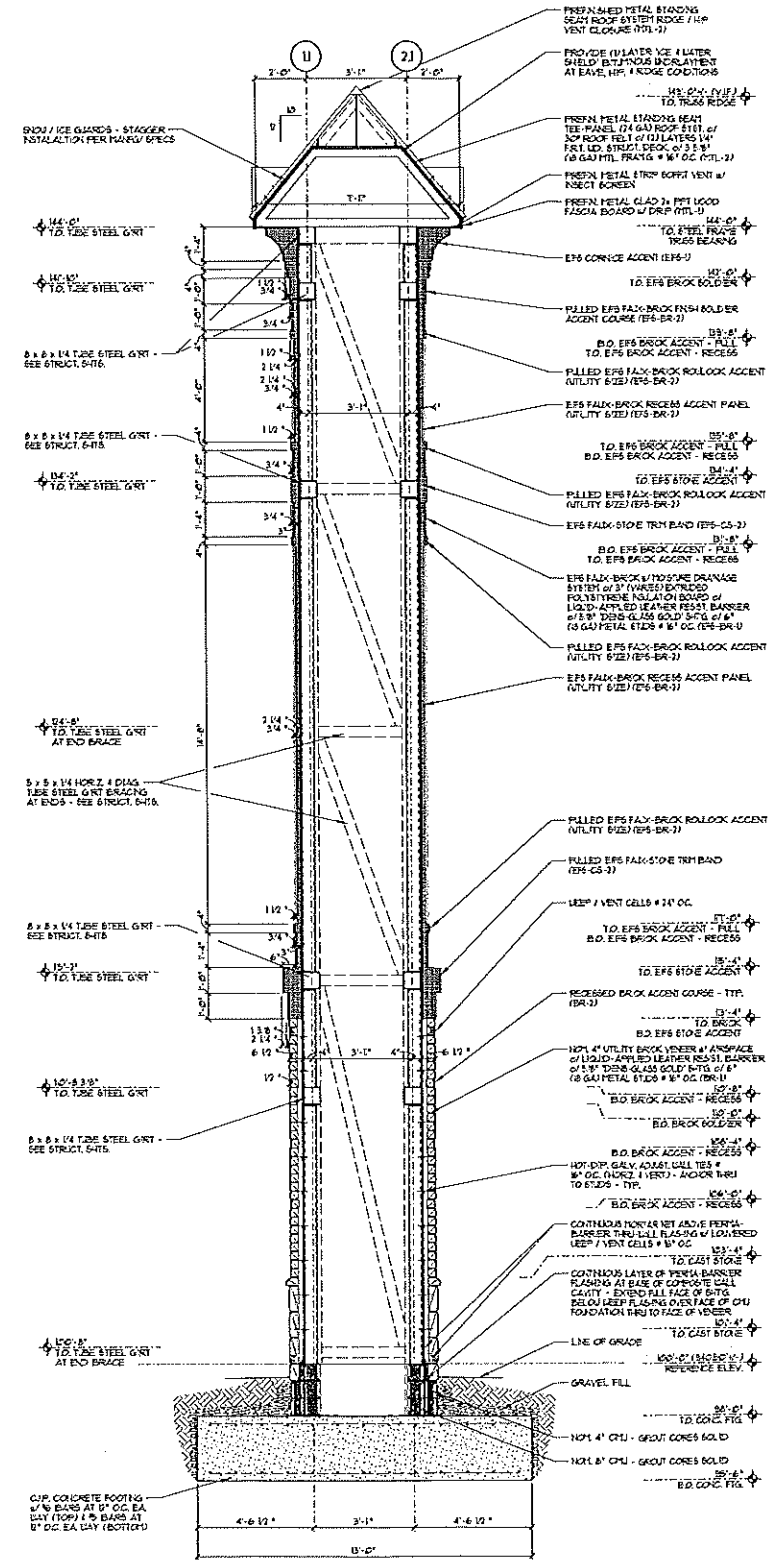
- ALL FASTENERS, CONNECTIONS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASST #433, GLASS & W/UT HAS COULDS OF 1/2" PER SQUARE FOOT TO REDUCE THE CORROSION PROGRESS.
- ALL WOOD NOTED TO BE FIRE RETARDANT TREATED (FRT) PER ALPHA 1 & 2) AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 10 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 PER CBC SECTION 1203.1. EXTERIOR FIRE RETARDANT TREATED (FRT) WOOD EXPOSED TO WEATHER, OR LET CONDITIONS SHALL BE IDENTIFIED AS EXTERIOR TO INDICATE INCREASE IN THE LISTED FLAME SPREAD INDEX PER CBC 1203.1.1. WOODS WHEN SUBJECTED TO ASTM D 2554 ABOVE GRADE SURFACE. EXTEND THROUGH FLASHING TO WITHIN 1" OF EXTERIOR MASONRY SURFACE (LAP OVER STAINLESS STEEL DRAIN EDGE FLASHING).
- ALL EXTERIOR WOOD FINISHES TO BE WEATHER RESISTANT PRESERVATIVE TREATED (PPT) PER ALPHA 1 & 2 (FLESH NOTED AS FRT, OR FRT) PER CBC SECTION 1203.1.
- ALL WEATHERING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO METAL FRAMING BY THE USE OF NON-REINFORCING BOLTS. NO LATH FASTENERS ARE PERMITTED.
- HOT-DIPPED GALVANIZED ADJUSTABLE LATH TIES # 3 @ 12" O.C. (VERT.) # 4 @ 12" O.C. (HORIZ.) TO BE ANCHORED THROUGH TO METAL STUD FRAMING.
- REFER TO SPECIFICATIONS FOR SPECIFIC MASONRY, HOT-SHAPE LEATHER BANNER, THROUGH FLASHING AND LEAF CONTROLS AND INSTALLATION REQUIREMENTS. ALL REQUIREMENTS MUST BE MET, FAILURE TO FOLLOW SPECIFIC CRITERIA WILL RESULT IN REMOVAL OF ALL UNACCEPTABLE CONSTRUCTION.
- LEATHER RESISTANT BARRIER IS TO BE FULLY ADHERED TO ALL SURFACES AND PENETRATIONS. NOTE - IF LEATHER RESISTANT BARRIER IS NOT FULLY ADHERED THEN TAPE IS TO BE FULLY ADHERED TO SURFACE OF LEATHER RESISTANT BARRIER AT ALL ANCHOR PENETRATION LOCATIONS.
- ALL JOINTS OF FLASHING AND JOINTS OF BRICK-GLASS GOLD WEATHERING BARRIER / METAL STUD WALL CONSTRUCTION CONDITIONS ARE TO BE SEALED PER LEATHER RESISTANT BARRIER / FLASHING MANUFACTURER SPECIFICATIONS WITH MANUFACTURER'S RECOMMENDED TAPE / SEALANTS.
- LAP ALL WEATHER RESISTANT BARRIERS AND THROUGH FLASHINGS IN A LATER 6-EDGING MANNER.
- PROVIDE CONTINUOUS ANCHORAGE FOR ALL THROUGH FLASHINGS.
- INSTALL THROUGH FLASHINGS AT THE BASE OF CAVITY WALLS HEADS OF DOORS, WINDOWS AND OTHER OPENINGS UNLESS ALL 4-EDGING PLATES, 4-EDGING ANGLE, WALL RECESSES AND PROTECTIVE COVERS AND AT SIMILAR LOCATIONS.
- PLACE FLASHINGS (1) COURSES ABOVE GRADE. STEP FLASHINGS UNDER GRADE FLOORS.
- PROVIDE CONTINUOUS STAINLESS STEEL DRAIN EDGE FLASHING AT EXTERIOR SURFACE OF THROUGH FLASHING JOINT ABOVE GRADE SURFACE. EXTEND THROUGH FLASHING TO WITHIN 1" OF EXTERIOR MASONRY SURFACE (LAP OVER STAINLESS STEEL DRAIN EDGE FLASHING).
- EXTEND ALL THROUGH FLASHINGS TO WITHIN 1" OF EXTERIOR FACE OF MASONRY AT LOCATIONS WHERE STAINLESS STEEL DRAIN EDGE FLASHING IS NOT PROVIDED. CUT BACK FLASHING FLUSH TO FACE AFTER INSTALLATION PRIOR TO CLEARING MASONRY SURFACE.
- LAY FLASHING IN A MANNER OF FRESH MORTAR AND TOP WITH A FULL BED OF FRESH MORTAR. IF SHOWN ON DRAWINGS, PROVIDE A ROOF INSULATION CURB.
- EXTEND FLASHINGS VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
- FLASHING THAT IS NOT CONTINUOUS SUCH AS THAT IN HEAD AND SILL LOCATIONS OF OPENINGS IN EXTERIOR WALLS SHALL EXTEND 8 INCHES BEYOND THE JAMB LINES ON EACH SIDE OF THE OPENING AND TYPED UP BRICK HEIGHT TO FORM A DAM. CORNERS AT THE DAMS SHALL BE ROUNDED AND NOT CUT.
- ALL THROUGH WALL PENETRATIONS (PIPE, CONDUIT, ETC.) ARE TO BE SEALED FULL PERIMETER (BOTH INTERIOR AND EXTERIOR) WITH BEALANT OVER BACKER MATERIAL.
- GOLD-FORMED STEEL MEMBERS 2XES AND CONNECTIONS SHOWN ON THE DRAWINGS ARE PRELIMINARY. THE GOLD-FORMED STEEL SUPPLIER SHALL DETERMINE FINAL MEMBER SIZES AND CONNECTIONS. THE GOLD-FORMED STEEL SUPPLIER'S SIZE SHALL REFLECT THE FINAL MEMBER SIZES AND CONNECTIONS.



A PYLON SIGN #1 - WALL SECTION
SCALE 3/8" = 1'-0"



B PYLON SIGN #1 - WALL SECTION
SCALE 3/8" = 1'-0"



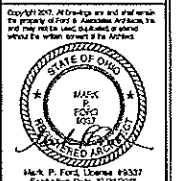
C PYLON SIGN #1 - WALL SECTION
SCALE 3/8" = 1'-0"

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PLAIN CITY, OHIO 43064
FOR JEROME TOWNSHIP, UNION COUNTY
JOSEPH SKILKEN & CO.
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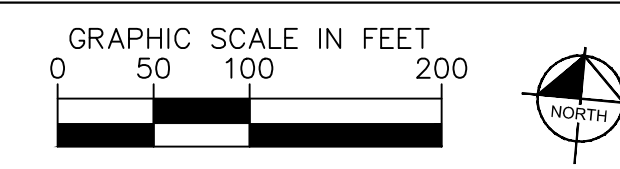
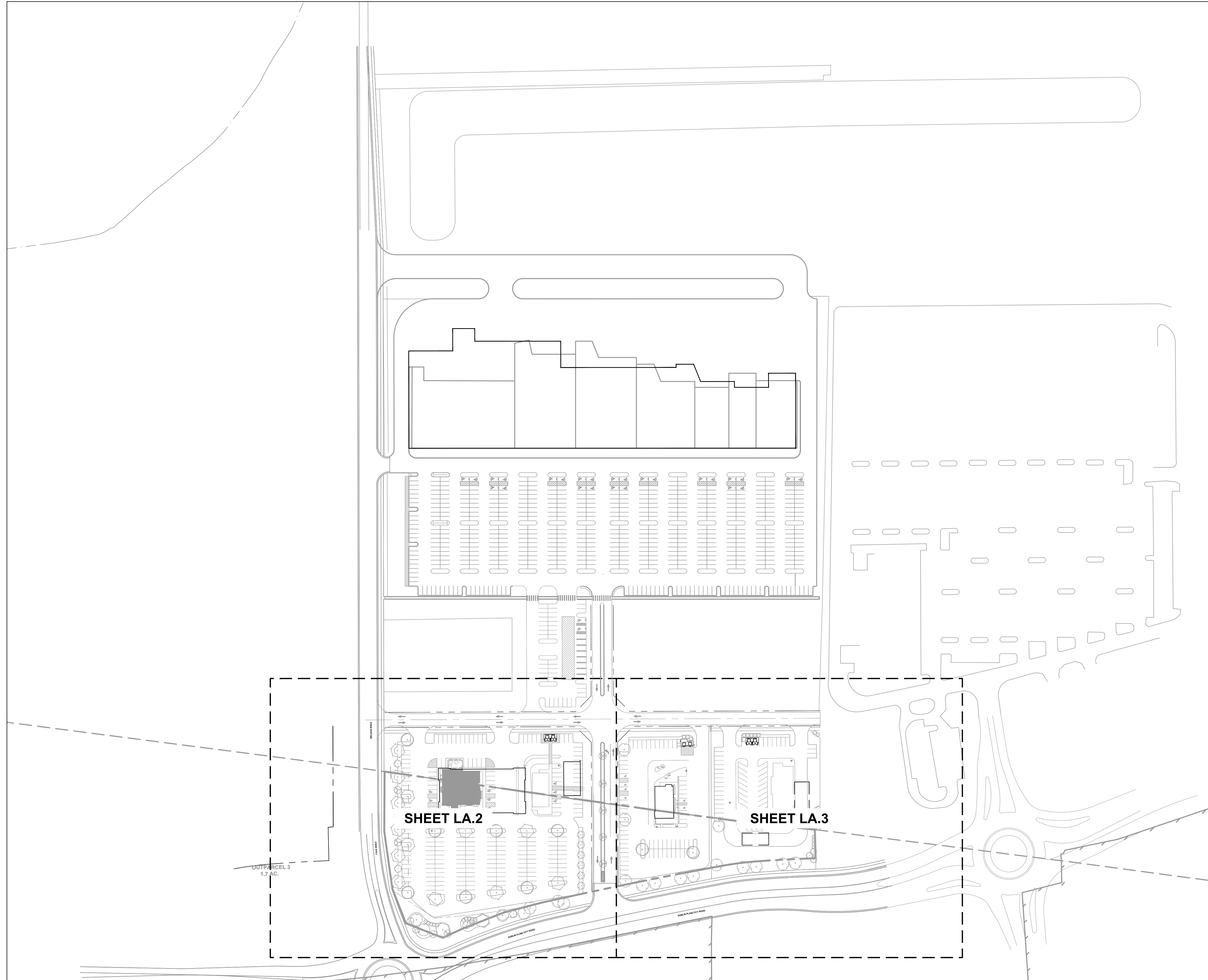


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02/16/2017	002	02/16/2017

PS-12
DUBLIN GREEN
PYLON SIGNS

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**K-2 Retail
GATEWAY
CROSSING**
WELDON RD, PLAIN CITY, OH 43064

**OVERALL
LANDSCAPE PLAN**

SCALE: AS NOTED
DESIGNED BY: SDT
DRAWN BY: SDT
CHECKED BY: MR

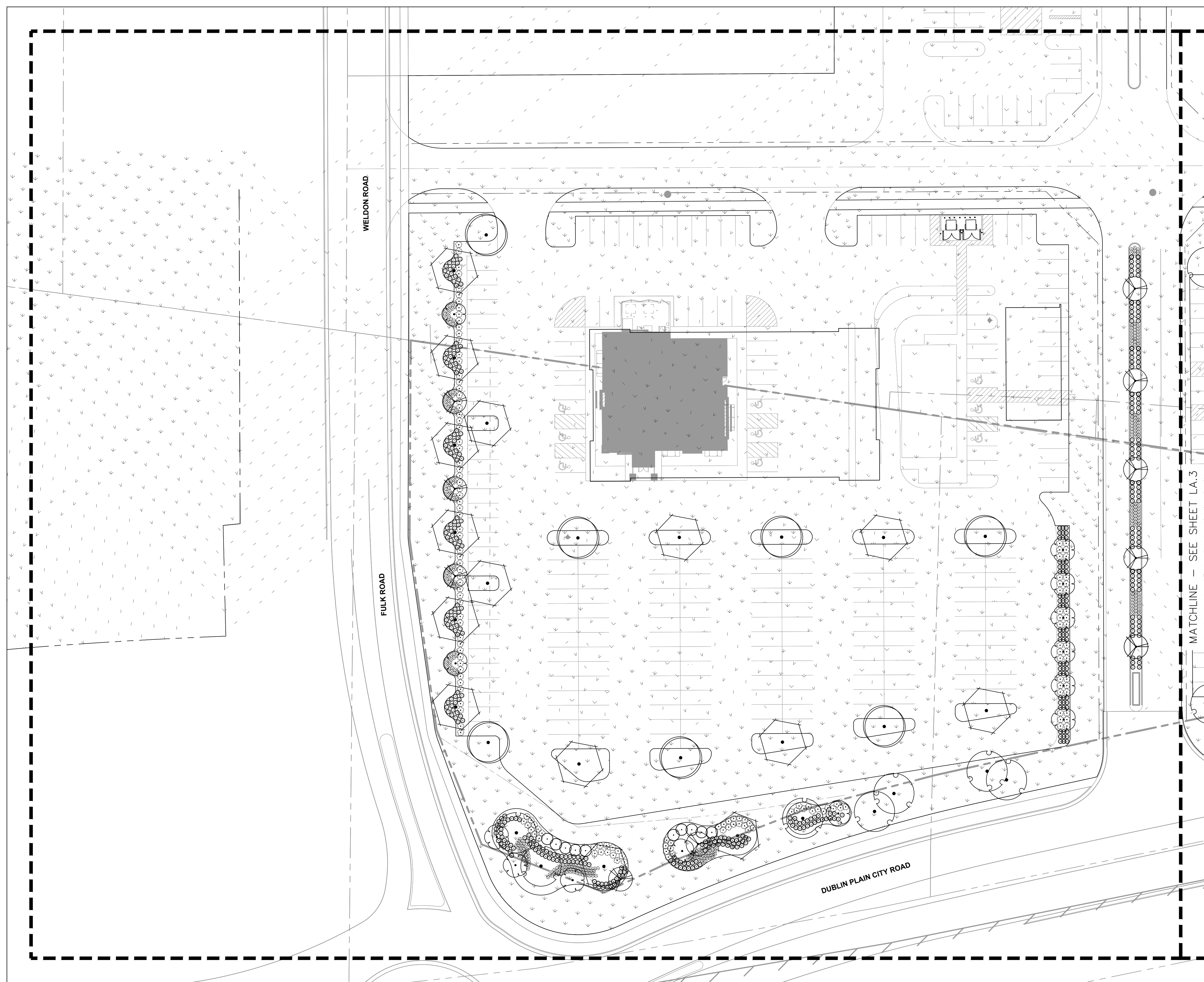
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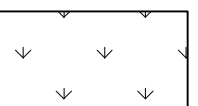
ORIGINAL ISSUE:
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KHA PROJECT NO.
190385000
SHEET NUMBER

LA.1

Drawing name: K:\CEB_LBEA\190385000_42 Retail_Berlington2_Design\CAD\PropSheets\Washington_Township_Zoning_Submission\LANDSCAPE_PLAN.dwg LA.2 Apr 09, 2026 10:21am by Sam Toke
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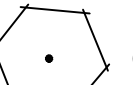




SEEDING LEGEND




 SEED
 TALL FESCUE TURF TYPE, TYP.
 SITE TOTAL: +/- 73,911 SF

PLANTING LEGEND



CANOPY TREES

-  GT THORNLESS HONEY LOCUST
-  LT TULIP POPLAR
-  PX EXCLAMATION!™ LONDON PLANE TREE

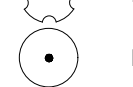
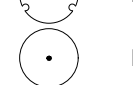
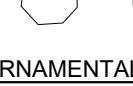


EVERGREEN TREES

-  JV EASTERN REDCEDAR
-  PA NORWAY SPRUCE
-  TO GREEN GIANT ARBORVITAE


ORNAMENTAL TREES

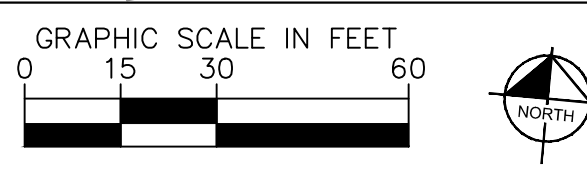
-  AG PAPERBARK MAPLE
-  AL SNOWCLOUD ALLEGHENY SERVICEBERRY


SHRUBS

-  BS KOREAN BOXWOOD
-  EP CONEFLOWER
-  NG CATMINT
-  RA GRO-LOW FRAGRANT SUMAC
-  RF BLACK EYE SUSAN

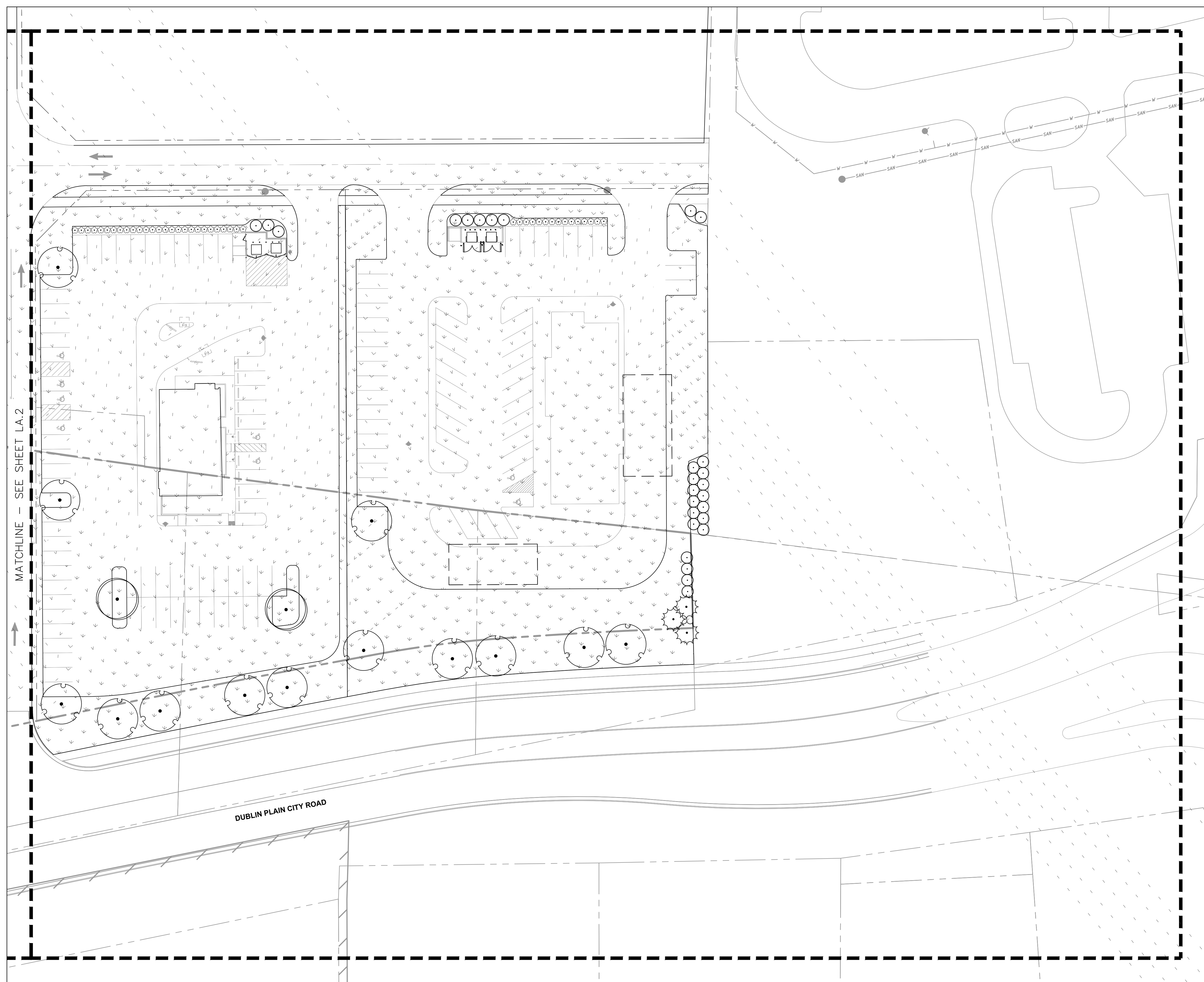
ORNAMENTAL GRASSES

-  SH PRAIRIE DROPSAED

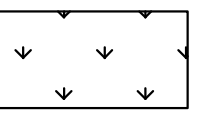


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		<small>SCALE: AS NOTED</small> <small>DESIGNED BY: SDT</small> <small>DRAWN BY: SDT</small> <small>CHECKED BY: MR</small>	<small>NO.</small> <small>REVISIONS</small> <small>DATE</small> <small>BY</small>
LANDSCAPE PLAN		K-2 Retail GATEWAY CROSSING	
WELDON RD, PLAIN CITY, OH 43064		<small>ORIGINAL ISSUE:</small> 4/9/2026 <small>KHA PROJECT NO.</small> 190385000 <small>SHEET NUMBER</small> LA.2	

Drawing name: K:\CIB_LDEA\190385000_42 Retail_Berlington2_Design\CAD\PropSheets\Washington_Township_Zoning_Submission\LANDSCAPE_PLAN.dwg LA.3 Apr 09, 2026 10:21am by Sam Toke
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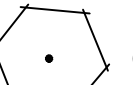




SEEDING LEGEND





 SEED
 TALL FESCUE TURF TYPE, TYP.
 SITE TOTAL: +/- 73,911 SF

PLANTING LEGEND



CANOPY TREES

-  GT THORNLESS HONEY LOCUST
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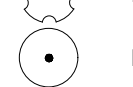
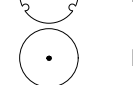
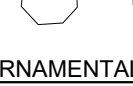


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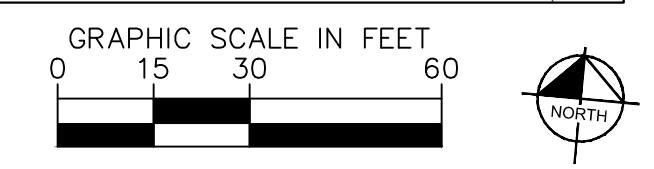
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KHA PROJECT NO. 190385000				
SHEET NUMBER				
L.3				DATE
				BY

GENERAL LANDSCAPE NOTES

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL**
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS**
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ½ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMBS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER**
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH**
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDED HARDWOOD MULCH DARK BROWN FINES OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
 - DIGGING AND HANDLING
 - ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PROF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

- J. CONTAINER GROWN STOCK**
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST**
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING**
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES**
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
 - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
 - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
 - FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
 - ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
 - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS, MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- N. LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE

- INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
 - EDGING
 - CONTRACTOR SHALL INSTALL 4"x2" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
 - CLEANUP
 - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTOR'S WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - PLANT MATERIAL MAINTENANCE
 - ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - FINAL INSPECTION AND ACCEPTANCE OF WORK
 - FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
 - WARRANTY
 - THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

WASHINGTON TWP. CODE LANDSCAPE REQUIREMENTS		
ZONE: PLANNED COMMERCIAL DISTRICT - GENERAL		
ZONING ORDINANCE	REQUIRED	PROPOSED
552.013 WHERE LANDSCAPE MATERIALS REQUIRED		
PERIMETER LANDSCAPING Unless otherwise provided, landscape materials shall be installed to provide a minimum of fifty (50) percent winter and seventy (70) percent summer opaqueness, between one (1) foot above finished grade level to the top of the required planting, hedge, fence, wall, or earth mound within three (3) years after installation.	PROVIDE 50% (WINTER) TO 70% (SUMMER) OPAQUENESS TO PERIMETER LANDSCAPING	PROVIDED
INTERIOR LANDSCAPING Interior landscaping required for vehicular use areas over 6,000 sq. ft. or 20 parking spaces. A minimum of 5 sq. ft. of landscaping per 100 sq. ft. of vehicular area shall be provided, with individual islands meeting size and spacing limits. A minimum of one tree per 5,000 sq. ft. of ground coverage and one caliper inch per 2,000 sq. ft. shall be provided. Vehicles shall not overhang landscaped areas more than 2½ feet, and service structures shall be fully screened with 100% opacity.	INTERIOR LANDSCAPING: 178,501 SQFT. x 0.05 SQFT. = 8,925 SQFT REQUIRED 178,501 / 5,000 = 35.7 36 TREES REQUIRED	9,688 SQFT. PROVIDED 39 TREES PROVIDED
552.014 LANDSCAPE MATERIALS		
Evergreen trees shall be a minimum of five (5) feet in height at the time of planting and shall have a minimum caliper of one and one-half inches (1½") immediately after planting.	EVERGREEN TREES SHALL BE A MINIMUM OF 5 FEET IN HEIGHT AT PLANTING	
Deciduous trees shall be species with an average mature crown spread greater than fifteen (15) feet and shall be capable of maintaining a minimum of five (5) feet of clear trunk, or eight (8) feet where vehicular visibility requirements apply.	DECIDUOUS TREES SHALL HAVE A MATURE CROWN SPREAD GREATER THAN 15 FEET AND BE CAPABLE OF MAINTAINING 5 FEET OF CLEAR TRUNK OR 8 FEET WHERE VEHICULAR VISIBILITY IS REQUIRED	PROVIDED
Shrubs and hedges shall be a minimum of three (3) feet in height at planting and shall achieve required opacity standards within three (3) years after planting.	SHRUBS AND HEDGES SHALL BE A MINIMUM OF 3 FEET IN HEIGHT AT PLANTING.	
Grass shall consist of species suitable for permanent lawns in Central Ohio and may be seeded or sodded, except in erosion-prone areas where solid sod, erosion netting, or mulch shall be used. Sod shall be clean and free of weeds, pests, and disease.	GRASS SHALL CONSIST OF PERMANENT LAWN SPECIES SUITABLE FOR CENTRAL OHIO.	

No.	REVISIONS	DATE	BY

Kimley»Horn
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10000 WILSON ROAD, SUITE 200
COLUMBUS, OH 43235
PHONE: 614-454-6696
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED	DESIGNED BY: SDT	DRAWN BY: SDT	CHECKED BY: MR
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LANDSCAPE NOTES

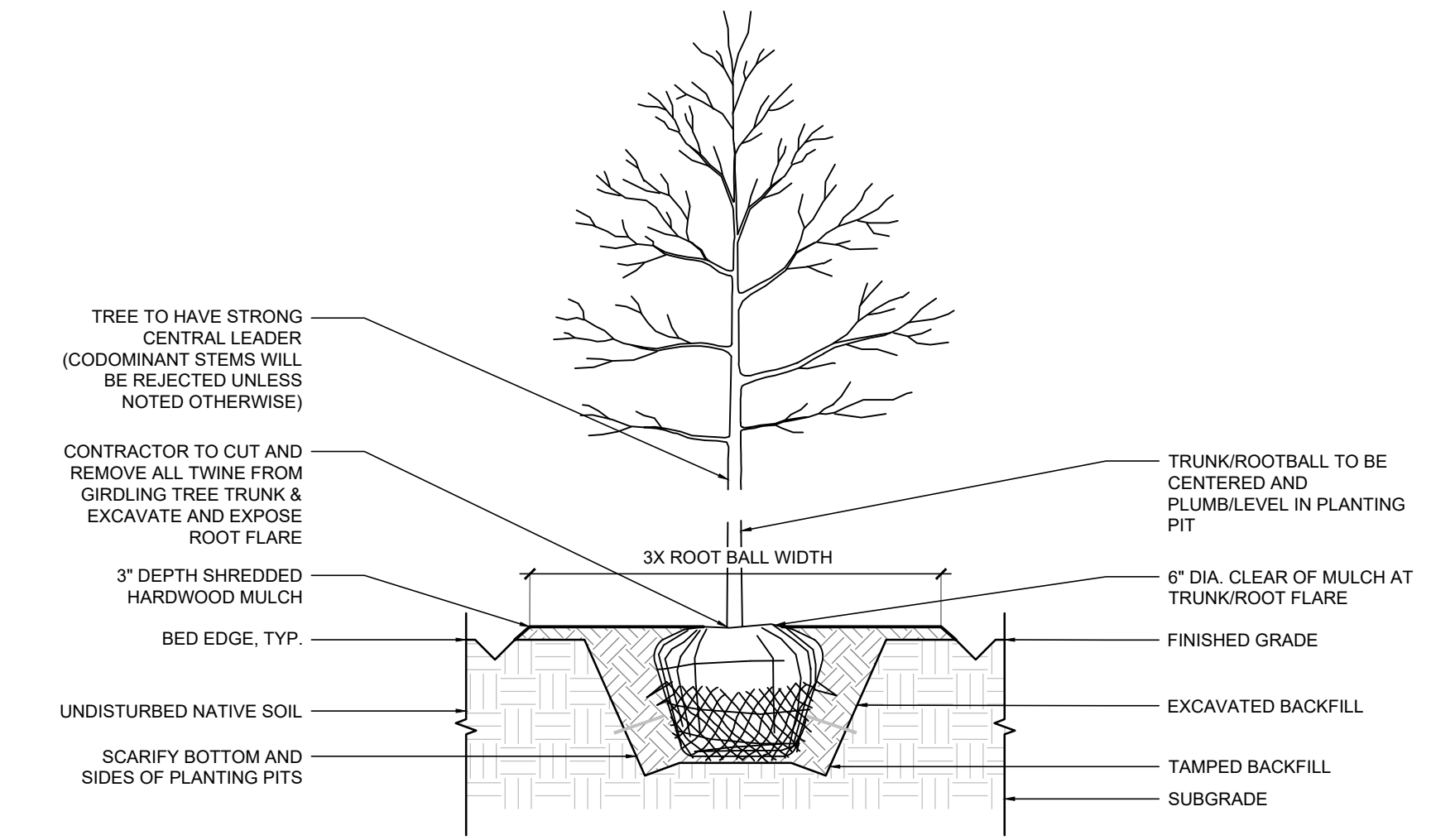
K-2 Retail GATEWAY CROSSING
WELDON RD., PLAIN CITY, OH 43064

ORIGINAL ISSUE:
4/9/2026
KHA PROJECT NO.
190385000
SHEET NUMBER

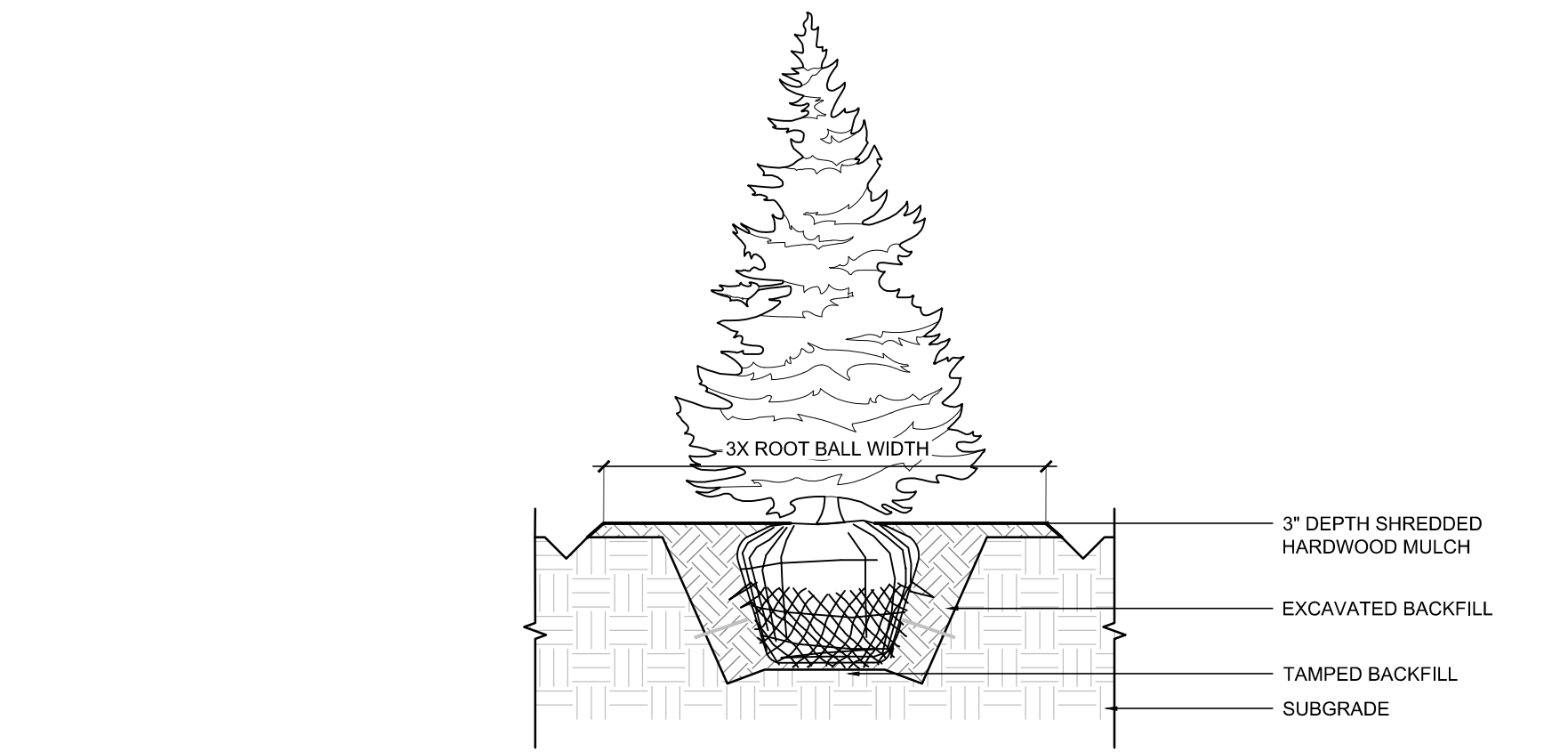
LA.4

Drawing name: K:\CIB_LBEA\190385000_42 Retail_Berlington2_Design\CAD\PropSheets\Washington_Township_Zoning_Submission\LANDSCAPE_PLAN.dwg LA.5-DETAILS Apr 09, 2026 10:22am by: Sam,Tabbe

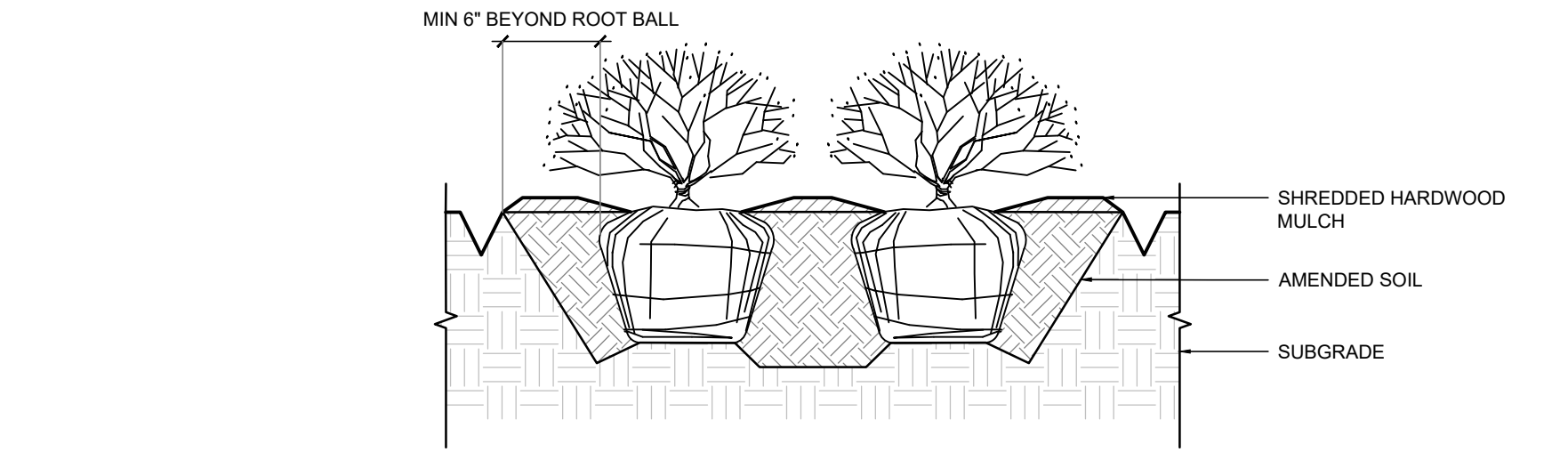
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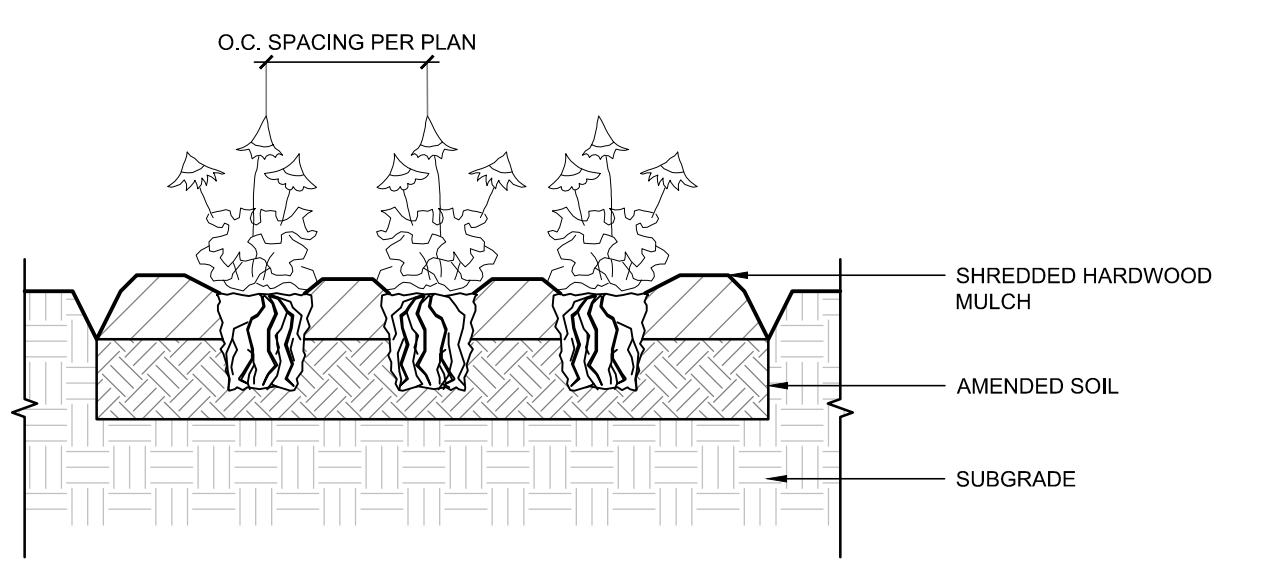
1 DECIDUOUS TREE PLANTING
1'0" 1'1" 1'2" 1'4" TYPICAL SECTION



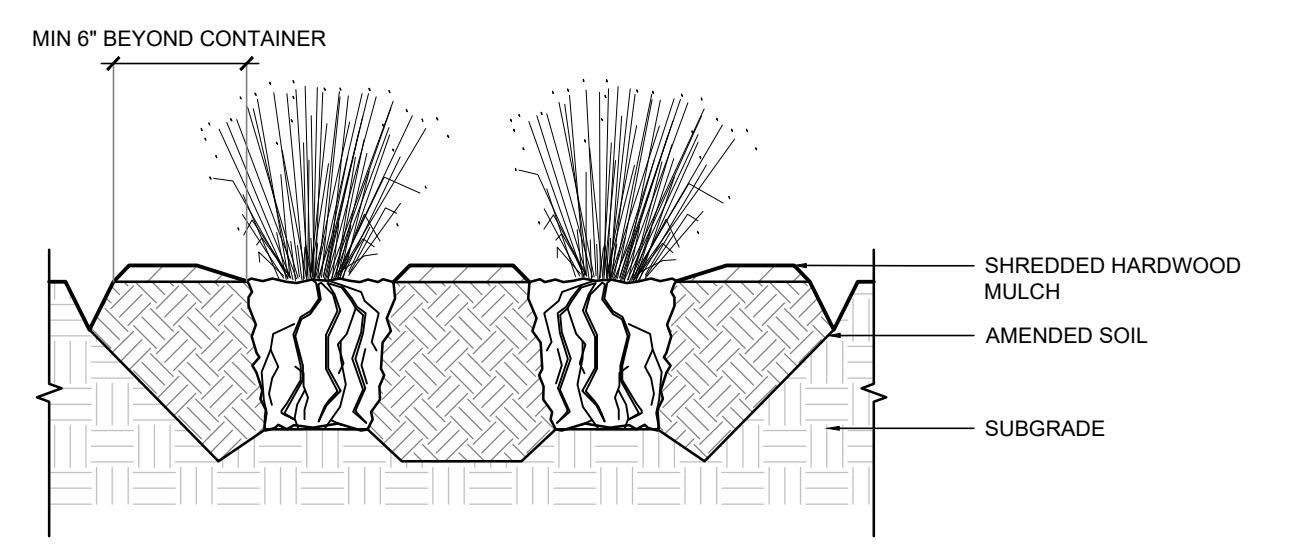
2 EVERGREEN TREE PLANTING
1'0" 1'1" 1'2" 1'4" TYPICAL SECTION



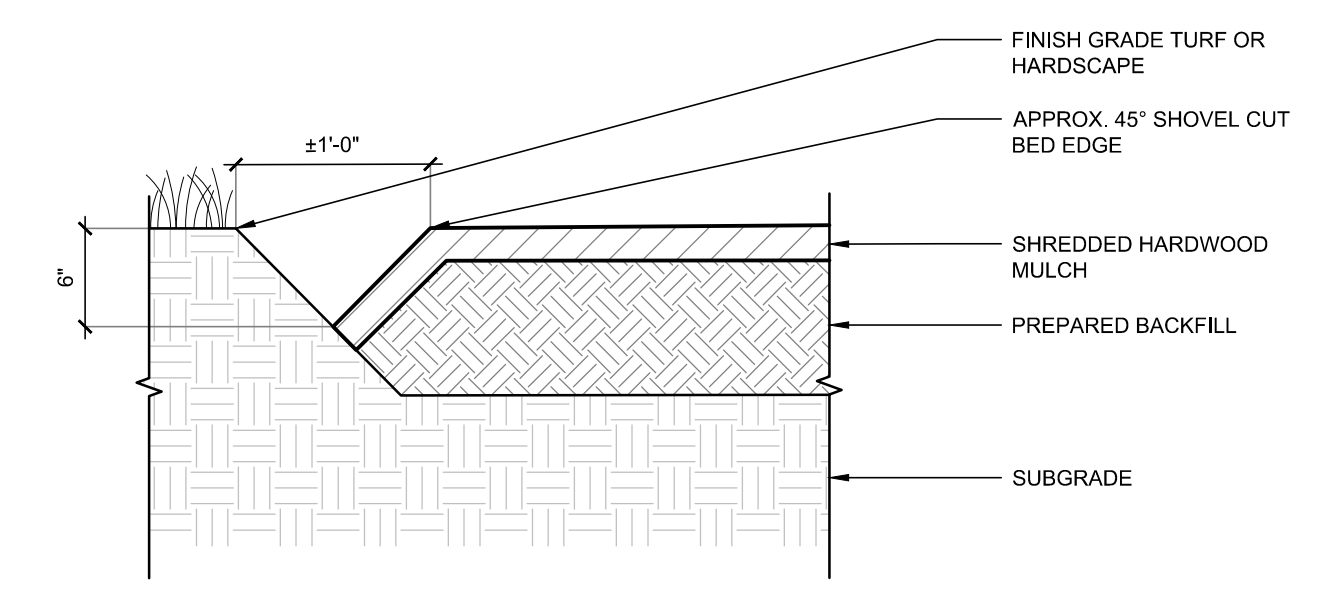
3 SHRUB PLANTING
1'0" 1'1" 1'2" 1'4" TYPICAL SECTION



4 PERENNIAL PLANTING
1'0" 1'1" 1'2" 1'4" TYPICAL SECTION



5 ORNAMENTAL GRASS PLANTING
1'0" 1'1" 1'2" 1'4" TYPICAL SECTION



6 LANDSCAPE BED EDGE
1'0" 1'6" 1'1" 1'2" TYPICAL SECTION

No.	REVISIONS	DATE	BY

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SCALE: AS NOTED
DESIGNED BY: SDT
DRAWN BY: SDT
CHECKED BY: MR

LANDSCAPE DETAILS

**K-2 Retail
GATEWAY
CROSSING**
WELDON RD, PLAIN CITY, OH 43064

ORIGINAL ISSUE:
4/9/2026
KHA PROJECT NO.
190385000
SHEET NUMBER

LA.5-



Property Information

Site Address: 717.725 N. HAGUE AVE.

Parcel ID(s): 140-002667

Total Acreage: 3 Township: FRANKLIN

Property Description

Acres to be rezoned: 3

Current Land Use: CHURCH

Surrounding Land Uses:

North	<u>ONE-FAMILY DWELLING</u>
South	<u>OTHER COMMERCIAL STRUCTURE</u>
East	<u>ONE-FAMILY DWELLINGS</u>
West	<u>ONE-FAMILY DWELLING</u>

Rezoning Request

Current Zoning: R1-RESTRICTED INDUSTRIAL & RURAL

Proposed Zoning: R8-RESTRICTED URBAN RESIDENTIAL

Proposed Land Use: CHURCH

Purpose for Request: COMBINATION OF LOTS AND CHANGE TO PERMITTED USE. MORE REALISTIC LOT COVERAGE REQUIREMENTS.

Staff Use Only

Case # Z01-26-05

Date Filed: 04/27/26

Fee Paid: \$1,200

Receipt # 26-01204

Received By: AUSTIN W.

Technical Review Date: 05/20/26

Big Darby Panel Date:

Planning Commission Date: 06/10/26

Rural Zoning Commission Date: 06/18/26

Commissioners Date: 07/14/26

Checklist

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other

Wastewater Treatment

Public (Central)

Private (On-site)

Other





Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Application for
Rezoning
Page 2

Property Owner Information

Name: Bible TRUTH TABERNACLE ATTN: Anthony Reilly
Address: 725 N. HAGUE AVE.
Columbus, OH 43204

Phone # [REDACTED] Fax # [REDACTED]
Email: [REDACTED]

Applicant Information Same as property owner

Name: JIM DORENBUSCH, Junction Architecture & Design, LLC
Address: 8039 YORK RD SW
PATASKALA, OH 43062

Phone # [REDACTED] Fax # [REDACTED]
Email: [REDACTED]



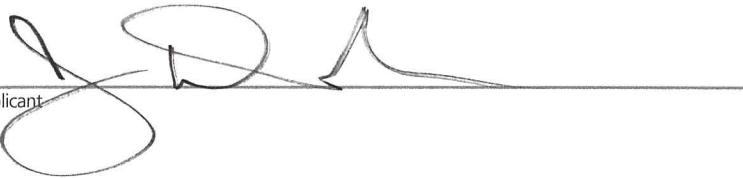
Franklin County
Board of Commissioners

**ECONOMIC DEVELOPMENT
& PLANNING**

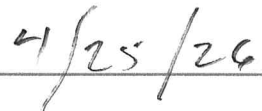
Application for
Rezoning
Page 3

Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.



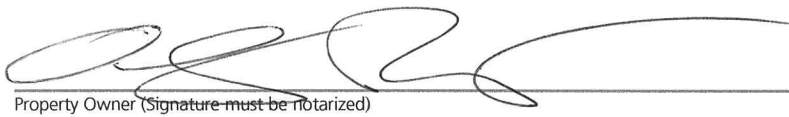
Applicant



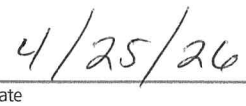
Date

Property Owner (Signature must be notarized)

Date



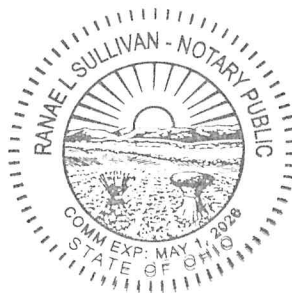
Property Owner (Signature must be notarized)



Date

Applications may be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN: Tre' Wolf, Planning Project Coordinator. Forward any questions to the project coordinator at 614-525-3904 or Planning@franklincountyohio.gov.

Renee L. Sullivan
Renee L. Sullivan
04/25/2026
Exp. 05/10/2026



**Franklin County
Auditor's Office
Auditor
Michael Stinziano**

Map Produced April 27, 2026

Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Topographic Legend

Source: OSIP - 2019 LIDAR Collection

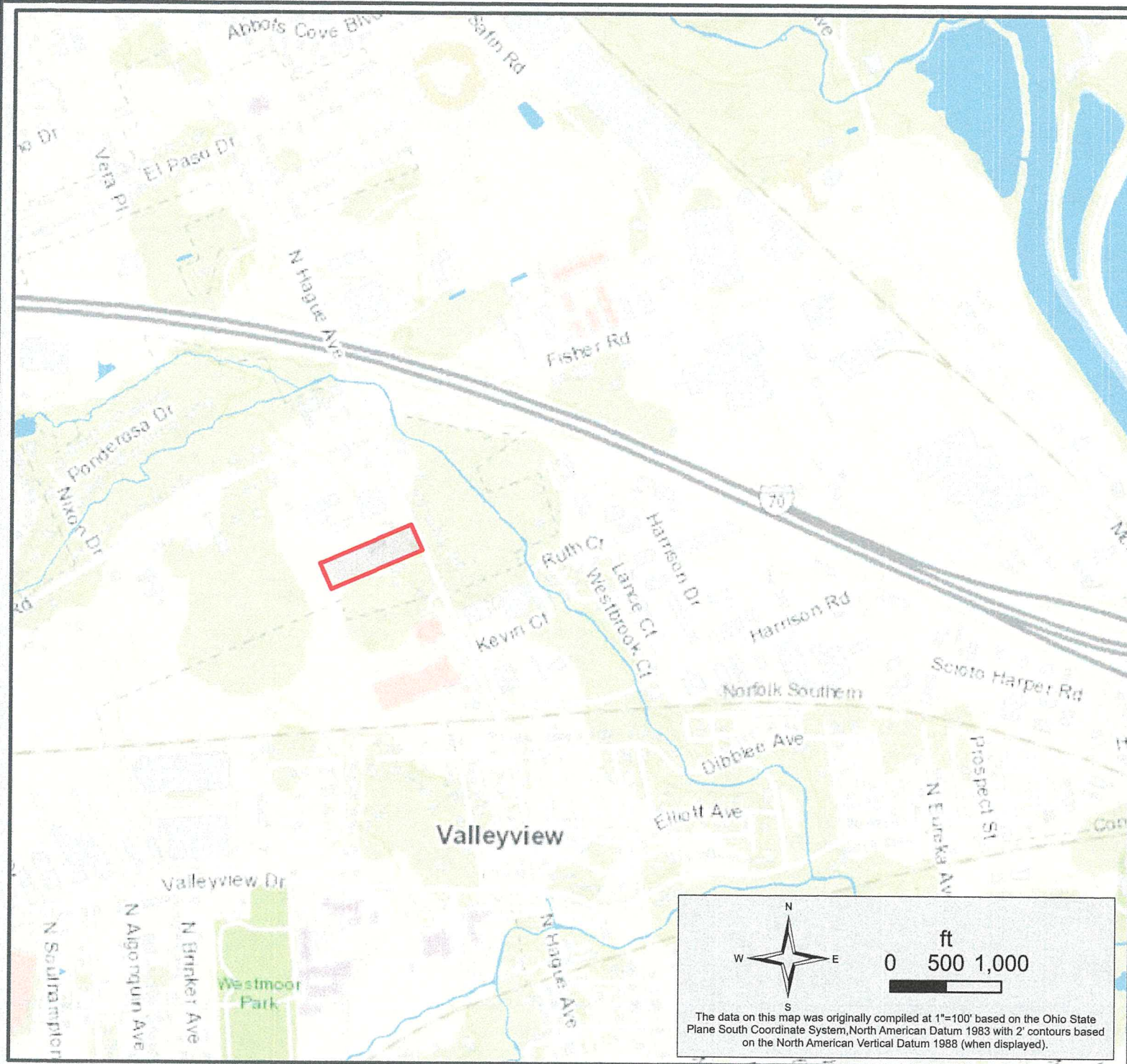
- Spot Elevation
- Index Contour
- Intermediate Contour

Appraisal Legend

Source: Franklin County Auditor & Engineer

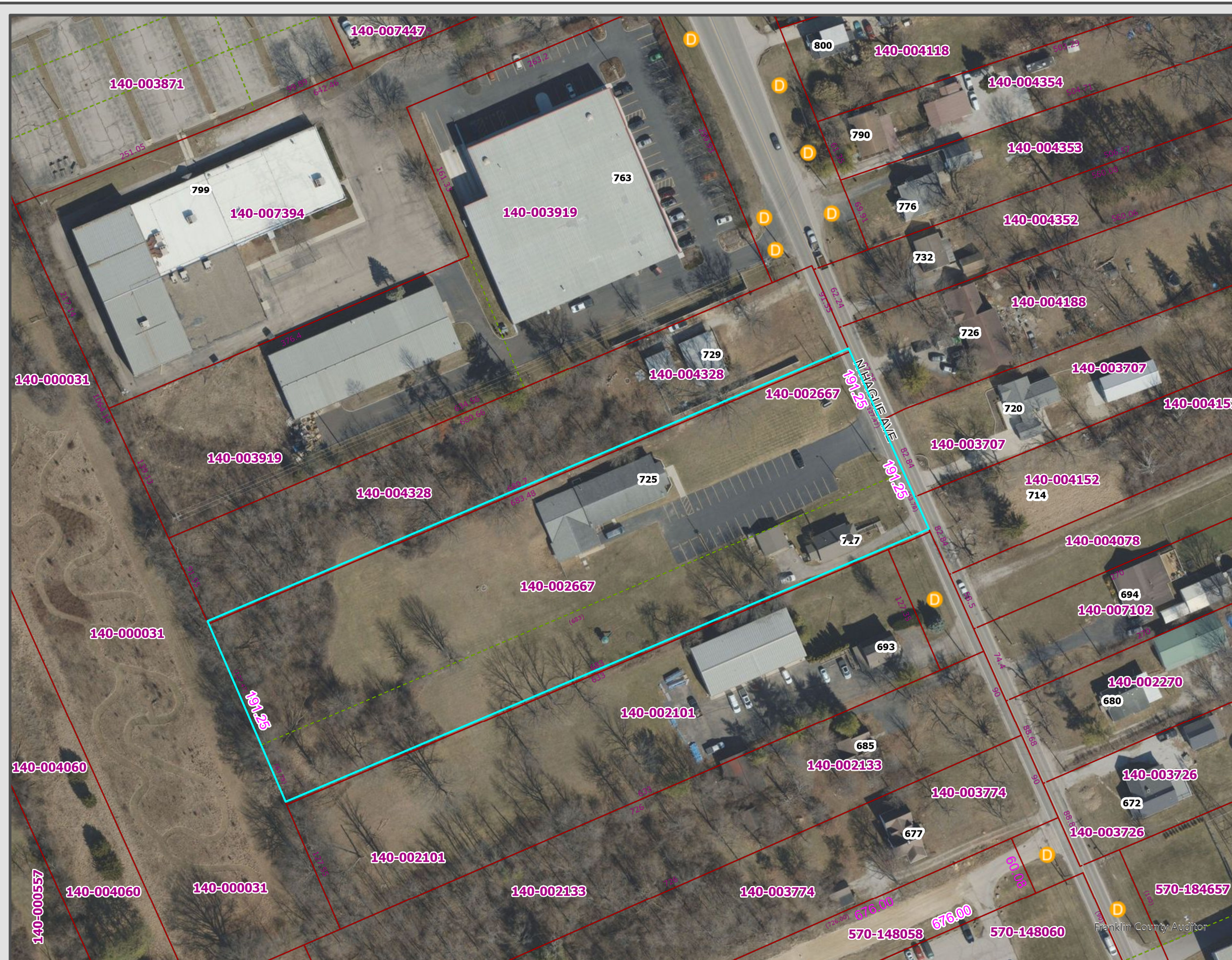
- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

The information on this map is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained herein. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.



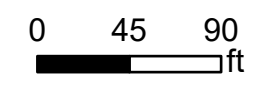
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The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).



- Planimetric Legend**
 Source: 2021 Aerial Photography
- Edge of Pavement
 - Roadway Centerlines
 - Railroad Centerlines
 - Building Footprints
 - Building Under Construction
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- Topographic Legend**
 Source: OSIP - 2019 LiDAR Collection
- Spot Elevation
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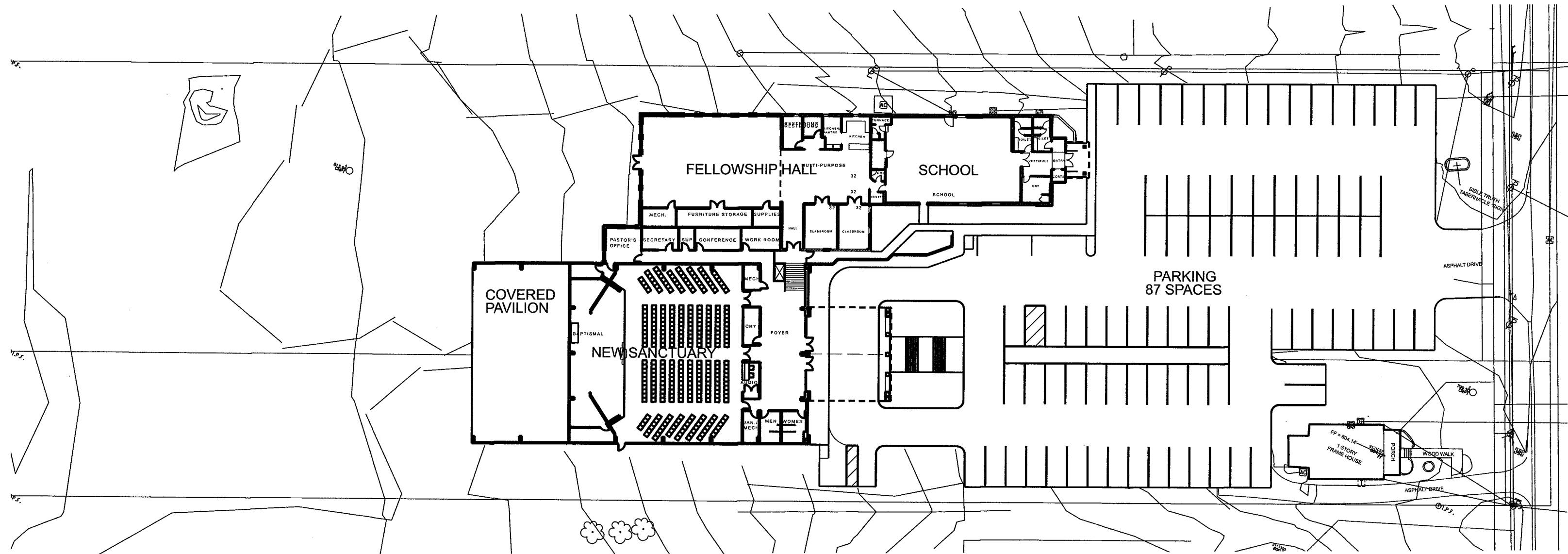
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Franklin County Auditor's Office
 Auditor

Michael Stinziano
 Map Produced May 15, 2026

JUNCTION
ARCHITECTURE
& **D**ESIGN, LLC

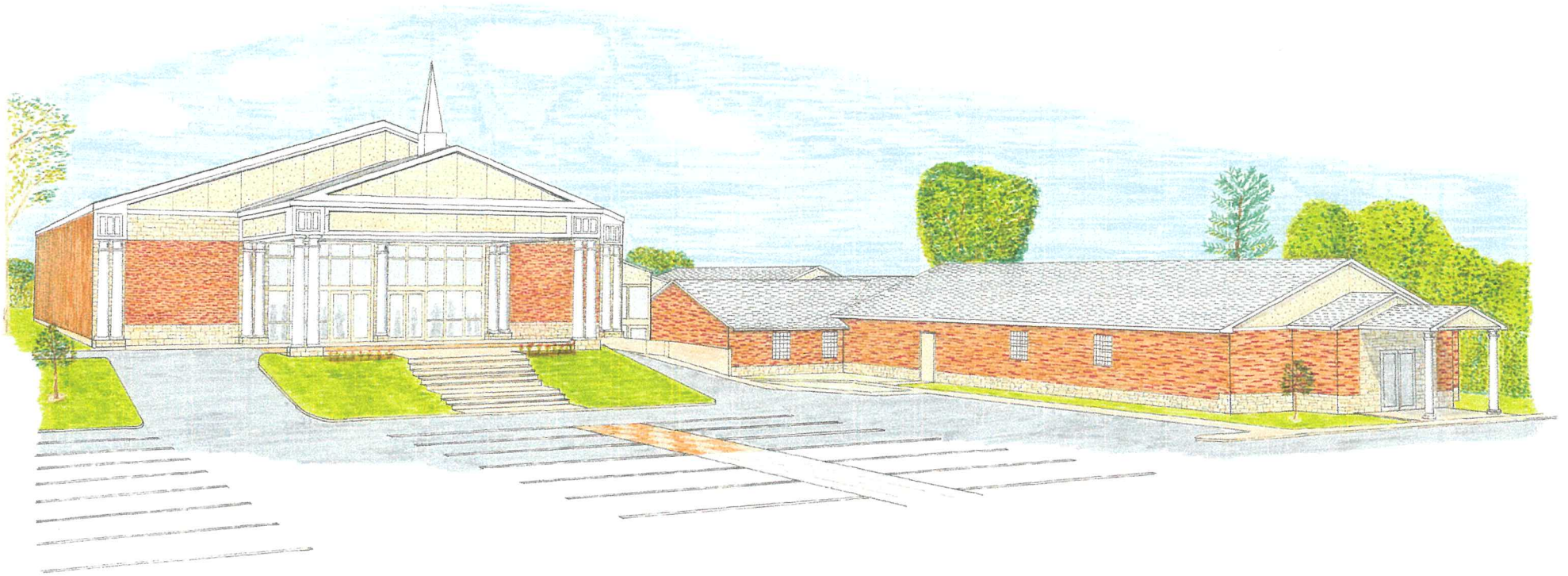


BIBLE TRUTH TABERNACLE - SITE PLAN

NOT TO SCALE

717-725 N. HAGUE AVE., COLUMBUS, OH 43204

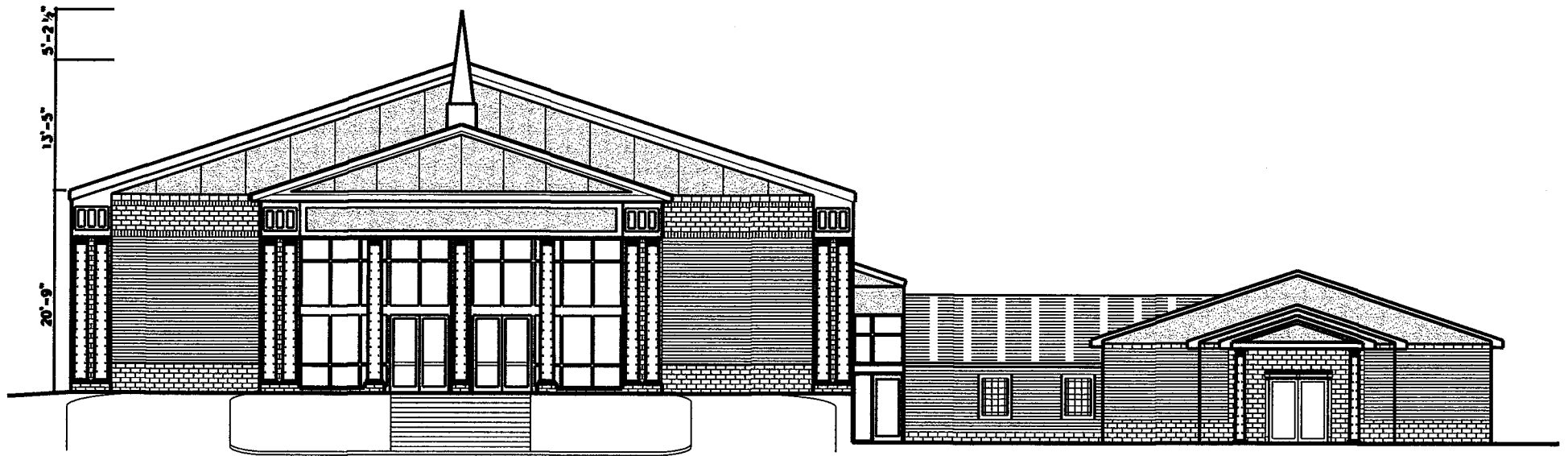
Date: 2.10.2026



BIBLE TRUTH TABERNACLE

JUNCTION
ARCHITECTURE
& DESIGN, LLC
740.967.7000
8038 YORK RD. SW. PATASKOLA, OH 43082

JUNCTION
ARCHITECTURE
& DESIGN, LLC



BIBLE TRUTH TABERNACLE - SCHEMATIC ELEVATION

1" = 10'

717-725 N. HAGUE AVE., COLUMBUS, OH 43204

Date: 2.10.2026

PRELIMINARY APPROVAL

ADAM W. FOWLER, P.E., P.S.

mbostard

10/21/2025 12:40:27 PM

PENDING ORIGINALS

*Submitted via digital format

Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed, and dated in blue ink.



**DESCRIPTION OF 2.997 ACRES
10/21/2025**

Situated in the State of Ohio, County of Franklin, Township of Franklin, Survey Number 1279 of the Virginia Military District, being all of the 1.00 acre tract conveyed to Bible Truth Tabernacle of record in Instrument Number 200805210078186 (0.996 acre) and all of that 2.00 acre tract conveyed to Church of Jesus Christ of Apostolic Faith (see affidavit of name change to Bible Truth Tabernacle in Instrument Number 200806020084244) of record in Deed Book 3483, Page 965 (2.001 acres), APN 140-002667-00, all references being of the Franklin County Recorder's Office, unless otherwise noted, and described as follows:

Beginning, for reference, at a found Monument Box FCGS 5906 (bronze disk) marking the centerline of right-of-way intersection of Fisher Road and North Hague Avenue (being South 58° 22' 46" West, 19.21 feet from FCGS ST04 found, also being North 87° 24' 36" West, 20.95 feet from FCGS ST05 found), thence from said reference point of beginning, South 23° 49' 39" East, along said centerline of right-of-way for North Hague Avenue (originally established by Road Record 9, Page 99, see also FRA-70-7.60 FRA-33-12.96), the same being a common line to Survey Numbers 530 and 1279 of the Virginia Military District, a distance of 755.95 feet to a mag nail set at the northeasterly corner of said 2.00 acre tract, the same being the southeasterly corner of that 1.43 acre tract conveyed to Ryan G. Shingler of record in Instrument Number 202208010111453, the True Point of Beginning;

Thence, continue along said centerline of right-of-way for North Hague Avenue the same being a common line to said Survey Numbers 530 and 1279 and an easterly line of said 2.00 acre tract, South 23° 49' 39" East, 74.70 feet to found Monument Box FCGS ST03 (1" solid iron pin);

Thence, along the centerline of said North Hague Avenue, the same being a common line to said Survey Numbers 530 and 1279 and an easterly line of said 2.00 acre and 1.00 tracts, South 23° 49' 39" East, 117.27 feet to a mag nail set at the southeasterly corner of said 1.00 acre tract, the same being the northeasterly corner of that 0.146 acre tract conveyed to Franklin County Commissioners of record in Instrument Number 200310240342239;

Thence, along the southerly line of said 1.00 acre tract, the same being the northerly line of said 0.146 acre tract and the northerly line of that 2 acre tract conveyed to Jemco Holdings, LLC of record in Instrument Number 201412220169731, South 66° 48' 57" West, 680.48 feet, passing a 1" iron pipe found at 17.27 feet, and a 5/8" rebar with "Franklin County Engineer" cap at 50.11 feet, to a 1" iron pipe found marking the southwesterly corner of said 1.00 acre tract, the same being the northwesterly corner of said 2 acre tract and in the easterly line of that 4.0 acre tract conveyed to John Gagnon of record in Instrument Number 201908130102137;

Thence, along the westerly line of said a 1.00 acre and 2.00 acre tracts, the same being the easterly line of said 4.0 tract, North 23° 46' 28" West, 191.83 feet, passing a 5/8" rebar found at 63.78, to a 1" iron pipe found marking the northwesterly corner of said 2.00 acre tract, the same being the southwesterly corner of said 1.43 acre tract;

Thence, along the northerly line of said 2.00 acre tract, the same being the southerly line of said 1.43 acre tract, North 66° 48' 12" East, 680.31 feet, passing a 5/8" Rebar set in the westerly right-of-way line for said North Hague Avenue at 660.31 feet, to the True Point of Beginning, containing 2.997 acres, more or less, inclusive of the present right-of-way which occupies 0.088 acre.

Subject to all legal easements, rights-of-way, conditions, and restrictions. Bearings are based on the Ohio State Plane Coordinate System, South Zone (3402), NAD83 (2011). A bearing of South 23° 49' 39" East was held for the centerline of North Hague Avenue between monuments FCGS 5906 and FCGS ST03. Rebar set are 5/8" Rebar, 30" long, and capped Smart Services. This description is based on an actual field survey conducted by Smart Services, Inc. in September 2025.

10/21/2025 *John C. Dodgion*
John C. Dodgion, P.S. 8069
S:\2025 Projects\895601 - Junction Architecture - Bible Truth Tab - North Hague Ave - Survey



SURVEY OF ACREAGE PARCEL

VIRGINIA MILITARY DISTRICT, SURVEY NUMBER 1279
TOWNSHIP OF FRANKLIN, FRANKLIN COUNTY, OHIO

PROPERTY ADDRESS

717-725 HAGUE AVENUE, COLUMBUS, OHIO 43204

PERTINENT DOCUMENTS

RECORD DEEDS TO SUBJECT PROPERTY AND ADJOINING PROPERTIES
AND AVAILABLE SURVEYS BY OTHERS

CERTIFICATION

THIS PLAT WAS PREPARED BY SMART SERVICES, INC. AND IS A
TRUE AND ACCURATE REPRESENTATION, TO THE BEST OF OUR
KNOWLEDGE, INFORMATION AND BELIEF, OF A SURVEY MADE BY
SAME IN SEPTEMBER OF 2025.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE
POLICY; ALL OWNERSHIP SHOWN IS BASED UPON RECORD
DATA ACQUIRED AT THE TIME OF SURVEY, NO GUARANTEE
IS PLACED UPON ACTUAL OWNERSHIP OF ANY PROPERTY.

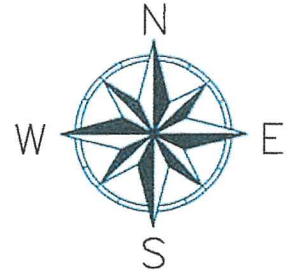
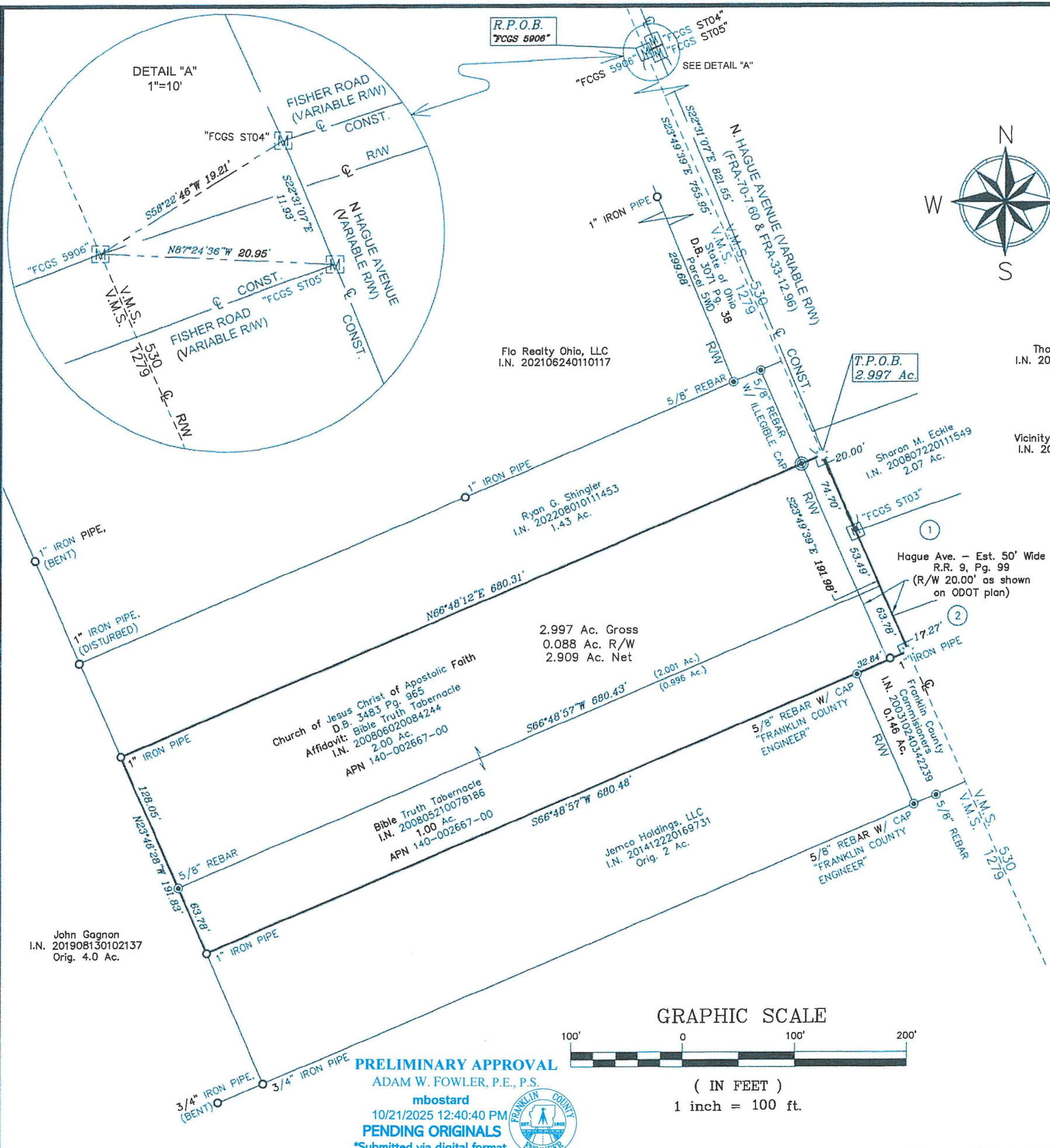
EASEMENTS MAY EXIST ON SUBJECT PROPERTY THAT
WOULD BE REVEALED IN A TITLE EXAMINATION.

BASIS OF BEARINGS

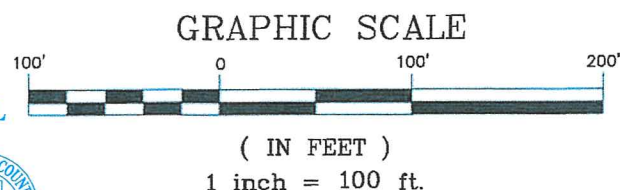
BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE
COORDINATE SYSTEM, SOUTH ZONE (3402), NAD83 (2011). A
BEARING OF S23°49'39"E WAS HELD BETWEEN MONUMENTS FCGS
5906 AND FCGS ST03.

LEGEND

- ⊙ IRON PIN FOUND AS NOTED
- ⊙ IRON PIPE FOUND AS NOTED
- ⊙ 5/8" x 30" REBAR W/YELLOW I.D.
CAP LABELED "SMART SERVICES" SET
- ☐ MONUMENT BOX FOUND
- ⊛ MAG NAIL SET



- ① Thomas Nastoff
I.N. 202406130058467
1.605 Ac.
- ② Vicinity Bricklayers, Ltd.
I.N. 202010070153170
1.605 Ac.



PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.
mbostard
10/21/2025 12:40:40 PM
PENDING ORIGINALS
*Submitted via digital format



JOHN C. DODGION
REG. SURVEYOR NO. 8069
10/21/2025

DRAWN BY: NMB	DATE: 10/21/2025
CHECKED BY: JCD	DRAWING NO.: 895601.DWG
JOB NO.: 895601	SHEET 1 OF 1

PREPARED BY:

SMART SERVICES
SURVEYING • ENGINEERING • ENVIRONMENTAL

88 W. CHURCH STREET, NEWARK, OHIO 43055
PHONE: (740) 345-4700 FAX: (740) 522-4706
www.SmartServices-Inc.com

Please return this approval, along with the original
description and plat of survey, as prepared by the
surveyor, signed, sealed, and dated in blue ink.



Application for
**Subdivision
Variance**
Page 1



Property Information

Site Address: 7500 Opossum Run Rd. London Ohio 43140	
Parcel ID(s): 230-000086	
Total Acreage: 22.015 acres	Current Zoning: R-Rural
Township: Pleasant Township	Subdivision: N/A

Staff Use Only

Case # 799-SUB-V
Date Filed: 05/01/20
Fee Paid: \$350.00
Receipt # 26-01194
Hearing Date: 06/10/20
Received By: Austin W.

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section 501.05	Description Lot Geometry. Side lot lines shall be within five degrees of being perpendicular or radial to street centerlines. Lot depth to width ratio shall not exceed 4 to 1 Depth shall be measured from the rear lot line to the street centerline. Width shall be measured parallel or tangent to the street centerline, 100 feet back from the street centerline.
Section	Description Need a variance from this in order to have a buildable lot due to high voltage wires and easement for electrical wires
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes

No

Will not impact public health or safety, and does not effect and other property

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes

No

There is an 175' Electric wires and easement on the property that prohibits building anything under it requiring a unique shape for the lot to avoid the easement

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes

No

Without the variance the lot that meets 1:4 ratio would not be buildable due to Electric easement on the property



Franklin County Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2



Property Owner Information

Name: Master Development Group LLC

Address: 2163 N. Wilson Rd. Columbus, Ohio 43228

Phone #

Fax #

Email:

Water & Wastewater

Water Supply

Public (Central)

Private (On-site)

Other:

Wastewater Treatment

Public (Central)

Private (On-site)

Other:

Engineer/Surveyor Information

Name: Aleksandr Yakhnitskiy

Address: 2977 Norton Rd. Grove City, OH 43123

Phone #

Fax #

Email:

Checklist

Completed Application

Fee Payment (checks only)

Copy of denied application, if applicable

Site plan, max. size 11"x17"

Proof of Water/Wastewater

Applicant Information

Same as property owner

Same as engineer/surveyor

Name:

Address:

Phone #

Fax #

Email:



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.




Applicant

9-30-2026
Date

Engineer

Date

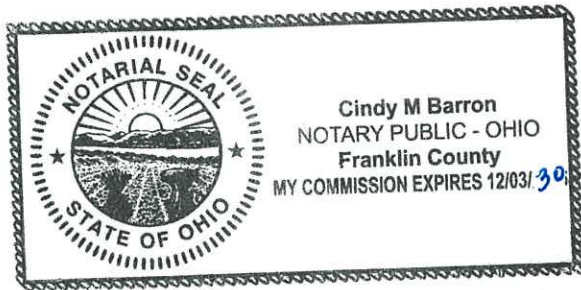



Property Owner (Signature must be notarized)

9-30-2026
Date

Property Owner (Signature must be notarized)

Date



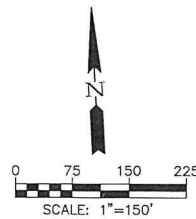

Cindy M. Barron
Notary EXP 12/3/2030

BOUNDARY SURVEY/SPLIT

V.M.S. NO. 1467

PLEASANT TOWNSHIP, FRANKLIN COUNTY, OHIO

- LEGEND**
- IRON PIN SET PREVIOUSLY
 - ⊙ IRON PIPE FOUND
 - ⊠ CONC. MONUMENT FOUND
 - ⊞ RAILROAD SPIKE FOUND
 - MAG NAIL SET
 - IRON PIN SET
 - 5/8" O.D. REBAR
 - 30" LONG, W/ CAP
 - "STADT 8723"
 - PROPERTY LINE
 - R/W PUBLIC ROAD RIGHT-OF-WAY



(A) RANDY A. AMES AND SYLVIA M. AMES
O.R. 13968, PG. G04
1.020 AC.

(B) RANDY A. AMES AND SYLVIA M. AMES
I.N. 202310190109948
1.025 AC.

NOTE:
*P.R.O. ACRES FOR TRACTS 13 & 14 ARE BASED ON A 40' TOTAL R/W WIDTH FOR GRAESSLE ROAD.

This plat is based on the results of an actual field survey performed on the property under my supervision in August, 2025 and February, 2026.

BY
OHIO PROFESSIONAL SURVEYOR No. 8723

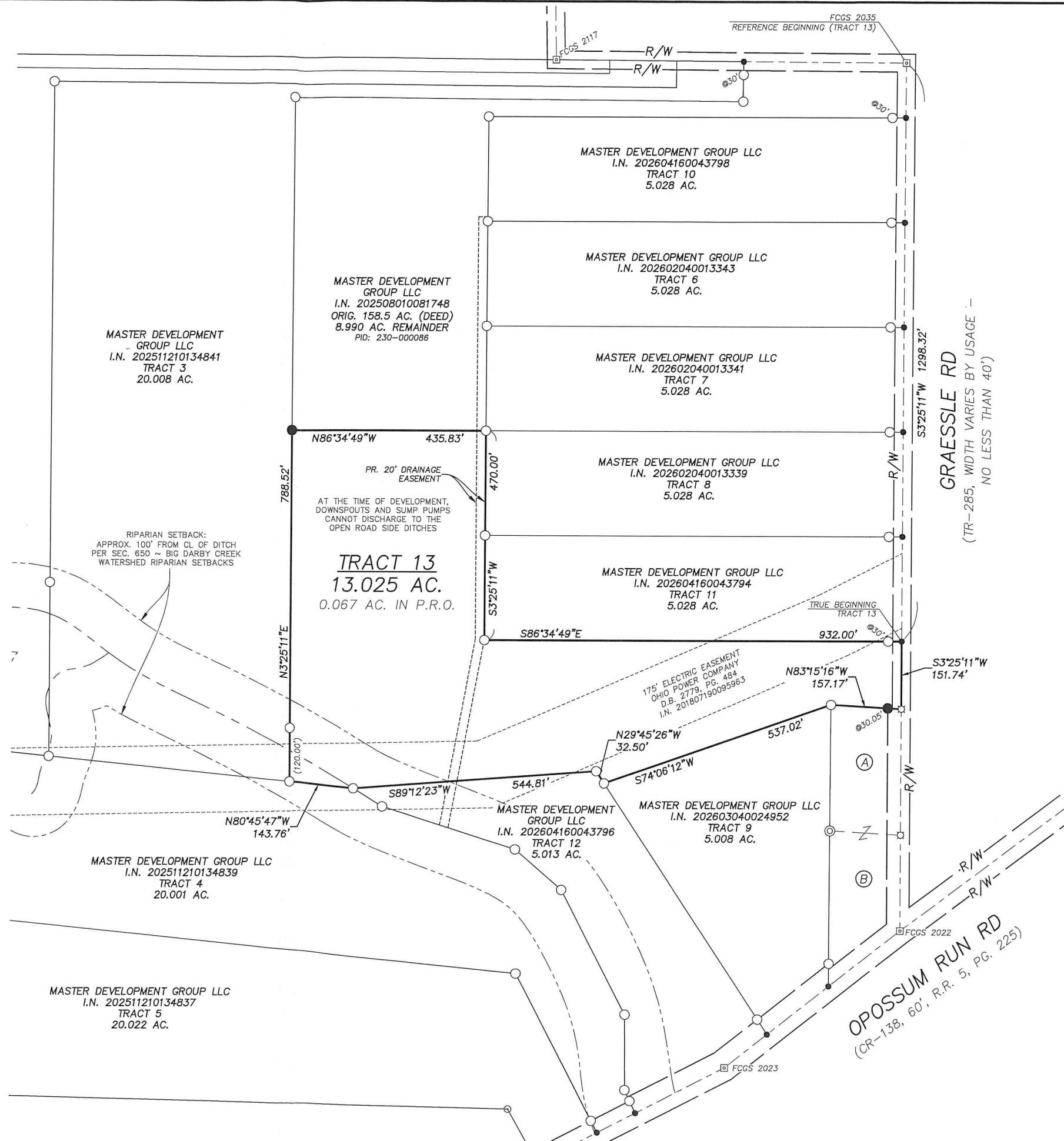
BASIS OF BEARINGS

Bearings hereon are based on the centerline of right-of-way of Graessle Road between FCGS 2035 and FCGS 2022 being S3°25'11"E and referenced to State Plane Grid, Ohio South Zone, per an Ohio RTN survey (NAD83, 2011 Adjustment, Epoch 2010.0, US Survey Feet.)



8850 COMMERCE LOOP DR
COLUMBUS, OH 43240
(614) 899-2209

DATE: 4/23/2026 REVISED:
JOB No.: 25-459 F.B./PG.: 53/29
CLIENT: YAK CONSULTING
CLIENT P.O.: N/A
DRAWING NAME: 25420SPLOT2.DWG



OPOSSUM RUN RD
(CR-138, 60', R.R. 5, PG. 225)



Property Information

Site Address: 3740 Walker Rd, Hilliard, OH 43026

Parcel ID(s): 120-000043-00

Total Acreage: 23.894	Township: Brown
-----------------------	-----------------

Property Description

Acres to be rezoned: 23.894

Current Land Use: AGR Vacant Land

Surrounding Land Uses:

North	Residential
South	Residential
East	AGR
West	AGR

Rezoning Request

Current Zoning: ~~AGR Vacant Land~~ **Rural (R)**

Proposed Zoning: Exceptional Use

Proposed Land Use: Around 10 Acres

Purpose for Request: To build a sports and development center for youths

Staff Use Only

Case #
ZON-26-06

Date Filed: 5/18/26

Fee Paid: \$3,300

Receipt # 26-01438

Received By: Kayla J.

Technical Review Date: 5/26/26

Big Darby Panel Date: 6/9/26

Planning Commission Date: 6/10/26

Rural Zoning Commission Date:
6/18/26

Commissioners Date: 7/14/26

Checklist

- Fee Payment (checks only)
- Completed Application
- Notarized Affidavit
- Legal description of property
- Location/Area map
- Water/Wastewater Information
- Development Plan (if a planned district request)

Water & Wastewater

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 2



Property Owner Information

Name: HARISUMIRAN OF OH INC

Address: C/O Pravin Patel 6296 Pritchard Dr, Galloway, OH 43119

Phone # [REDACTED]

Fax #

Email: [REDACTED]

Applicant Information

Same as property owner

Name:

Address:

Phone #

Fax #

Email:



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 3



Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.

Applicant

9-26-24

Date

Property Owner (Signature must be notarized)

9-26-24

Date

Property Owner (Signature must be notarized)

9-26-24

Date



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning

Page 4



Rezoning/Text Amendment Application

General Application Requirements

Any applicant who requests a zoning change is solely responsible for filing all materials required by the application in its entirety. Please consult with the Economic Development and Planning Department to obtain a copy of pertinent development standards prior to filing a rezoning request.

The following items are required with each application:

1. The completed application form.
2. The notarized affidavit with current property owner signature.
3. Legal description of the property. Current property survey to include acreage, all bearings and distances, and referencing an established beginning point.
4. Location/Area map. Engineering base maps to scale (example: 1"=100') are required. You can obtain this information from the Franklin County Auditor's website, <https://www.franklincountyauditor.com/>
5. All information that pertains to sanitary services and water supply must be provided. If services are to be provided by a private or public entity, a letter must be provided verifying that the services exist and that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or appropriate agency) must be provided.
6. Any additional information or exhibits deemed necessary for proper consideration of the application.

Note: When a planned district is requested, a development plan must be prepared by a registered architect, engineer, surveyor or landscape architect. The development plan must include all information identified in the Franklin County Zoning Resolution for the applicable planned zoning district being requested. This plan is to demonstrate the engineering feasibility of the proposed project. The Rural Zoning Commission makes no exceptions to these requirements. All other issues in the performance standards must be addressed, even if they do not appear to pertain to your particular site.

An incomplete application will not be placed on an agenda until it is determined to be complete, having all relevant issues addressed in plan or text form.

OHIO JURAT
§147-551

State of Ohio
County of Franklin } ss.

Sworn to or affirmed and subscribed before me by

Praveen Patel

Name of Person Making Jurat

this date of 09/26/2024

Date

[Signature]

Signature of Notary Public Administering Jurat

Notary

Title or Rank

May 18, 2028

Commission Expiration Date



Affix Seal Here

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Application for Rezoning

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

RECEIVED

MAY 14 2026

Big Darby Accord Advisory Panel

Franklin County Planning Department
Franklin County, OH

Applicant Checklist and Submittal Requirements

Revised 03/29/2021

About the Panel

The Big Darby Accord Advisory Panel is an eleven-member body appointed by communities within the planning area. The Panel reviews zoning and development applications for compliance with the Big Darby Accord's goals and policies and provides recommendations to the Accord's member jurisdictions.

Project Information	
Project Name	<i>Harisumiran of Ohio Inc.</i>
Project location	3740 WALKER RD, HILLIAD, OH 43026
Checklist Completed by	Tarak Bhatt

Instructions

Please complete this form. The form provides guidance to applicants with projects that require Accord Panel review.

An application package for the Panel consists of 4 required components

1. Existing conditions site map
2. Conceptual site plan
3. Site data table
4. Applicant's checklist

Note: Incomplete application packages will not be scheduled for Accord Panel review and will be returned to the applicant. For additional information (including meeting dates and timeline) please contact the jurisdiction in which the project is located.

1. Existing Conditions Site Map: Required Elements

Instructions: Submit a map that details existing conditions of the subject site. Include each element listed below.

Map size: 24" x 36"

Map extent: Subject site plus 300' surrounding the subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=300' minimum

Surface water Elements

- N/A Watershed and subwatershed boundaries
- N/A Surface water locations including perennial, intermittent, ephemeral streams
- N/A Floodway and 100-year floodplain
- N/A Wetlands: jurisdictional and agricultural
- N/A Drainage patterns
- N/A Field tile locations
- N/A Groundwater recharge / pollution protection zones
- N/A Wellhead protection zone
- N/A Stream water quality (EPA assessment)
- N/A Stormwater management facilities (on-site & nearby)
- N/A Water quality monitoring points (Site-level and, any OEPA within 300' of subject site and nearest Ohio EPA downstream and upstream monitoring sites)

Utility and Roadway Elements

- N/A Existing septic systems Currently None Exist
- N/A Existing wells Currently None Exist
- Existing utilities and easements
- Existing roads and rights-of-way

Land Elements

- Soil types including location of hydric soils (if present)
- Topography and 2-foot contours
- Wooded areas
- Open space / natural Areas
- N/A Significant wildlife habitat
- N/A Existing easements
- N/A Easement planting and management plan

Other Elements

- N/A Political jurisdiction boundaries
- N/A Existing zoning of surrounding parcels
- N/A Nearby recreation and community facilities
- N/A Other historical, natural or cultural resources

Big Darby Accord Advisory Panel

2. Conceptual Site Plan: Required Elements

Instructions: Submit a conceptual site plan showing the elements listed below

Map size: 24" x 36".

Map extent: Subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=200' minimum

Physical Elements

- Property lines
- Setbacks / build-to lines
- Building footprint
- Parking areas
- Proposed roadways
- Proposed utilities and easements
- Adjacent street names and access points
- Adjacent zoning and land uses
- Vicinity map and north arrow

Environmental Elements

- N/A Floodway and 100-year floodplain
- N/A Stream corridor protection zone area
- N/A SCPZ permanent on-site designation (method/design)
- N/A LID techniques: location and type
- Stormwater BMPs: location and type
- N/A Water quality monitoring points
- Planting areas: location, size, species
- Location of stormwater recharge zone

3. Site Data Table: Required Elements

Instructions: Submit a table with the following data listed. Include the table as a separate document or list the data on the conceptual site plan.

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

*Natural Area Open Space calculations are to be based on the Accord Panel's adopted definition of Conservation (Natural) Open Space.

Acreage statements: developed areas

- Site area: gross
- Roadways and rights of way
- Site area: net of rights-of way
- Zoning districts: area for each district
- Residential land use area
- Non-residential land use area

Acreage statements: open space

- N/A Stream corridor protection zone area
- Other preservation and no-disturb zones
- Open space: total
- Consisting of:*
- N/A Natural areas* (including SCPZ)
- Active recreation area
- Stormwater management facilities area
- N/A Other area

Density calculations

- Density: gross
- Density: net of rights-of-way
- Density: net of rights-of-way, open space areas

Open space calculations

- Open space requirement percentage

Include a table showing the following calculations. The areas named below must be consistent with the acreage statements to the left

<i>Area</i>	<i>Divided by:</i>
<input checked="" type="checkbox"/> Open space: total	Site area: gross
<input checked="" type="checkbox"/> Open space: total	Site area: net of rights-of-way
<input checked="" type="checkbox"/> SCPZ area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Active recreation area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Stormwater mgmt. facilities area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Open space: total
<input checked="" type="checkbox"/> Active recreation area	Open space: total

Big Darby Accord Advisory Panel

4. Applicant's Checklist: Required Elements

Instructions: Complete the table below. Information provided should demonstrate how your proposal complies with the goals and policies of the Big Darby Accord. Please identify and explain any variation from the Accord Plan.

If you include a separate document instead of completing the table below, *each requirement below must be addressed in the order listed.*

Conservation

Requirement (BDA reference)	Details/Comments
If land is proposed for development that is Tier 1 through 3, specify what types of development is being proposed for these areas?	N/A
What Tier 1 land is being protected and how is it being protected (3.1)?	N/A
What Tier 2 Land is being protected and how is it being protected (3.1)?	N/A
What Tier 3 Land is being protected and how is it being protected (3.1)?	N/A
Are wooded areas greater than 3 acres being preserved and how will they be protected (3.1.1)?	N/A
How much open space is being provided? Will the open space provided be based on the minimum of 10 acres per 1,000 residents? Note: this includes any tiered land that is being preserved. (5.16)?	Approximately 16.95 acres of open space is being provided. Site peak occupancy number to be 350 persons.
How will the open space be connected within site?	Development will be relegated to the front 1/3rd of the site, maintaining open space in the remaining 2/3rds.
How will the open space link with off-site open space (5.4.2)?	On-site open space will continue to interact with off-site open space in the way it currently does today.
How will the open space be permanently protected (4.3)? Describe: easements, dedication, etc.	Please refer answer in attached sheet (Q1:).
What plant species are native and non-invasive (4.3)?	Please refer answer in attached sheet (Q2:).
Does the development include a long-term planting management plan that addresses items found in Section 4.3 (4.3)?	Please refer answer in attached sheet (Q3:).
Will the development provide a 3 year performance bond for maintenance of these plantings (4.3)?	Please refer answer in attached shee(Q4:).

Streams and Wetlands

Requirement (BDA reference)	Details/Comments
Have all the wetlands (agricultural) been identified in conjunction with NRCS (4.2.2)?	N/A
Have all the wetlands (non-agricultural) been identified in conjunction with Army Corps of Engineers and OEPA (4.2.2)? Please indicate category of each wetland.	N/A
Will identified wetlands be preserved or impacted by development? Explain reasoning and plans for preservation/mitigation. (4.2.2)?	N/A
If identified wetlands will be impacted, explain status of permit and plans for mitigation. The Accord recommends mitigation within the Accord planning area (4.2.2)	N/A
Will the development provide a wetland protection plan during the construction phase (4.2.2)?	N/A
How will the 100-year floodplain be protected from fill and/or excavation (4.7.4)?	N/A
How does the project incorporate stream restoration (3.6)?	N/A
How does the project incorporate site monitoring of water quality?	N/A
Are any streams located on the site? If so, indicate stream use designation and attainment status.	No streams on site
Does any portion of the project fall within the Stream Corridor Protection Zone? If yes, how has	N/A

Big Darby Accord Advisory Panel

it been calculated and how will it be protected? (4.2.1)?	N/A
What are the proposed uses and ownership for the SCPZ (4.2.1)?	N/A
Are wetland buffers provided for all preserved wetlands in accordance with the recommendations of the Rainwater and Land Development Manual (5.2.2)?	N/A
Is verification provided that hydrology will be maintained in preserved wetlands (4.2.2).	N/A
Will buffers be preserved in their natural state (Rainwater and Land Development Manual)?	N/A
How will buffers be protected by a public entity (Rainwater and Land Development Manual)?	N/A
Stormwater Best Management Practices	
Requirement (BDA reference)	Details/Comments
Are the detention (quantity) controls adapted from the critical storm method (4.7.1)?	Please refer answer in attached sheet (Q5:).
Will the post-construction groundwater recharge rate equal or exceed the pre-development rate (4.7.2)?	Please refer answer in attached sheet (Q6:).
Please give details about the Stormwater Pollution Prevention Plan (SWPPP) that you will complete (4.7.3)?	Please refer answer in attached sheet (Q7:).
What are the details for site level monitoring of water quality, including approximate locations and data collection (5.3.1 and Figure 5.5)?	Please refer answer in attached sheet (Q8:).
Were BMPs selected through the site planning process, please describe your approach(4.8.1)?	Please refer answer in attached sheet (Q9:).
How does the site plan incorporate BMPs? Are BMPs from the toolkit in Chapter 4 of the Accord being utilized (4.7)?	Please refer answer in attached sheet (Q10:).
How are the BMPs consistent with Low Impact Development principles (3.5.2)?	Please refer answer in attached sheet (Q11:).
List BMPs that will be utilized on the project below: (3.8.3)	Please refer answer in attached sheet (Q12:).
Sewer System	
Requirement (BDA reference)	Details/Comments
What type of wastewater system has been proposed for the development, and what is the available capacity (4.9.1 and 4.9.2)?	Please refer answer in attached sheet (Q13:).
How does the proposal meet the requirements for Alternative Wastewater Systems (4.9.2)?	Please refer answer in attached sheet (Q14:).
Does the project provide measures for site-level monitoring (4.9.2)?	Please refer answer in attached sheet (Q15:).
Revenue	
Requirement (BDA reference)	Details/Comments
Is Tax Increment Financing in place or planned (5.5.4)?	N/A
Is a New Community Authority in place or planned (5.5.4)?	N/A
Has a developer contribution been applied (financial) (5.5.4)?	N/A
Has a developer contribution provided (in-kind) (5.5.4)	N/A
Overall	

Big Darby Accord Advisory Panel

Requirement (BDA reference)	Details/Comments
How is the proposed Land Use consistent with the Big Darby Accord Plan. If not consistent with the Accord's land use plan, specify how land use it differs from the Accord Plan (3.3)?	Site is in a rural density conservation development overlay, with nearby agricultural and residential land uses. Site maintains and exceeds 50% open space based on the rural density classification. The proposed land use differs from the existing residential use. Proposed land use to be Exceptional Use district.
Is the proposed density consistent with Big Darby Accord Plan (3.3)?	Yes, proposed density is consistent with BDAP. Proposed density introduces 2 dwelling units on the 24 acre site
Does the project conserve a minimum of 50% of land as open space* (4.4)? (Conservation Development area only)	Yes
How does the project incorporate LID principles? Please list all LID techniques to be used. (3.5.2)	Please refer answer in attached sheet (Q16:).
How does the project incorporate the Town Center Principles (4.6)? (Town Center area only)	N/A
Does the site incorporate LEED Principles (3.4)? (Required in LEED area)	N/A
Does the project incorporate the required public facilities? How will schools, fire, police service be provided? (5.3.3)?	Project to provide road through site for fire and police access
How will the project provide overall trail linkages (4.11)?	N/A
How will the project provide the required transportation improvements (4.10)?	Traffic impact study to be provided per BDAP.

*Natural Area Open Space calculations are to be based on the Accord Panel's adopted definition of Conservation (Natural) Open Space.

BIG DARBY ACCORD ADVISORY PANEL

Q1: How will the open space be permanently protected (4.3)?

The permanent protection of the property's open space will be achieved through a straightforward approach. The designated open land will be dedicated to a volleyball court, a children's playground, a cricket ground, and general green space, ensuring these areas remain available for community youth activities. Construction on the property will be limited to the three buildings indicated on the site plan: the Community Hall, the Kitchen/Restroom facility, and the Housing building. No further structures will be built, thereby guaranteeing the long-term preservation of the open space.

Q2: What plant species are native and non-invasive (4.3)?

The provided documents (SWPPP and Site Plan) state that stabilization will utilize "grass seed and straw" or "landscaping (e.g., trees/shrubs/plants. For Fence locations use of "Thuja Green Giants" plants 4 feet to 5 feet are proposed to be used.

Q3: Does the development include a long-term planting management plan that addresses items found in Section 4.3 (4.3)?

Yes. The development includes a comprehensive long-term planting and site management plan.

- **Long-Term Maintenance:** As outlined in the Stormwater Pollution Prevention Plan (SWPPP), the Owner (Harisumiran) assumes full responsibility for all long-term maintenance upon substantial completion of the project. The Owner will utilize a dedicated landscaping team to conduct bi-weekly monitoring and maintenance of all turf, trees, and shrubs to ensure established growth and site stabilization.
- **Plant Selection:** The landscaping plan strictly prohibits the introduction of any invasive plant species on the property.
- **Infiltration & Hydrology:** The landscape design is intentionally engineered to preserve pre-development hydrology. Natural groundwater infiltration will be maintained across more than two-thirds of the undeveloped open space. To further promote natural infiltration and complement the on-site retention pond, no impermeable materials will be utilized within the designated non-developed areas.

Q4: Will the development provide a 3 year performance bond for maintenance of these plantings (4.3)?

Yes, the owner is committed to providing a three-year financial guarantee for the maintenance and establishment of the site plantings. The exact mechanism—whether a three-year performance bond, a Letter of Credit, or an escrow account—will be finalized and executed in coordination with the [Township/County] prior to final plat approval.

Q5: Are the detention (quantity) controls adapted from the critical storm method (4.7.1)?

Yes, the site will utilize a Wet Extended Detention Basin as its primary post-construction control. The basin's outfall structure is designed with a slow-release orifice (primary), a secondary overflow, and an emergency overflow to attenuate flow. (As described in page 14 of the SWPPP created for the construction activities for Harisumiran OH.)

Q6: Will the post-construction groundwater recharge rate equal or exceed the pre-development rate (4.7.2)?

Yes, according to the calculations in the SWPPP's Appendix C, the pre-developed groundwater recharge volume is 18.1 acre-feet. The post-developed recharge volume is 23.5 acre-feet (15.1 from urban grasses, 8.1 from brush, and 0.3 from woods). Therefore, the post-construction recharge rate exceeds the pre-development rate.

Q7: Please give details about the Stormwater Pollution Prevention Plan (SWPPP) that you will complete (4.7.3)?

A comprehensive SWPPP has been prepared by Otisco Engineering Ltd. Details include:

- **Sediment Controls:** Silt fences/filter socks, storm drain inlet protection, and a Wet Extended Detention Basin with a dewatering volume of 1.19 acre-feet.
- **Runoff Controls:** Temporary diversions and outfall velocity dissipation via a rock-lined channel.
- **Soil Stabilization:** Temporary and permanent seeding, erosion matting, and straw mulching.
- **Other Controls:** Gravel construction entrances, street sweeping, water trucks for dust control, and proper waste/sanitary disposal

For the further details, please refer to the attached SWPPP.

Q8: What are the details for site level monitoring of water quality, including approximate locations and data collection (5.3.1 and Figure 5.5)?

In accordance with Section 5.3.1 and Figure 5.5 of the Big Darby Accord Master Plan, site-level water quality monitoring will be implemented to ensure that the proposed stormwater Best Management Practices (BMPs) achieve their targeted pollutant removal rates. The details of the monitoring program are as follows:

Approximate Locations: Monitoring will be conducted via grab samples at the outfall(s) of the site's newly proposed stormwater conveyance system.

Data Collection (Parameters): All collected water samples will be analyzed for Total Suspended Solids (TSS), Total Phosphorus (P), and Total Nitrogen (N).

Collection Frequency: Sampling will occur a minimum of twice per season under specific weather conditions. One sample will be collected during a dry period (defined as no precipitation for the preceding three days), and one sample will be collected during a significant rain event (defined as 0.75 inches or more of rain within a 24-hour period).

Duration & Enforcement: Site-level data collection will be maintained for a minimum of 5 years following construction. A performance bond will be provided and maintained throughout this prescribed monitoring period to guarantee the performance of the stormwater BMP (Best management Practices).

Q9: Were BMPs selected through the site planning process, please describe your approach (4.8.1)?

Yes, Best Management Practices (BMPs) were selected in accordance with the 8-step planning process outlined in Section 4.8.1 of the Big Darby Accord policies. Our approach was guided by our civil engineer and incorporated the following steps:

Steps 1 & 2 (Scale and Regional Context): The site was evaluated based on its total disturbed acreage and its relationship to regional stormwater facilities to determine the necessary site-specific pollutant removal efficiencies. (Refer SWPPP -Stormwater Management System Operation and Management Plan Section 8 by Otisco Engineering Ltd.)

Step 3 (Site Conditions & Runoff): Pre-development and post-development runoff volumes, peak flow rates, and water quality considerations were calculated to identify targeted pollutants of concern. (Refer SWPPP - Appendix C (Design Calculations) Table A-1 by Otisco Engineering Ltd.)

Step 4 (Oil Control): The proposed land use and anticipated vehicular traffic were evaluated to determine if specific oil control BMPs were required. (Refer SWPPP -Stormwater Management System Operation and Management Plan Section 8 by Otisco Engineering Ltd.)

Step 5 (Infiltration Practicality): Local soil properties, depth to the water table, and proximity to sensitive features were assessed to determine if infiltration-based BMPs were practicable for the site. (Refer SWPPP and PTI Form B13 - Soil Evaluation by Otisco Engineering Ltd. (Sub- SMART Services Inc.)

Step 6 (Phosphorous Control): The need for phosphorous reduction was evaluated against the Big Darby Creek TMDL requirements.

Steps 7 & 8 (Selection and Design): Based on the preceding site suitability analysis, specific structural and non-structural BMPs were selected. Specifically, our site utilizes an extended detention basin which have been fully integrated into our final site layout and Stormwater Pollution Prevention Plan (SWPPP) (Refer SWPPP, Appendix B).

Q10: How does the site plan incorporate BMPs? Are BMPs from the toolkit in Chapter 4 of the Accord being utilized (4.7)?

Yes, the Site Plan physically incorporates a 0.23-acre Wet Extended Detention Pond at the front of the site to capture overland flow from the development. It also incorporates silt socks downslope of all disturbed areas, catch basin filters, and a rock-lined outfall stabilization channel. These are all standard structural BMPs recognized in the Accord's Chapter 4 toolkit.

Q11: How are the BMPs consistent with Low Impact Development principles (3.5.2)?

The project adheres to Low Impact Development (LID) principles by minimizing the directly connected impervious area. Out of the 23.9-acre site, only 2.11 to 2.5 acres will be impervious surfaces. The remaining land is preserved as open space (urban grasses, brush, and woods), which allows for natural overland filtering and groundwater infiltration before reaching the detention basin.

Q12: List BMPs that will be utilized on the project below: (3.8.3)

- Gravel Construction Entrance
- Street Sweeping and Dust Control (Water truck)
- Soil Restoration (Seeding, straw, and erosion matting)
- Silt Socks / Sediment Barriers

- Catch Basin / Storm Drain Inlet Filters
- Wet Extended Detention Basin (Temporary Sediment Pond)
- Rock-lined Outfall Velocity Dissipation

Q13: What type of wastewater system has been proposed for the development, and what is the available capacity (4.9.1 and 4.9.2)?

Type of Wastewater System Proposed: The development proposes a non-centralized, on-site sewage treatment system. Specifically, the engineering plans outline an Aeration Tank / Timed Dosing Tank / Sand Mound system. The primary components of this system include:

- Two (2) Norweco aeration systems (Model 960).
- One (1) 4,000-gallon ODH-approved dosing tank.
- Three (3) individual sand mounds for effluent distribution.

Because it relies on on-site treatment and land application rather than connecting to a municipal trunk sewer, this proposal falls under the "Non-centralized Sewer" framework described in Section 4.9.2 of the Big Darby Accord policies, rather than the "Centralized Sewer" systems covered in Section 4.9.1.

Available Capacity: The total available design capacity for the proposed wastewater system is 2,500 gallons per day (GPD). This capacity is accommodated by:

- The two Norweco aeration systems, which are each designed to treat 1,250 GPD (totaling 2,500 GPD).

The three sand mounds, which are each sized to treat up to 833 GPD (totaling 2,499 GPD).

The system is designed to be installed in phases, meaning the second aeration tank and the subsequent sand mounds must be added as the metered sewage flow of the facility expands to exceed 1,100 GPD and 1,666 GPD respectively.

Q14: How does the proposal meet the requirements for Alternative Wastewater Systems (4.9.2)?

The proposal is designed to meet Ohio EPA and local Board of Health requirements. It is backed by a comprehensive Soil Evaluation (PTI Form B13 as attached) demonstrating that the site can support an engineered mound system. Furthermore, the system requires a continuous Operation and Maintenance (O&M) contract furnished by an approved, licensed service provider to ensure long-term regulatory compliance (Refer SWPPP, Appendix J).

Q15: Does the project provide measures for site-level monitoring (4.9.2)?

Yes, the wastewater design incorporates specific site-level monitoring measures, including an observation tube installed directly into the sand fill of the mounds. The dosing tank is also equipped with a high-water alarm and float settings to alert operators of any system backups. The mandatory O&M contract will ensure these features are regularly monitored by a professional. (Refer SWPPP, Appendix J).

Q16: Question: How does the project incorporate LID principles? Please list all the LID techniques to be used (3.5.2).

The proposed project incorporates Low Impact Development (LID) principles primarily by minimizing the overall impervious footprint, preserving expansive open green spaces to promote natural groundwater infiltration, and utilizing an advanced on-site wastewater treatment system to safely recharge the local aquifer.

The specific LID techniques utilized on this site include:

- **Minimization of Impervious Surfaces:** The project design deliberately preserves large portions of the 23.894-acre parcel as pervious open space. The site plan demonstrates vast areas maintained as grass surrounding the Community Center building, the Children's Playground, and the large Cricket Ground. Maximizing these vegetated and open spaces promotes natural stormwater infiltration directly into the native soil, reducing runoff volume and velocity.
- **Decentralized On-Site Wastewater Treatment & Dispersal:** Rather than exporting wastewater off-site via centralized sewers, the project utilizes an advanced on-site sewage treatment system (as detailed on Sheet 3 of the Sewage Treatment System Plan). This system features an aeration tank, a timed dosing tank, and a UV disinfection unit. The highly treated effluent is subsequently dispersed into the soil via elevated sand mounds. This decentralized approach acts as a form of localized groundwater recharge, filtering water naturally through the soil profile and returning it to the local watershed.
- **Conservation Development Design:** The site layout employs a clustered building approach. By grouping the proposed structures and primary amenities closely together, the design significantly minimizes the overall footprint of earth disturbance and paving, thereby preserving larger contiguous swaths of open space across the parcel.

Items	Description	Quantity	Units
Acreage: Developed Areas	Site area: gross	23.9	Acres
	Roadways and rights of way	0.39	Acres
	Site area: net of rights-of-way	23.51	Acres
	Zoning districts: area for each district	R - 23.9	Acres
	Residential land use area	0.06	Acres
	Non-residential land use area	23.8	Acres
Acreage: Open Space	Stream corridor protection zone (SCPZ) area	23.90	Acres
	Other preservation and no-disturb zones	1.89	Acres
	Open space: total	18.68	Acres
	Natural areas (including SCPZ)	14.04	Acres
	Active recreation area	4.64	Acres
	Stormwater management facilities area	0.68	Acres
	Other area	N/A	Acres
Density Calculations	Density: gross	8.90%	
	Density: net of rights-of-way	9.05%	
	Density: net of rights-of-way, open space areas	22.46%	
Open Space Calculations	Open space requirement percentage	50.0%	
	Open space: total / Site area: gross	78.2%	
	Open space: total / Site area: net of rights-of-way	79.5%	
	SCPZ area / Site area: net of rights-of-way	101.7%	
	Natural areas (including SCPZ) / Site area: net of rights-of-way	59.7%	
	Active recreation area / Site area: net of rights-of-way	19.7%	
	Stormwater mgmt. facilities area / Site area: net of rights-of-way	2.9%	
	Natural areas (including SCPZ) / Open space: total	75.2%	
Active recreation area / Open space: total	24.8%		



Inspirer: His Divine Holiness Hariprasad Swamiji & His Divine Holiness Prabodh Swamiji

May 2, 2026

Franklin County Board of Zoning Appeals
c/o Brown Township Zoning Administration
Franklin County, Ohio



RE: Application for Exceptional Use Permit — Youth Recreation Facility & Community Center for encouraging & developing a Faith-Based Civic Consciousness
Property Location: 3740 Walker Road, Hilliard, OH 43026 (Brown Township, Franklin County) Parcel ID: 120-000430

Dear Members of the Franklin County Board of Zoning Appeals,

On behalf of Yogi Divine Society of NJ (dba Hariprabodham), a federally recognized 501(c)(3) nonprofit organization and the national headquarters of the Harisumiran network of community centers across the United States, we respectfully submit this letter in support of our application for an Exceptional Use Permit for the property located on 3740 Walker Road, Hilliard, Ohio 43026 (Parcel ID: 120-000430), situated within Brown Township, Franklin County. The proposed development will be owned and operated by our wholly owned Ohio subsidiary, **Harisumiran of OH, Inc.**

I. Organization Background

Yogi Divine Society was founded in 1974 in India with a mission rooted in personal development, community service, and the cultivation of compassionate leadership amongst youth and young adults. The organization established its first center in the United States in Lake Hiawatha, New Jersey, in 1996. Since then, it has grown to include major centers in Chicago, Illinois; Houston, Texas; and Lake Hiawatha, New Jersey, each serving thousands of community members annually.

Throughout its history, Yogi Divine Society has operated in the spirit of a faith-based civic organization — one that uses spiritual values as a foundation for practical programs in youth development, cultural enrichment, conflict resolution, and community service. The Ohio chapter, Harisumiran of OH, Inc., has been established to serve the growing South Asian and the broader Ohio community in the Franklin County region.

II. Description of the Proposed Use

We are seeking an Exceptional Use Permit to develop the 26-acre parcel on 3740 Walker Road, Hilliard, Ohio 43026 (Parcel ID: 120-000430) as a Youth Development and Community Center. The proposed facility will function primarily as a youth recreation center, community gathering hall, and faith-based civic organization campus — consistent with the kinds of uses typically associated with nonprofit community service organizations, civic clubs and places of assembly for conducting community-based activities. The site, which is already owned by Harisumiran of OH, Inc., will be developed in a manner sensitive to the surrounding environment and consistent with applicable Brown Township zoning regulations.



Inspirer: His Divine Holiness Hariprasad Swamiji & His Divine Holiness Prabodh Swamiji

The proposed development will include the following principal elements:

- Playing Fields (approximately 60,000 sq. ft.): Open recreational fields for basketball, volleyball, cricket and other youth sports and activities.
- Building 1 — Community Hall (approximately 6,500 sq. ft.): A multi-purpose gathering hall for youth seminars, career development workshops, cultural festivals and community events open to the public.
- Building 2 — Support Facility (approximately 1,800 sq. ft.): A commercial-grade kitchen, restroom facilities and storage, providing essential support services for events and programs hosted on the campus.
- Building 3 — Wellness and Residential (approximately 1,800 sq. ft.): A dedicated yoga and meditation hall, a small prayer and self-introspection space and a caretaker's quarters to facilitate on-site management of the campus.

III. Purpose and Community Benefit

The center's programmatic focus is the development of Ohio's youth into engaged compassionate and productive members of society. The organization has always been deeply committed to keeping young people away from addiction, substance abuse, and destructive influences and to replacing those influences with purpose, community spirit and opportunity. The Ohio campus will carry forward these same values through structured programs built around three pillars:

- Learning: Through structured activities, discussions and debates, participants gain tools for conflict resolution, heart-centered communication, and peace-focused leadership — skills that benefit the broader Franklin County community.
- Motivation: The center will serve as a dedicated platform for youth to share personal stories and experiences, fostering mutual encouragement, empowerment and a sense of belonging.
- Connection: By building cross-cultural friendships and a shared commitment to service, participants emerge as community leaders equipped to act with compassion and civic awareness.

Additionally, the center will host youth career development seminars and job training programs.

IV. Consistency with Exceptional Use Standards

We respectfully submit that the proposed use satisfies the criteria for an Exceptional Use Permit under the applicable Brown Township and Franklin County zoning regulations. Specifically:

- The use is compatible with the character of the surrounding area and will be conducted in a manner that minimizes traffic, noise and other inconveniences to neighboring properties.
- As a 501(c)(3) nonprofit and faith-based civic organization, Yogi Divine Society operates exclusively for charitable, educational and community benefit purposes — precisely the category of use that exceptional use provisions are designed to accommodate.
- The 26-acre site provides ample space to accommodate the proposed buildings and recreational fields with appropriate setbacks, Open lands areas and on-site parking, without burdening adjacent parcels.



Inspirer: His Divine Holiness Hariprasad Swamiji & His Divine Holiness Prabodh Swamiji

- The organization has demonstrated a 30-year track record of operating similar facilities in New Jersey, Illinois, and Texas in a responsible, community-oriented manner consistent with local zoning expectations.

V. Conclusion

Harisumiran of OH, Inc. and its parent organization, Yogi Divine Society of NJ (dba Hariprabodham), are honored to bring this project to Franklin County and look forward to becoming a meaningful contributor to the health, wellness, youth development and cultural life of the Brown Township community. We respectfully request that the Board grant the Exceptional Use Permit for the Walker Road property and welcome the opportunity to present additional information, answer questions and meet with Board members and township staff, if necessary, at your convenience.

Please do not hesitate to contact us for any further information that you may require to further process this application. Assuring you of our full co-operation at all times and anticipating a positive response to this humble submission, we remain,

Yours Sincerely,

Rakesh Jani

Harisumiran of OH, Inc.,
6296 Pritchard Drive, Galloway, OH 43119
Email: rakesh.jani@yds.org

Internal Revenue Service

Department of the Treasury

District
Director

10 MetroTech Center
625 Fulton St., Brooklyn, NY 11201

▷

Yogi Divine Society
of New Jersey, Inc.
140 Lincoln Avenue
Lake Hiawatha, NJ 07034

Date: **MAY 29 1997**
Person to Contact:
Patricia Holub
Contact Telephone Number:
(718) 488-2333
EIN: 22-2937318

Dear Sir or Madam:

Reference is made to your request for verification of the tax exempt status of Yogi Divine Society of New Jersey, Inc.

A determination or ruling letter issued to an organization granting exemption under the Internal Revenue Code remains in effect until the tax exempt status has been terminated, revoked or modified.

Our records indicate that exemption was granted as shown below.

Sincerely yours,

(Patricia Holub)

Patricia Holub
Manager, Customer
Service Unit

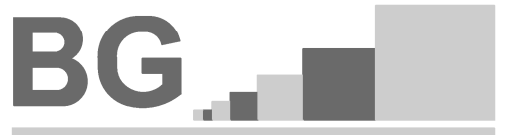
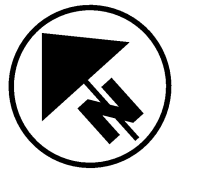
Name of Organization: Yogi Divine Society of New Jersey, Inc.

Date of Exemption Letter: April 1990

Exemption granted pursuant to section 501(c)(3) of the Internal Revenue Code.

Foundation Classification (if applicable): Not a private foundation as you are an organization described in sections 509(a)(1) and 170(b)(1)(A)(i) of the Internal Revenue Code.

BROWN TOWNSHIP
FRANKLIN COUNTY
OHIO



www.bgenggroup.com

5960 WILCOX PLACE, SUITE C
DUBLIN, OHIO 43016

SEALS

FRANKLIN COUNTY, OHIO

3740 WALKER RD.
COMMUNITY
CENTER

BG PROJECT NO. SD008

NO.	DATE	ISSUED FOR	BY

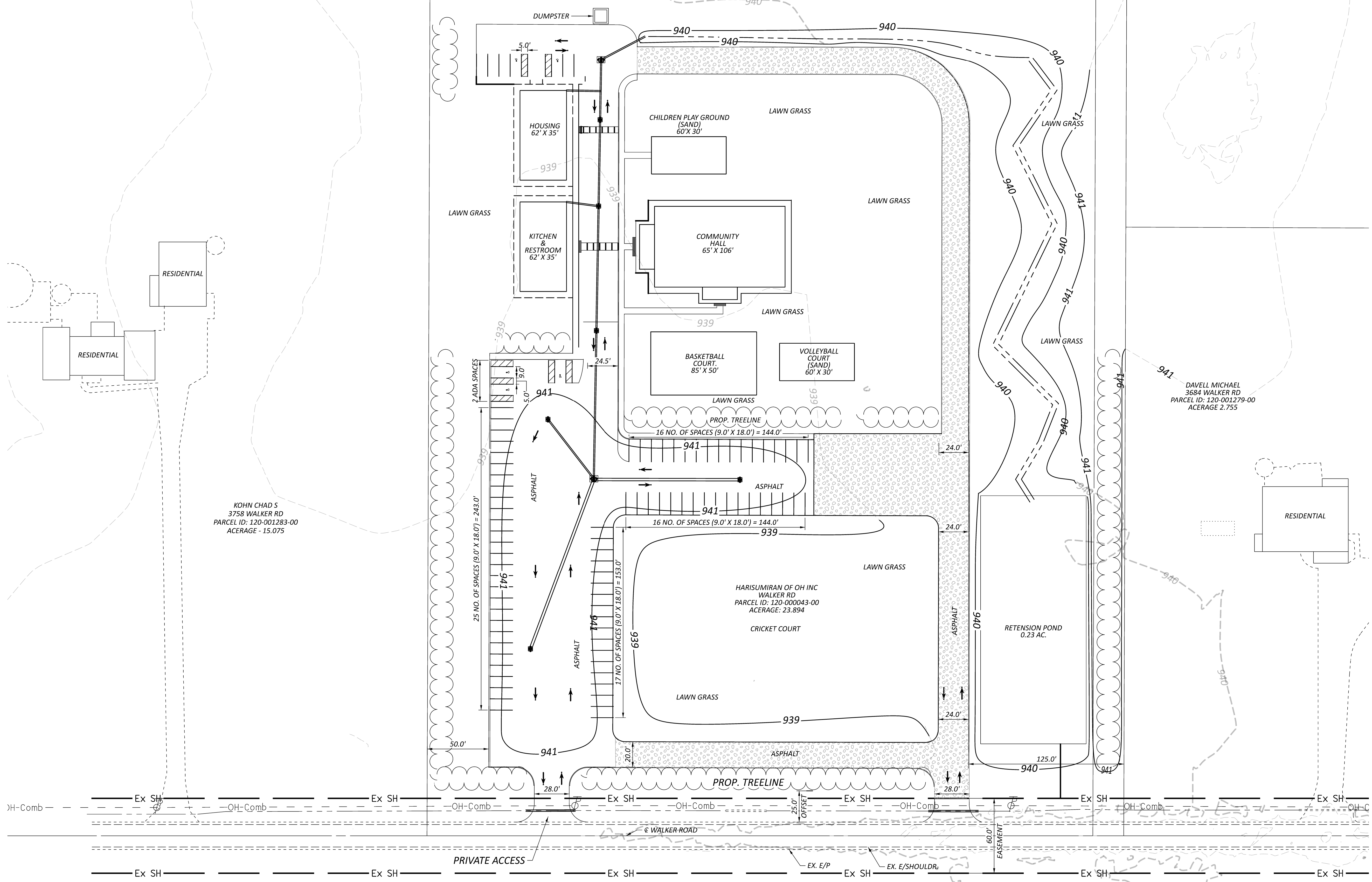
DATE: _____
PROJECT NO.: BGE-SD008
FILE NAME: _____
DESIGNED BY: _____
DRAWN BY: LA
CHECKED BY: RG

SHEET TITLE

PROPOSED
SITE PLAN

SCALE:
1:40

SHEET 01 OF 01



Landscape Plan Narrative for Rezoning Submission

Prepared For: Franklin County, Ohio Rezoning Application
Project: Youth Center Development – Walker Road Site
Date: 2026-05-01



1. Project Landscape Intent

This landscape plan has been prepared to support the rezoning application for the proposed youth center development in Franklin County, Ohio. The landscaping strategy emphasizes a natural appearance with a balance of maintained lawn areas, prairie grass open space, evergreen screening, and native plantings. The proposed materials are intended to complement open-space requirements, support stormwater management, reduce maintenance, and provide visual compatibility with surrounding properties.

2. Site Landscape Organization

The site landscape design is divided into three primary categories: lawn areas, prairie grass open space, and tree plantings. Lawn areas will replace urban grass previously shown on conceptual plans.

- **Lawn Areas:** Maintained lawn will be used around the building, entrance areas, parking lot edges, activity spaces, play areas, volleyball court, gathering areas, and pedestrian circulation zones.
- **Prairie Grass Open Space:** Prairie grass will be installed in larger managed open-space portions of the site to preserve a natural appearance, reduce mowing requirements, and support environmental stewardship.
- **Tree Plantings:** Trees fence will be strategically placed along property boundaries, roadway frontage, pond edges, parking areas, and transition zones between lawn and prairie grass.

3. Proposed Tree Species

The following tree species are proposed throughout the site for screening, visual enhancement, buffering, and naturalized planting areas.

- Eastern Arborvitae (*Thuja occidentalis*) – Evergreen screening tree suitable for perimeter buffering, privacy, and year-round visual coverage.
- Eastern Redcedar (*Juniperus virginiana*) – Native evergreen species appropriate for natural open-space edges and wildlife habitat.

- Southern Wax Myrtle – Naturalized shrub/tree providing texture, seasonal interest, and screening around gathering spaces and pond areas.

4. Prairie Grass and Groundcover Plantings

Prairie grasses are intended to support erosion control, improve infiltration, and provide a low-maintenance landscape treatment within open-space portions of the property.

- Prairie Dropseed Grass
- Pennsylvania Sedge
- Perennial Carex pensylvanica Ornamental Grass

5. Lawn Seed Mix

Traditional lawn areas will use durable cool-season turfgrass suitable for Ohio climate conditions.

- Turf-Type Tall Fescue (TTTF)
- Kentucky Bluegrass (KBG)

6. Landscape Placement Recommendations

1. Tree screening along Walker Road frontage.
2. Evergreen buffering around parking areas and utilities.
3. Prairie grass surrounding stormwater pond areas and managed open-space regions.
4. Lawn concentrated near building entrances, recreation spaces, and active-use areas.
5. Tree clusters at transitions between prairie grass and lawn areas.

7. Maintenance and Installation Notes

6. All landscape materials shall be installed in accordance with accepted horticultural and industry standards.
7. Final plant placement may be adjusted during engineering review to accommodate grading, utilities, septic, well, and stormwater infrastructure.
8. Lawn areas will be maintained with seasonal mowing and invasive species management.
9. Landscape materials shall be maintained to ensure long-term health and survival.

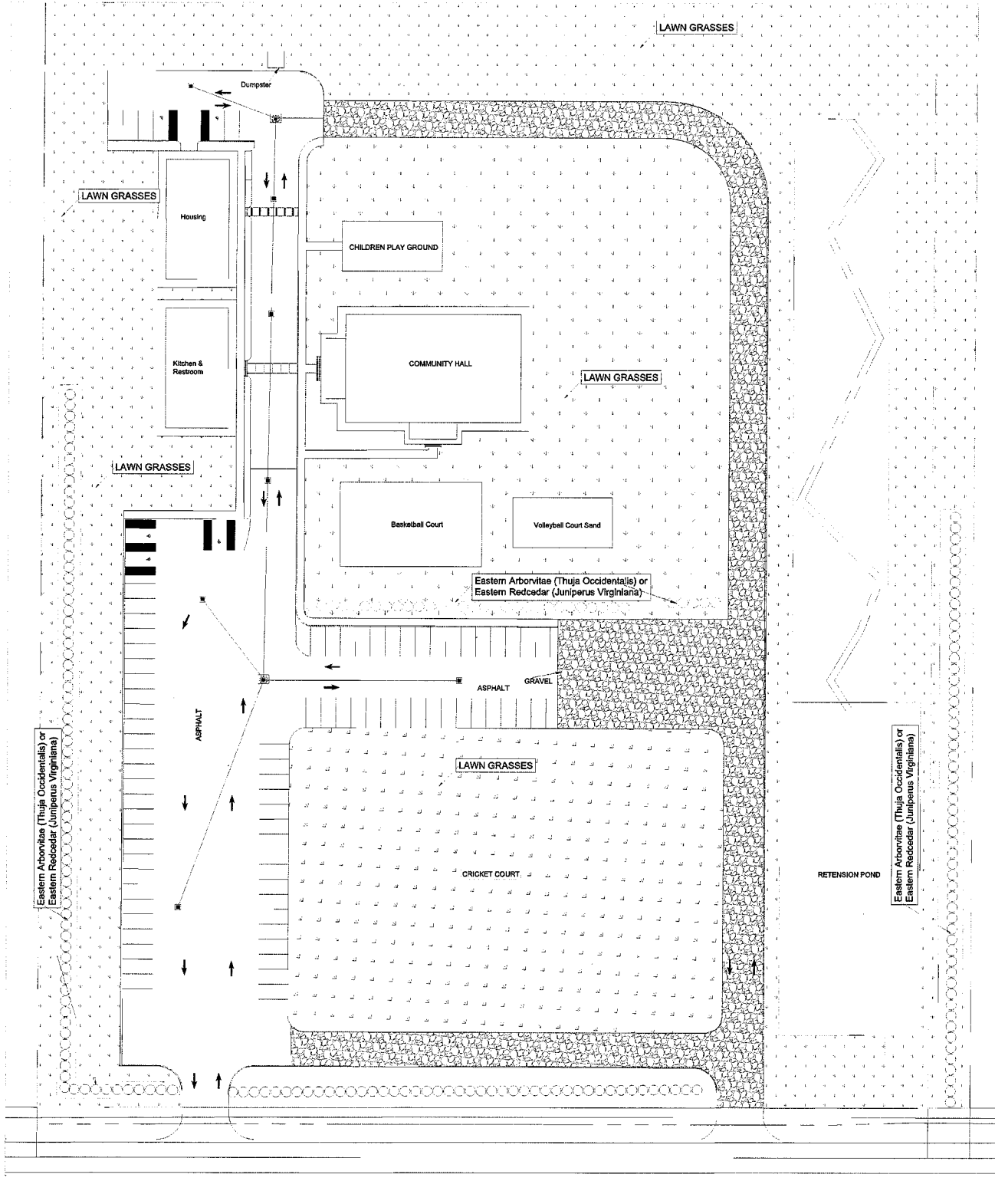
8. Landscape Statement for Rezoning Submission

The proposed landscape plan supports the character of the site through the use of native and naturalized plantings, maintained lawn areas, evergreen screening, and prairie grass open space. This approach promotes compatibility with surrounding development patterns while preserving open-space aesthetics and supporting environmental stewardship goals.

General Notes:

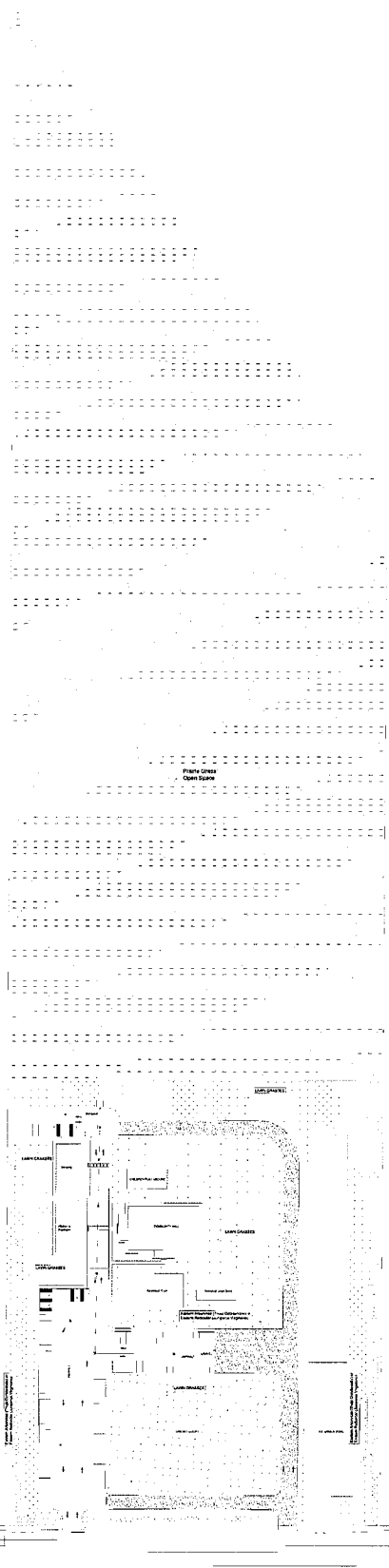
- Proposed Tree Species:**
 The following shrubs and trees are proposed throughout the site for screening, visual environment softening, and construction site dust control:
 • Eastern Arborvitae (*Thuja occidentalis*) - Evergreen, low-maintenance tree suitable for perimeter buffering, privacy, and year-round visual coverage.
 • Eastern Redcedar (*Juniperus virginiana*) - Native evergreen species, suitable for natural open space edges and wildlife habitat.
- Proposed Plants, Grasses, and Groundcover Plantings:**
 Plants, grasses, and groundcover are intended to help with erosion control, improve infiltration, and provide a low-maintenance landscape treatment around open space portions of the property. All selected species are ICOP Observables:
 • Prairie Dropseed (*Sporobolus heterolepis*)
 • Pennsylvania Sedge (*Carex pensylvanica*)
 • Blue Bluestem (*Schizochyrium caputum*)
- Proposed Plant Grasses:**
 • Annual Ryegrass
 • Turf Type Tall Fescue (TTFE)
 • Kentucky Bluegrass (KBG)

LANDSCAPING PLAN HARISUMIRAN, OH

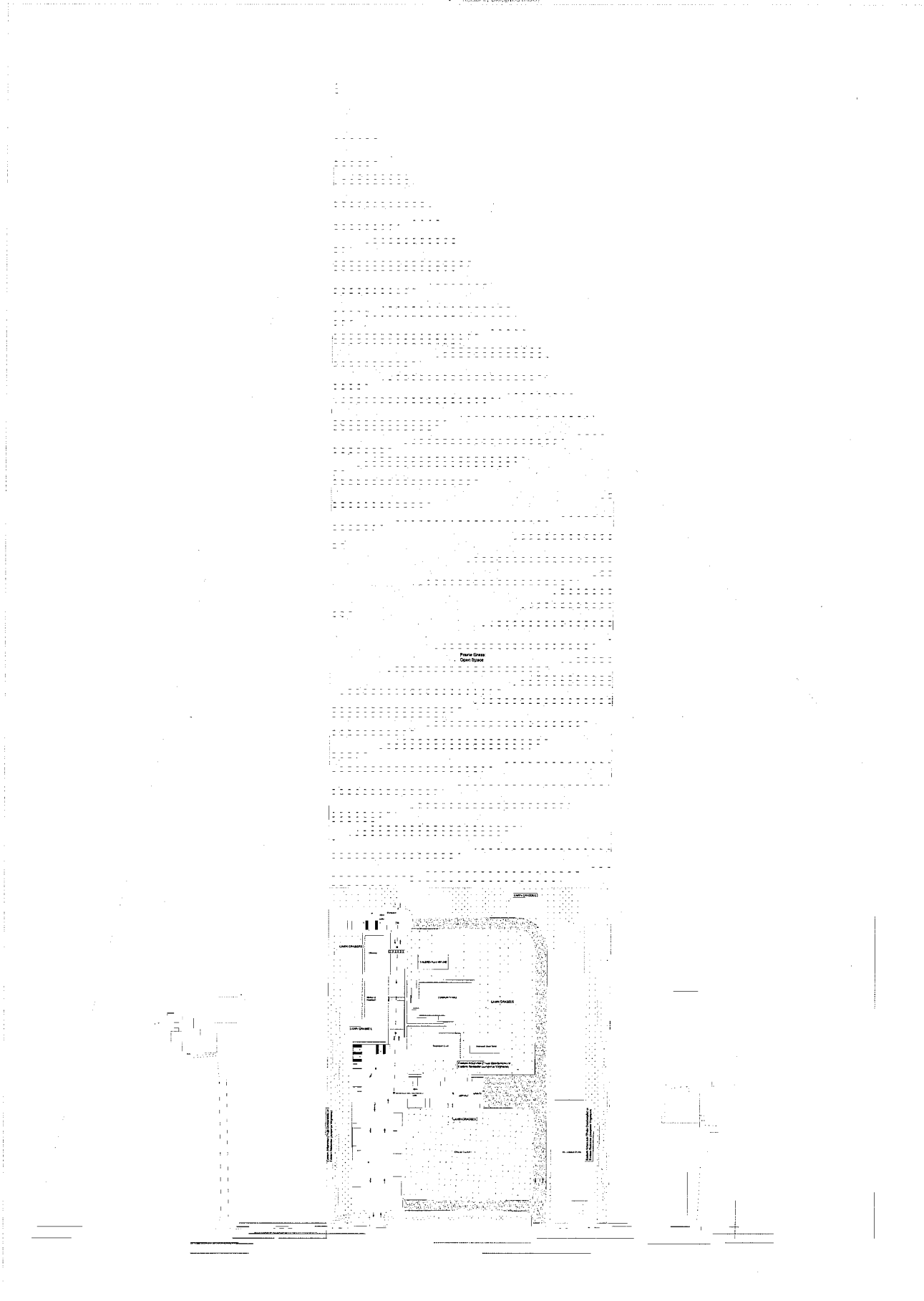


Appendix A

1. Request for Information
• Request for Information (RFI) is a document that provides information about the project to potential bidders.
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2. Request for Proposal (RFP)
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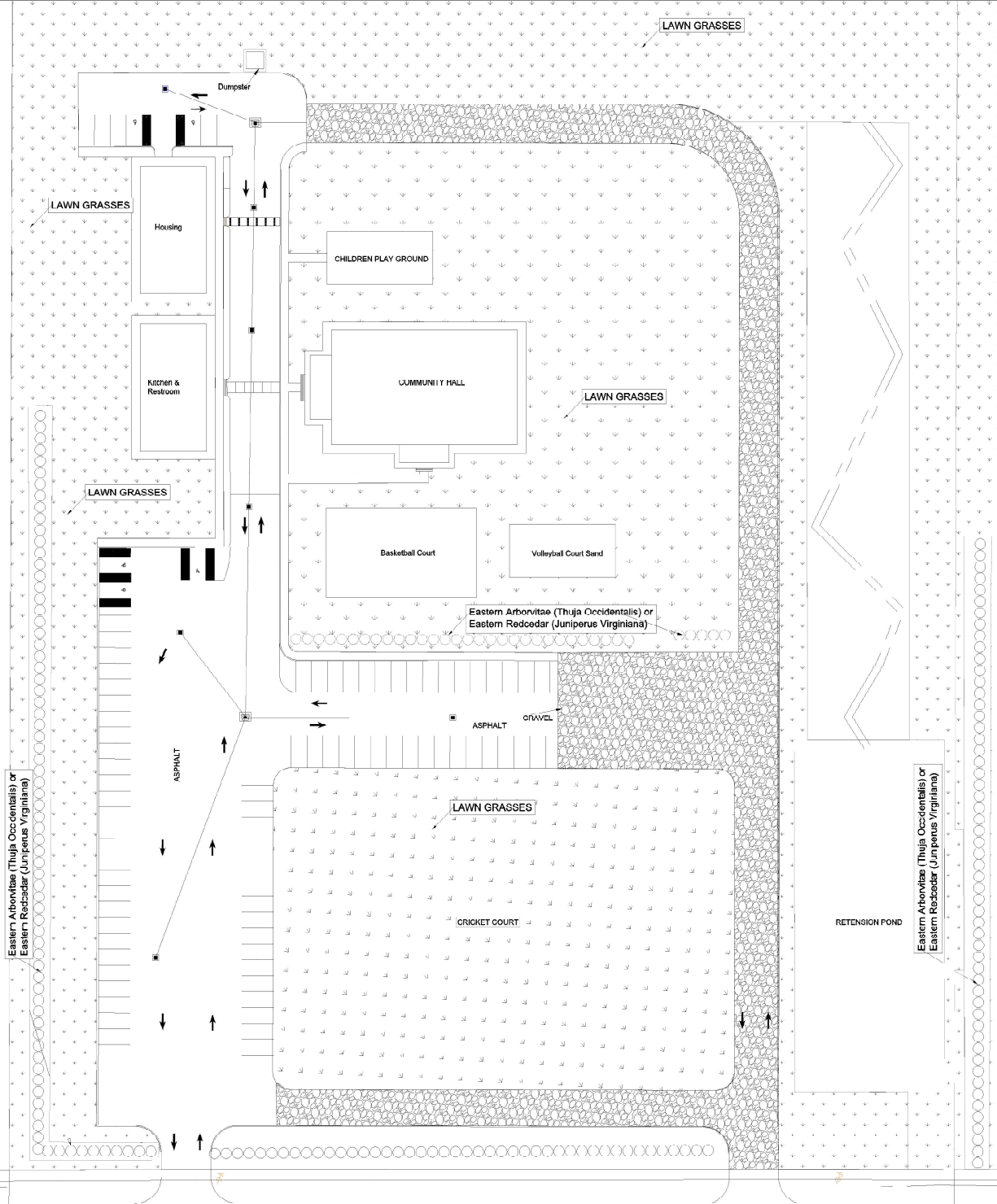
1. Proposed Tree Species
The following strictly native tree species are proposed throughout the site for screening, visual enhancement, buffering, and conservation planting areas:
 - Eastern White Pine (*Pinus strobus*) - Ecological screening tree suitable for perimeter buffering, privacy, and year-round visual coverage
 - Eastern Red Cedar (*Juniperus virginiana*) - Native evergreen species appropriate for natural open-space strips and wildlife habitat.
2. Proposed Prairie Grasses and Groundcover Plantings
Prairie grasses are intended to support erosion control, improve infiltration, and provide a low-maintenance landscape treatment along open-space portions of the property. All selected species are 100% Ohio native:
 - Prairie Dropseed (*Sporobolus heterophyllus*)
 - Pennsylvania Sedge (*Carex pensylvanica*)
 - Little Bluestem (*Schizachyrium scoparium*)
3. Proposed Lawn Grasses
Lawn Grasses to be selected from below options:
 - Turf Type Tall Fescue (TTTF)
 - Kentucky Bluegrass (KBG)



LANDSCAPING PLAN HARISUMIRAN, OH

General Notes:

- Proposed Tree Species
The following strictly native tree species are proposed throughout the site for screening, visual enhancement, buffering, and conservation planting areas:
 - Eastern Arborvitae (*Thuja occidentalis*) – Evergreen screening tree suitable for perimeter buffering, privacy, and year-round visual coverage.
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Prairie grasses are intended to support erosion control, improve infiltration, and provide a low-maintenance landscape treatment within open-space portions of the property. All selected species are 100% Ohio native:
 - Prairie Dropseed (*Sporobolus heterolepis*)
 - Pennsylvania Sedge (*Carex pensylvanica*)
 - Little Bluestem (*Schizachyrium scoparium*)
- Proposed Lawn Grasses
Managed Lawn Grass to be selected from below options
 - Turf Type Tall Fescue (TTTF)
 - Kentucky Bluegrass (KBG)



General Notes

1. Proposed Tree Species

- The following strictly native tree species are proposed throughout the site for screening, visual enhancement, buffering, and conservation planting areas:
- Eastern Arborvitae (*Thuja occidentalis*) – Evergreen screening tree suitable for perimeter buffering, privacy, and year-round visual coverage.
- Eastern Redcedar (*Juniperus virginiana*) – Native evergreen species appropriate for natural open-space edges and wildlife habitat.

2. Proposed Prairie Grass and Groundcover Plantings

Prairie grasses are intended to support erosion control, improve infiltration, and provide a low-maintenance landscape treatment within open-space portions of the property. All selected species are 100% Ohio native:

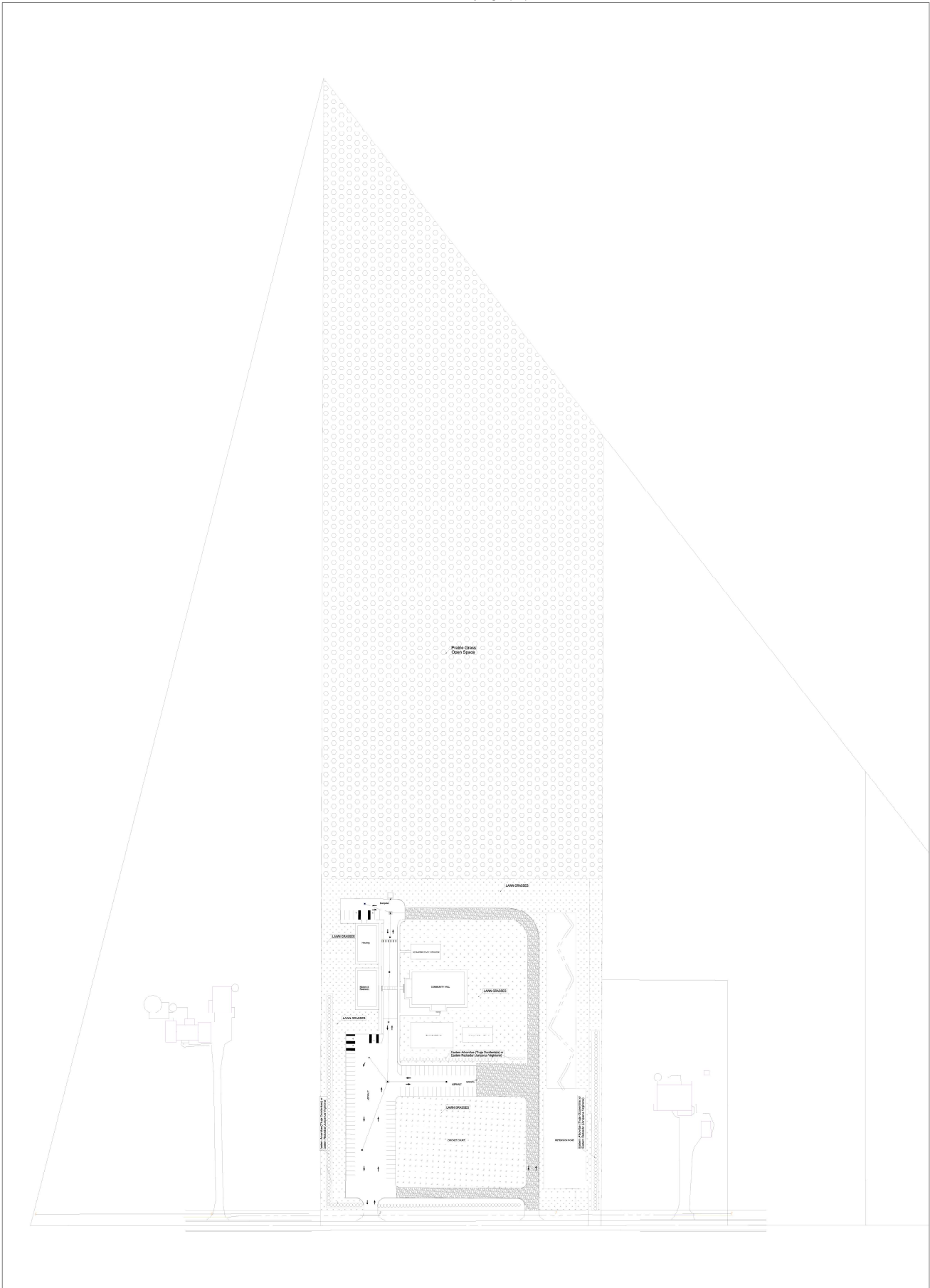
- Prairie Dropseed (*Sporobolus heterolepis*)
- Pennsylvania Sedge (*Carex pennsylvanica*)
- Little Bluestem (*Schizachyrium scoparium*)



3. Proposed Lawn Grasses

Managed Lawn Grasses to be selected from below options

- Turf Type Tall Fescue (TTTF)
- Kentucky Bluegrass (KBG)





April 25, 2025

Re: Harisumiran of OH PWS
Plan
Approval
Well Site Approval
Drinking Water Program
Franklin County
PWS ID: OH2570753
Package Number: DDAGW-3906



Tarak Bhatt
Harisumiran of OH
3740 Walker Road
Hilliard, OH 43026

Subject: Well Site Approval for Well 1; WL54966; Transient Non-Community

Dear Tarak Bhatt:

On April 8, 2025, Audrey Moore and Katie Moore met with Hugh Downer of Eagon and Associates to review a well site for proposed Well 1 to serve Harisumiran of OH PWS. The proposed well site is located at 3740 Walker Road, Hilliard, OH 43026 at the approximate coordinates 40.02729173, -83.22287454. A map of the site showing the proposed well location is attached and is being included herein for documentation. The proposed well site complies with the requirements of the Ohio EPA in accordance with Ohio Administrative Code (OAC) Chapter 3745-9 and the proposed well site is hereby accepted subject to the following conditions.

1. The sanitary isolation radius is determined from the estimated average daily water demand of 5,000 gallons per day. Based upon this, the owner of the water supply shall maintain ownership or obtain an easement or lease of all land within a 75-foot radius of any permanent production well installed at this site in accordance with OAC Rule 3745-9-04. The final isolation radius will be established as a condition of the well's final plan approval.

Where this radius extends beyond the public water system's property boundary, the owner of the public water system must have a recorded easement or lease with the landowner that sanitary control will be maintained around the well within the isolation radius.

2. The use of all land within this 75-foot isolation radius must conform to the requirements of the Ohio EPA. More specifically, this land shall be maintained such that no new potential sources of contamination are established within the isolation radius as determined under OAC Rule 3745-9-04. In addition, an inner management zone and drinking water source protection area will be identified for this well in the Source Water Assessment Report that will be prepared by Ohio EPA or the public water system. OAC Rule 3745-9-04 outlines additional restrictions on what can be located within the isolation radius and the drinking water source protection area.
3. Well construction must comply with all Ohio EPA Water Well Standards, OAC Rules 3745-9-01 through 3745-9-09. You can view these rules on the internet at <https://epa.ohio.gov/divisions-and-offices/drinking-and-ground-waters/regulations/effective-rules>.

The well may be drilled using the dry driven grout method. The well must be properly grouted in accordance with OAC Rule 3745-9-07, which requires that all annular spaces be completely filled with grout from the ground surface to the bottom of the annular space. All annular spaces shall be of sufficient size so that the grout can be properly placed per OAC Rule 3745-9-05).

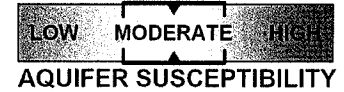
Harisumiran of OH PWS, PWSID#: OH2570753 Brown Township, Franklin County



©GRIP, OSIP Imagery Providers, Esri Community Maps Contributors, Franklin County Auditor, Google StreetView, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnology, Inc, MDTI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

Legend

- Proposed Well
- Isolation Radius - 75 ft
- 🏠 Crops: corn, soybean, wheat
- Septic System: Tank/Leachfield/Mound System
- Wastewater/Biosolids Application
- Drainage Canal/Tile
- Sanitary Sewer Line
- Storm Water Line
- Septic System: Leachfield/Mound/Tank
- Storm Water Basin

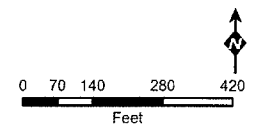


Protection Area Data
 Number of Wells = 1
 Pumping Rate = 5,000 gallons per day (average)
 Porosity = 3%
 Aquifer Thickness = 10 feet
 Hydrogeologic Setting = Till over Limestone
 Land Use = Agricultural/Residential



Preliminary Well Site

April 21, 2025





**Environmental
Protection
Agency**

DIVISION OF DRINKING and GROUND WATERS
CRITERIA APPLICABLE TO ALL PUBLIC WATER SYSTEM WELLS

The following criteria required by OAC 3745-9-05 are applicable to all public water system wells:

1. A minimum of 25 feet of solid, watertight casing must extend below the ground surface.
2. The minimum casing diameter shall be five inches and sized to allow the well to produce water that is adequate for the intended use, and to allow for the installation and maintenance of the well and related pumping equipment.
3. Steel or thermoplastic (I.e., PVC) well casing shall be used and shall conform to the minimum thickness, pipe specification and joint specifications described in OAC 3745-9-05.
4. Thermoplastic well casing shall not be installed where potential or known contaminants may degrade or permeate plastic and must not be driven.
5. All annular spaces shall be of sufficient size so that the grout can be properly placed.
6. The well cap/seal shall be a watertight, secured with screws or other appropriate connections, and vented to the atmosphere. Well caps, pitless adapter or pitless unit, must conform with "Water System Council Pitless Adapter Standard PAS-97, Performance Standards for Sanitary Water Well Pitless Adapters, Pitless Units, and Watertight Well Caps" (2012).
7. A vent shall be provided on all well caps and seals except for those used on deep well single pipe packer jet installations, or flowing wells where the flow rate is greater than the pumping rate of the permanent pump. A well vent shall be self-draining, screened with a noncorroding mesh screen of fifteen to thirty mesh, pointed downward at or above the top of the casing or pitless unit. A vent shall terminate not less than twelve inches above ground surface, and at least twelve inches above the well house floor or concrete apron surface. The well vent shall extend a minimum of three feet above the one-hundred-year floodplain elevation, or highest known flood elevation, whichever is higher.
8. The pitless adapter or pitless unit shall be lead free; conform with "Water System Council Pitless Adapter Standard PAS-97, Performance Standards and Recommended Installation Procedures for Sanitary Water Well Pitless Adapters, Pitless Units, and Well Caps," (2012) or with an alternative standard acceptable to the director; and if welded, have connections to steel well casing made watertight in accordance with welding procedures in the "American Welding Society Structural Welding Code, AWS D1.1/D1.M:2002" (2002).
9. OAC 3745-9-05 requires that the top of the casing extend at least three feet above the



January 22, 2026

Re: HARISUMIRAN OF OHIO INC.
 Permit - Long Term
 Surface Water Permit to Install
 Franklin
 DSWPTI-250377

Subject: DSW-4395, Harisumiran OH, 3740 Walker Rd, Hilliard, OH 07034
 Plans Received on 4/24/2025
 From: Otisco Engineering Ltd.

Ladies and Gentlemen:

Enclosed is an approved Ohio EPA Permit to Install. This permit contains several conditions and restrictions; I urge you to read it carefully. A general condition of your permit states that issuance of the permit does not relieve you of the duty of complying with all applicable federal, state, and local laws, ordinances, and regulations. You are hereby notified that this action of the Director is final and may be appealed to the Environmental Review Appeals Commission pursuant to Section 3745.04 of the Ohio Revised Code. The appeal must be in writing and set forth the action complained of and the grounds upon which the appeal is based. The appeal must be filed with the Commission within thirty (30) days after notice of the Director's action. The appeal must be accompanied by a filing fee of \$70.00, made payable to "Treasurer State of Ohio", which the Commission, in its discretion, may reduce if by affidavit you demonstrate that payment of the full amount of the fee would cause extreme hardship. Notice of the filing of the appeal shall be filed with the Director within three (3) days of filing with the Commission. Ohio EPA requests that a copy of the appeal be served upon the Ohio Attorney General's Office, Environmental Enforcement Section. An appeal may be filed with the Environmental Review Appeals Commission at the following address: Environmental Review Appeals Commission, 30 East Broad Street, 4th Floor, Columbus, OH 43215. If you have any questions regarding details of the permit, please contact the appropriate Ohio EPA District Office using the following link. [Contact List | Ohio Environmental Protection Agency](#)

Sincerely,

Tony Nosko, P.E., Manager
Permit to Install Unit
Division of Surface Water

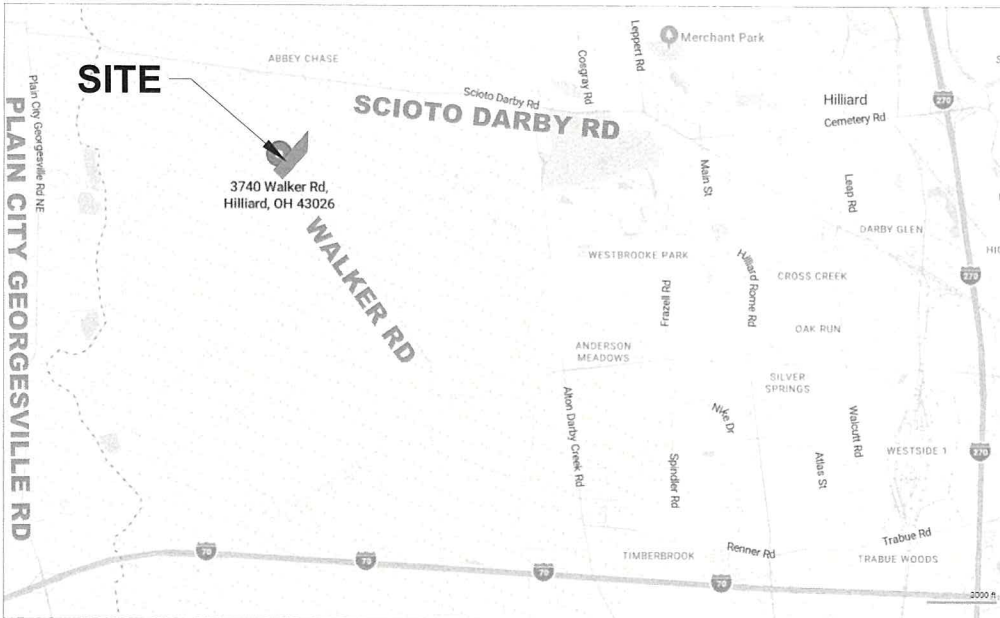
Enclosure

RECEIVED
MAY 14 2026
 Franklin County Planning Department
 Franklin County, OH

SEWAGE TREATMENT SYSTEM FOR HARISUMIRAN OH

AERATION TANK / TIMED DOSING TANK / SAND MOUND
7450 WALKER RD
BROWN TOWNSHIP, FRANKLIN COUNTY; PARCEL 120-000043-00
OWNER: HARISUMIRAN OF OHIO, INC

Ohio EPA Revision Submission Date: 05/12/2025
 2nd EPA Revision Submission Date: 06/9/2025
 3rd EPA Revision Submission Date: 06/18/2025
 4th EPA Revision Submission Date: 07/21/2025



VICINITY MAP



INDEX OF DRAWINGS

TITLE SHEET:	1
SITE PLAN:	2
SCHEMATIC, HYDRAULIC PROFILE	3
MOUND CROSS SECTION:	4
CALCULATIONS:	5
DOSING SPECIFICATIONS:	6
CONSTRUCTION DETAILS:	7
SYSTEM SPECS AND O & M:	8

The contractor shall notify the Ohio Utility Protection Service (OUPS) 800-362-2764 and any utility within the construction limit that are not a member of the "OUPS". Notification shall be at least two (2) working prior to beginning any work. Contractor shall also exercise caution and verify the exact horizontal and vertical location of the utility before working near any utilities.

I UNDERSTAND THAT THIS PROPOSED WASTEWATER TREATMENT SYSTEM REQUIRES A CONTINUOUS OPERATION AND MAINTENANCE CONTRACT AS FURNISHED BY AN APPROVED SERVICE PROVIDER.

Owner's signature _____ Date _____

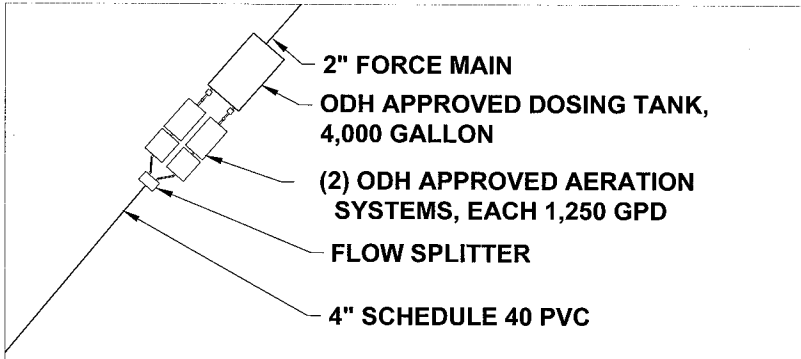
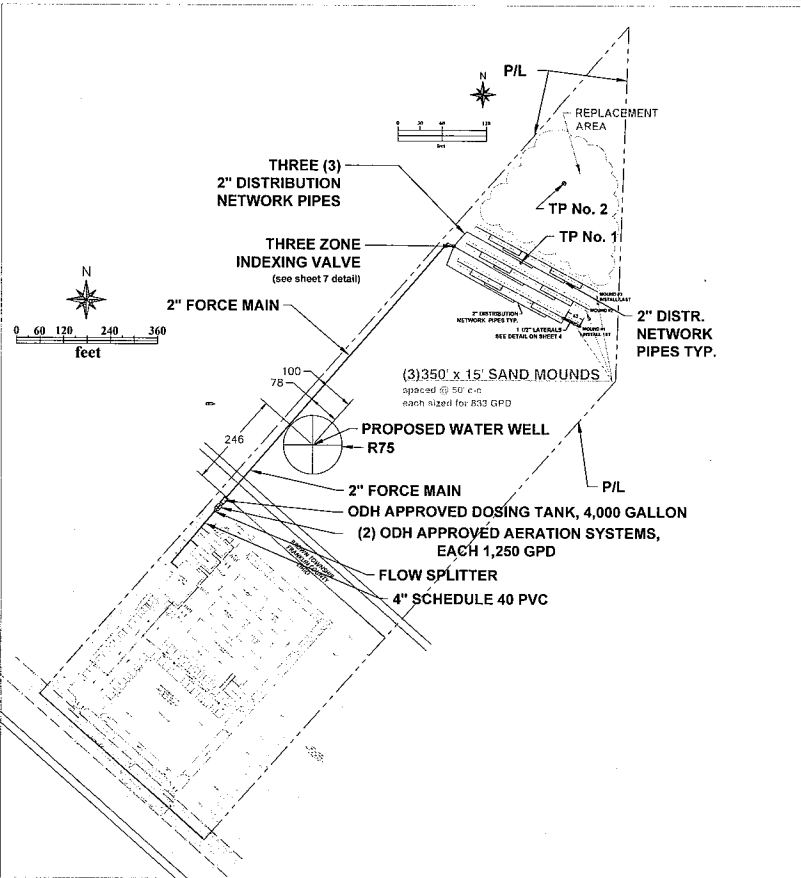
NO.	DATE	REVISION
A	06/18/25	Revised title to 'AERATION...' & added revision date

OTISCO
 engineering
 446 Maplebrooke Dr. E., Westerville, Ohio
 www.otiscoengineering.com

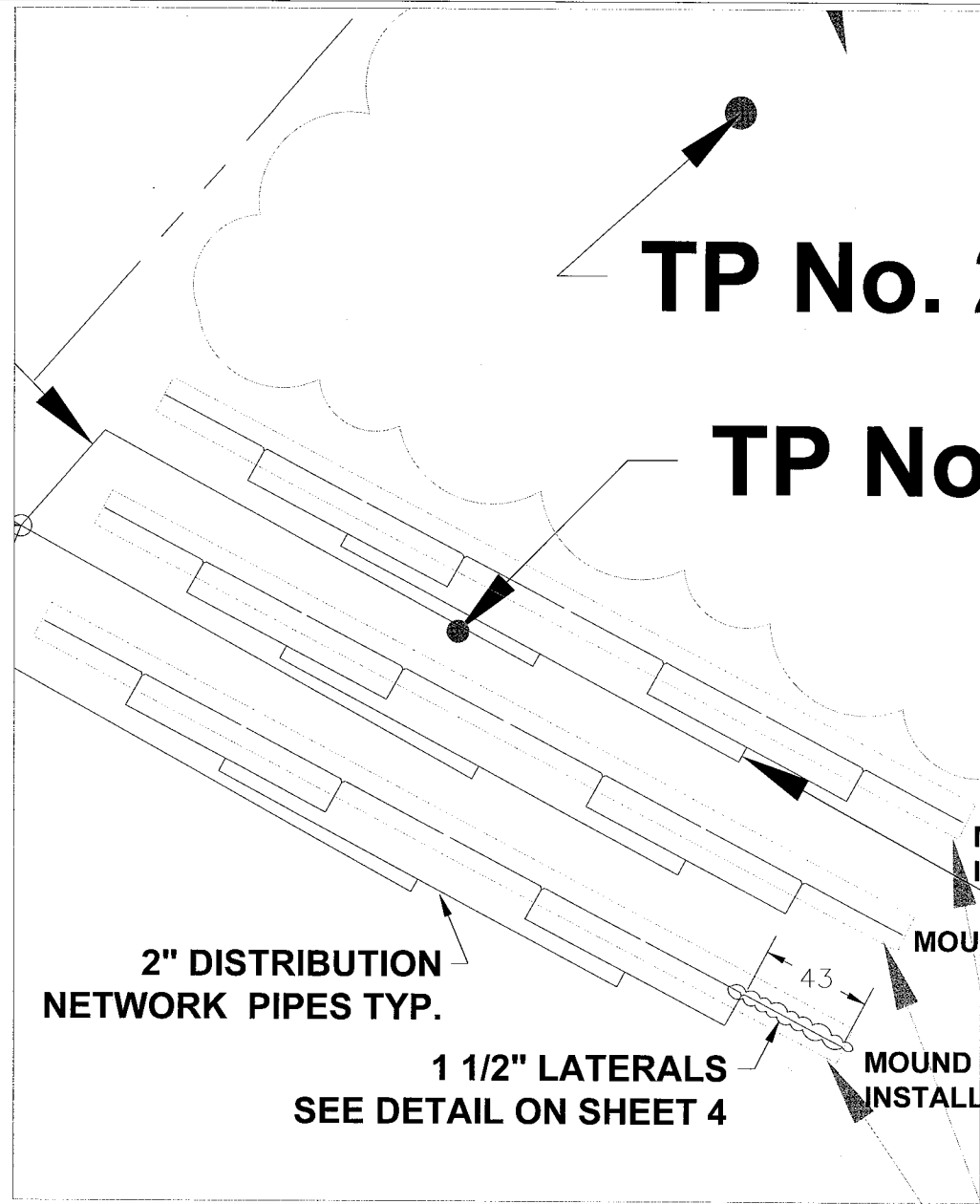
3740 WALKER RD

DATE AS NOTED
 DATE 03/06/25
 DRAWN BY G.J.N.
 258 HOURS 24048
 SHEET 1
 TITLE DSW-4395
 01/22/2026





TANK DETAIL



MOUND DETAIL

NO.	DATE	REVISION
A	05/04/25	Added leaders showing three 2" valves
B	05/08/25	Revised treatment tank details
C	05/18/25	Revised mound detail & added note to see lateral detail
D	07/15/25	Added indexing valve & changed to 2" force main, ETC

JOTISCO
engineering

446 Maplebrooke Dr. E., Westerville, Ohio
www.jotiscoengineering.com



3740 WALKER RD

SCALE	AS NOTED
DATE	04/08/25
DRAWN BY	CSJN
JOB NUMBER	24048
SHEET	2
	SITE PLAN



March 20, 2025

Otisco Engineering Ltd.
Greg Nortz
446 Maplebrooke Drive E.
Westerville, Ohio 44082



Mr. Nortz:

Please consider this letter a feasibility report for the Harisumiran Project located at 3740 Walker Road, Hilliard, Ohio. The feasibility study consisted of a soil evaluation to determine if the parcel has sufficient areas suitable for Sanitary Treatment Systems (STS). Included with the report is a conceptual plan with the locations of soil test pit (TP) locations and STS areas.

The soil evaluation identified a perched seasonal high-water table at 8 to 12 inches below the soil surface and no other restrictive features within 60 inches of the soil surface for TP No.1, however TP No. 2 had dense till approximately 40 inches below the soil surface. The specific STS has not been determined but could include spray irrigation, drip, or engineered mound.

If you have my questions or need additional information, please do not hesitate to contact me at 614.202.8621 or electronically at mstrain@smartservices-inc.com.

Sincerely,

SMART SERVICES, INC.

Mitchel R. Strain

Mitchel R. Strain, CPSS
Director of Environmental Services

Stormwater Pollution Prevention Plan (SWP3)

For Construction Activities At:

Harisumiran OH
3740 Walker Road
Brown Township (near Hilliard), Franklin County, Ohio 43026

SWP3 Prepared For:

Harisumiran of Ohio Inc.
2 Lincoln Highway
Lake Hiawatha, NJ 07034
c/o Tarak Bhatt, Project Facilitator
614-500-0162
Tarakbhatt02@gmail.com

SWP3 Prepared By:

Otisco Engineering Ltd.
Patrick Nortz, CPG, PE
601 Millard Dr.
Bay Village, Ohio 44140
216-276-6354
patnortz@otiscoengineering.com

SWP3 Preparation Date:

09/09/2025
Revised 11/11/2025

Estimated Project Start Date:

12/01/2025
Assumed based on permit issuance by 11/24/2025

Estimated Project Completion Date:

07/31/2026



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING



RESIDENTIAL ZONING COMPLIANCE APPLICATION & SUBMITTAL INSTRUCTIONS

**Please review the following to ensure all forms are completed and required documents are provided PRIOR TO SUBMITTAL. Incomplete applications will not be accepted. Submittals are not complete and are not considered accepted until all required documents are provided, and fees are paid.*

***Forward any questions about application, site plan, and/or submittal options to 614-525-3094 or Planning@franklincountyohio.gov.*

1. **COMPLETED APPLICATION FORM** – Please confirm all application form requirements are complete.
 - a. Property Information (Site address, Parcel ID, Zoning District, Lot Acreage, Township)
 - b. Property Owner, Applicant, and/or Agent Information – All required Name(s), Phone Number(s), Email Address(es) of owner, applicant, and/or agent on behalf of the owner and/or applicant.
 - c. Proof of Public Water/Wastewater Service (when applicable). A utility bill may be provided.
 - d. Complete all ‘Project Descriptions’ and/or questions (if applicable).
 - e. Mark all checklist boxes on application form to confirm all required documents have been provided.
 - f. Provide Owner/Applicant Signature (and notary if required)

2. **COMPLETED SITE PLAN/SURVEY**
 - a. Confirm ALL Site Plan/Survey requirements have been provided.
 - i. Refer to Plan/Survey checklist in application packet for general requirements.
 - ii. Requirements may vary.
 - iii. Contact Planning Department to confirm specific site Plan/Survey requirements.
 - b. Missing items may cause the application to be rejected until the required information is provided and confirmed by Staff.

3. **APPLICATION SUBMITTAL**
 - a. Applications for Certificates of Zoning Compliance Applications may be submitted online at: <https://co-franklin-oh.smartgovcommunity.com/ApplicationPublic/ApplicationHome>.
 - b. All other applications should be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104.

4. **TECHNICAL REVIEW COMMITTEE REFERRAL**
 - a. Applications must comply with applicable local and state requirements and regulations. These may include, but are not limited to, the Franklin County Public Health Regulations, Franklin County Sanitary Engineer requirements, Franklin County Drainage Engineer requirements, Franklin County Engineer requirements.
 - b. Referral agencies must confirm compliance with applicable regulations prior to approval.
 - c. Additional permits may be required from the Townships for access or from technical review agencies.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Application for

Zoning Variance

Pursuant to Section 810
of the Zoning Resolution

Page 1 of 7

Property Information

Site Address: 1989 Ormond Ave. Columbus Ohio 43224	
Parcel ID: 130-002359	Zoning District: R-12
Lot Acreage: 0.12	Township: Clinton

Property Owner Information

Name: Juan Francisco Baregas Oliva
Address: 1989 Ormond Ave. Columbus Ohio 43224

Phone: [REDACTED] Fax #: [REDACTED]
Email: [REDACTED]

Applicant Information

Same as property owner

Name: _____
Address: _____

Phone #: _____ Fax #: _____
Email: _____

Agent Information

Name: _____
Address: _____

Phone #: _____ Fax #: _____
Email: _____

Staff Use Only

Case # VA-4165
Date Filed: 05/13/2026
Received By: [Signature]
Fee Paid: \$350.00
Receipt Number: 26-01363
Hearing Date: 06/15/26
Technical Review: 05/20/26
Zoning Compliance #: RZ-2640

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

Water & Wastewater

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Application for

Zoning Variance

Pursuant to Section 810
of the Zoning Resolution

Page 2 of 7

Case# VA-

Variance(s) Requested:

Section: 315.041 (d)

Description:

Section: 315.043

Description:

Section:

Description:

Describe the project:

porch and addition in the back.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Application for

Zoning Variance

Pursuant to Section 810
of the Zoning Resolution

Page 3 of 7

Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

6. Can there be any beneficial use of the property without the variance?

Yes there can be beneficial use of the porche because it helps water not get into the house without it there would be water inside the house when it rains, and also protects the snow from getting inside and the protection of the entrance door.



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

It is substantial because the porch provides space for relaxation and socializing, and also provides dry shaded area, also protects main doors from rain reducing long-term repair needs,

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No. The variance will not change the essential character of the neighborhood or negatively affect adjoining properties. The request is limited in scope and is necessary due to the unique configuration of the parcel

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

Emergency vehicles and service providers will continue to have reasonable access to the property through the existing access arrangement. There is nothing blocking any entrance because porch

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

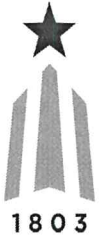
We purchased the property in good faith without full knowledge of the frontage restriction. After becoming aware of the issue, we have worked cooperatively with local officials to resolve it through the appropriate legal process

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No. Due to the existing configuration of the property, there is no practical alternative to the requested variance. The request represents the minimum relief necessary for reasonable use of the property

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

The requested variance is significant because it provides 10 feet of frontage where 100 feet is required. However, it will not substantially alter the neighborhood, harm adjacent properties, or impact public services. The property's unique configuration leaves no practical alternative, and the variance represents the minimum relief necessary for reasonable use,



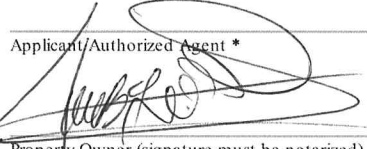
Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Zoning Variance
Pursuant to Section 810
of the Zoning Resolution
Page 5 of 7

Case# VA-

Affidavit **

Thereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Applicant/Authorized Agent *

Property Owner (signature must be notarized)

Date
5-13-2026
Date

Property Owner (signature must be notarized)

Date

- *Agent must provide documentation that they are legally representing the property owner.**
- **Approval does not invalidate any restrictions and/or covenants that are on the property.**

Applications may be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN:Planning Department. For any questions contact 614-525-3094 or Planning@franklincountyohio.gov.





Tynetta O. Efferson
Notary Public, State of Ohio
Commission #: 2022-RE-855814
My Commission Expires 11-02-27



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Application for

Zoning Variance

Pursuant to Section 810
of the Zoning Resolution

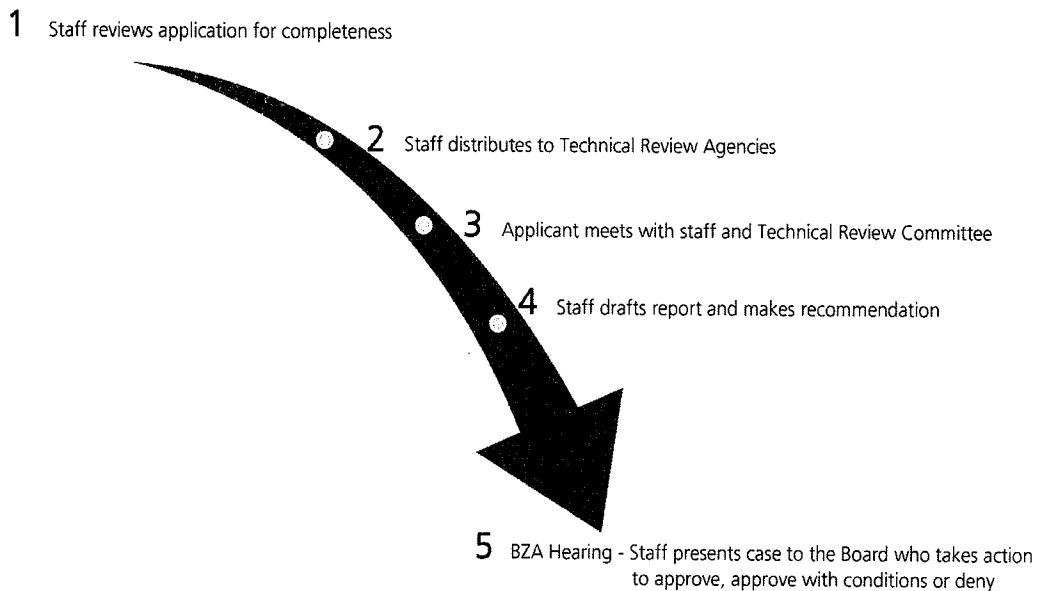
Page 6 of 7

Application Instructions

Please submit the following:

1. Application Form
Completed application form with notarized signatures
2. Fee - non refundable *Please refer to our most current fee schedule by visiting www.franklincountyohio.gov/edp
Checks only payable to *Franklin County Treasurer*
3. Covenants or deed restrictions
Provide a copy of your deed with any deed restrictions
You can access and print a copy by visiting: www.franklincountyohio.gov/recorder
4. Auditor's Tax Map
Provide a map showing the subject property and all land within 500 feet of the property.
You can access and print a copy of the map by visiting: www.franklincountyohio.gov/auditor
5. Site Map - Refer to Page 7
6. Proof of utility service
Provide proof from the provider of your water and wastewater services

Note: If centralized water and/or sewer services are provided by a private/public entity, you must provide a letter or current bill verifying that services are provided or access is available. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).

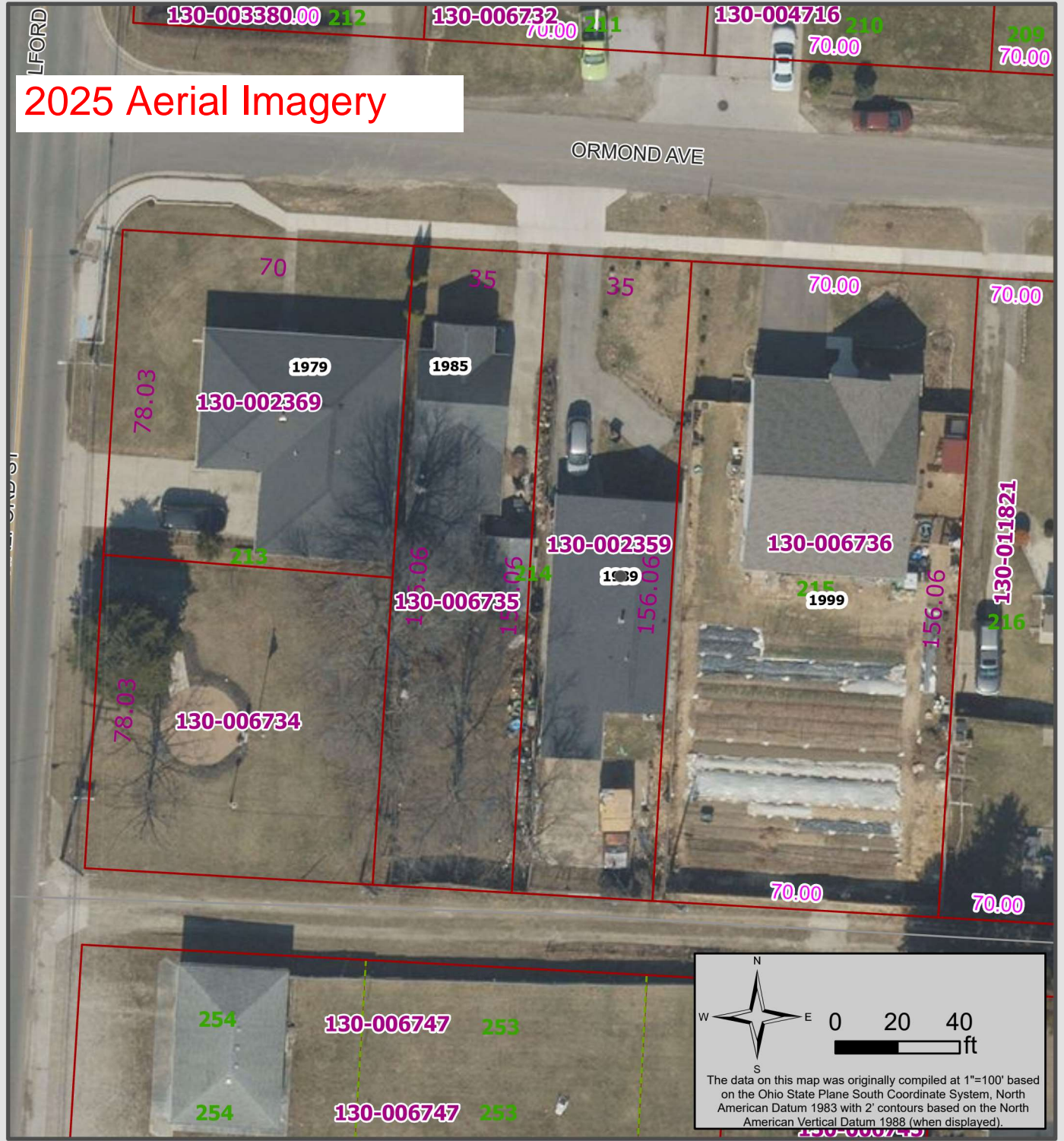




Site Plan Requirements

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) and include all items required under Sections 705.022 and 810.022 of the Franklin County Zoning Resolution
 - *Site plans which are incomplete and/or not drawn to scale will not be accepted.*
- Two (2) copies - minimum size of 8.5"x11" paper, maximum size of 11"x17" paper **Larger size copies are acceptable in addition to the min./max. sizes required*
- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines, with the exact dimensions of the lot labeled
- Street right-of-way boundaries including street centerline
- The exact dimensions and location of all existing buildings (principal and accessory), structures (decks, patios, pools, paved parking areas, courtyards, etc.) and driveways/access points, indicating setbacks of each from property lines with measurements/distances labeled
- The exact dimensions, height and location of all proposed buildings, structures, additions, or modifications to the property, indicating setbacks from property lines with measurements/distances labeled
- Landscaping details - provide the quantity, location, size and plant species (Ohio Native Non-Invasive Only) used
- All open space areas including calculations (percentage) of impervious vs. pervious surface
- Building elevations and/or architectural renderings
- Parking layout with required parking calculations provided
- Lighting details - location, type of fixture (illustration), height and strength (footcandles/lumens)
- Existing and intended uses of all buildings and structures
 - *If multiple uses are being conducted within one building, the site plan must reflect the area of the building being occupied by each individual use*
- All easements and above/below ground utilities
- Regulatory floodplain (Floodway and Floodway Fringe) and riparian setback boundaries, when applicable
- All existing and proposed above and below ground drainage and stormwater features
 - *Refer to the Franklin County Stormwater Drainage Manual*
- Site topography (two (2) ft. contour intervals)
- Details regarding the location, height, maintenance and screening for any existing or proposed trash dumpster
- Screening details - *Refer to Section 521 of the Franklin County Zoning Resolution*
- Provisions for water and sanitary services including the the exact location, dimensions and setbacks from property lines and structures of all private/public water and wastewater treatment facilities
 - *If public water and sewer services are provided, proof of services must be submitted*
- All areas of disturbance, including grading, filling, clearing, excavating, etc.
- Erosion and sediment control plan
- All fence locations, indicating height and material(s) used
- Any other information with regard to the lot or neighboring lots which may be necessary to determine and provide for the enforcement of the Franklin County Zoning Resolution
 - *Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion, the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed*

2025 Aerial Imagery



The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).

Franklin County Auditor's Office Auditor

Michael Stinziano
Map Produced April 21, 2026



Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Appraisal Legend

Source: Franklin County Auditor & Engineer

- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
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- Subdivision Boundary

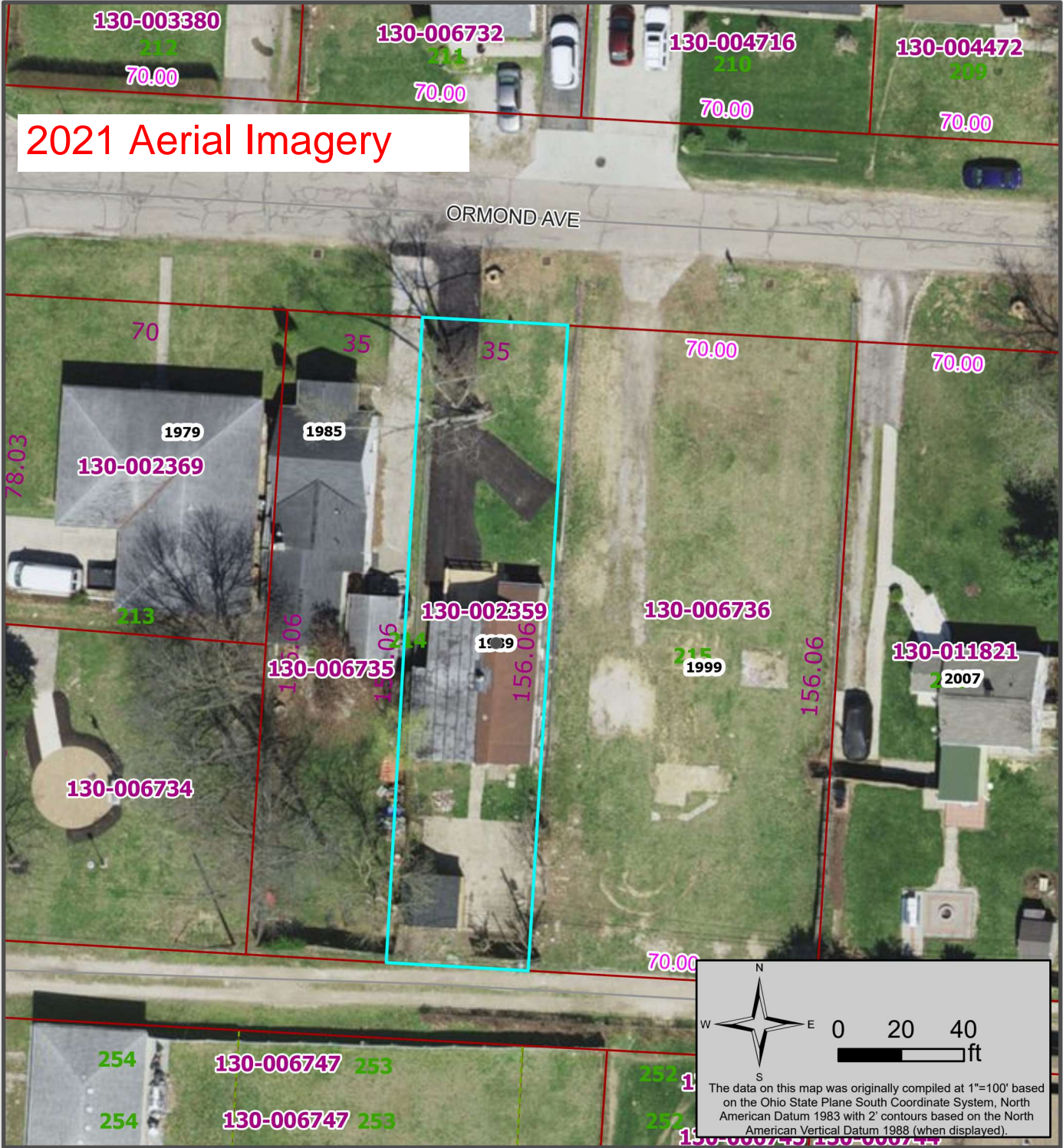
Topographic Legend

Source: OSIP - 2019 LIDAR Collection

- Condominium Boundary
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- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary
- Spot Elevation
- Index Contour
- Intermediate Contour

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2021 Aerial Imagery



Franklin County Auditor's Office Auditor

Michael Stinziano

Map Produced April 21, 2026



Planimetric Legend

Source: 2021 Aerial Photography

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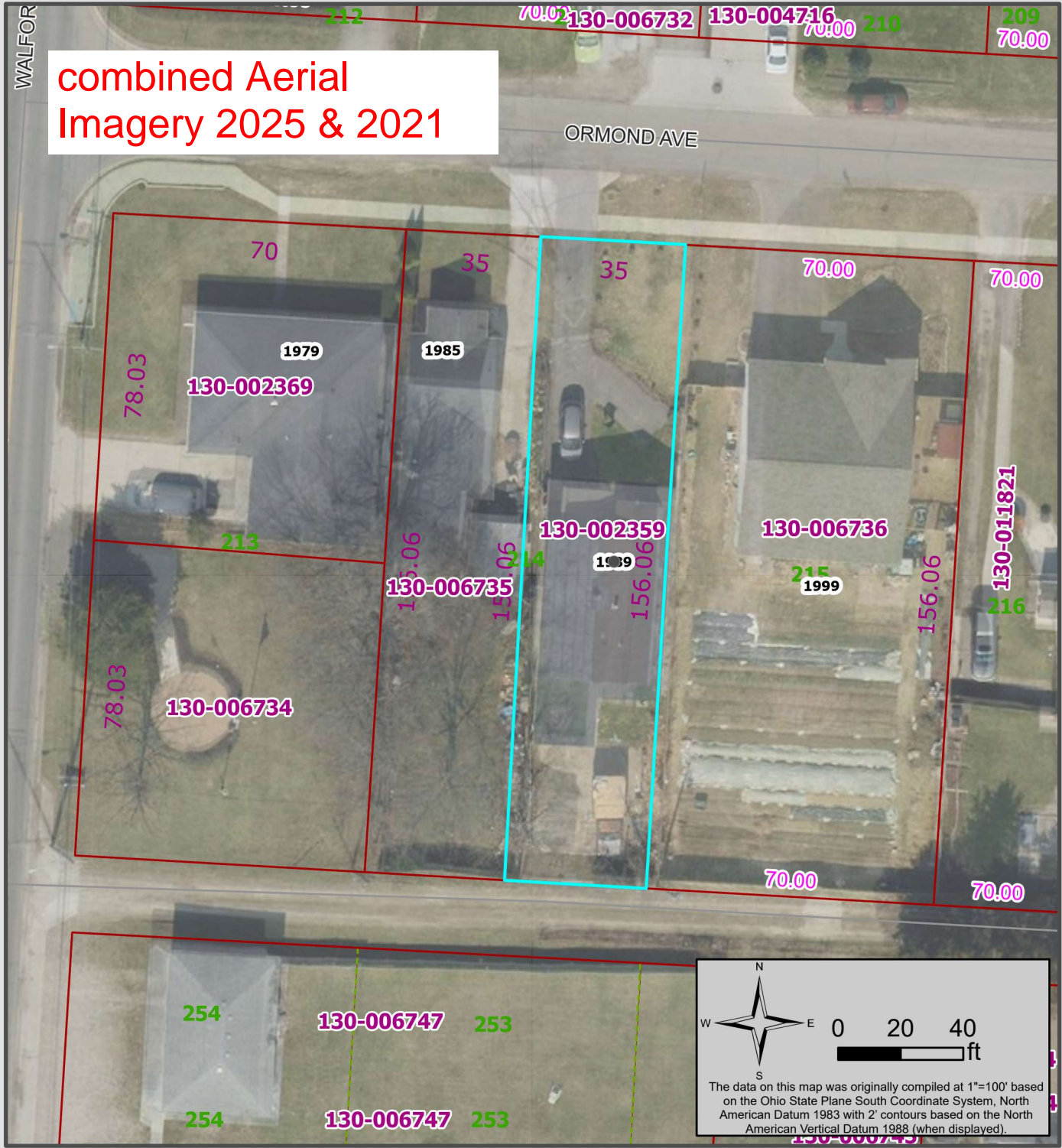
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WALFOR

combined Aerial Imagery 2025 & 2021



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Franklin County Auditor's Office Auditor

Michael Stinziano

Map Produced April 21, 2026



Planimetric Legend

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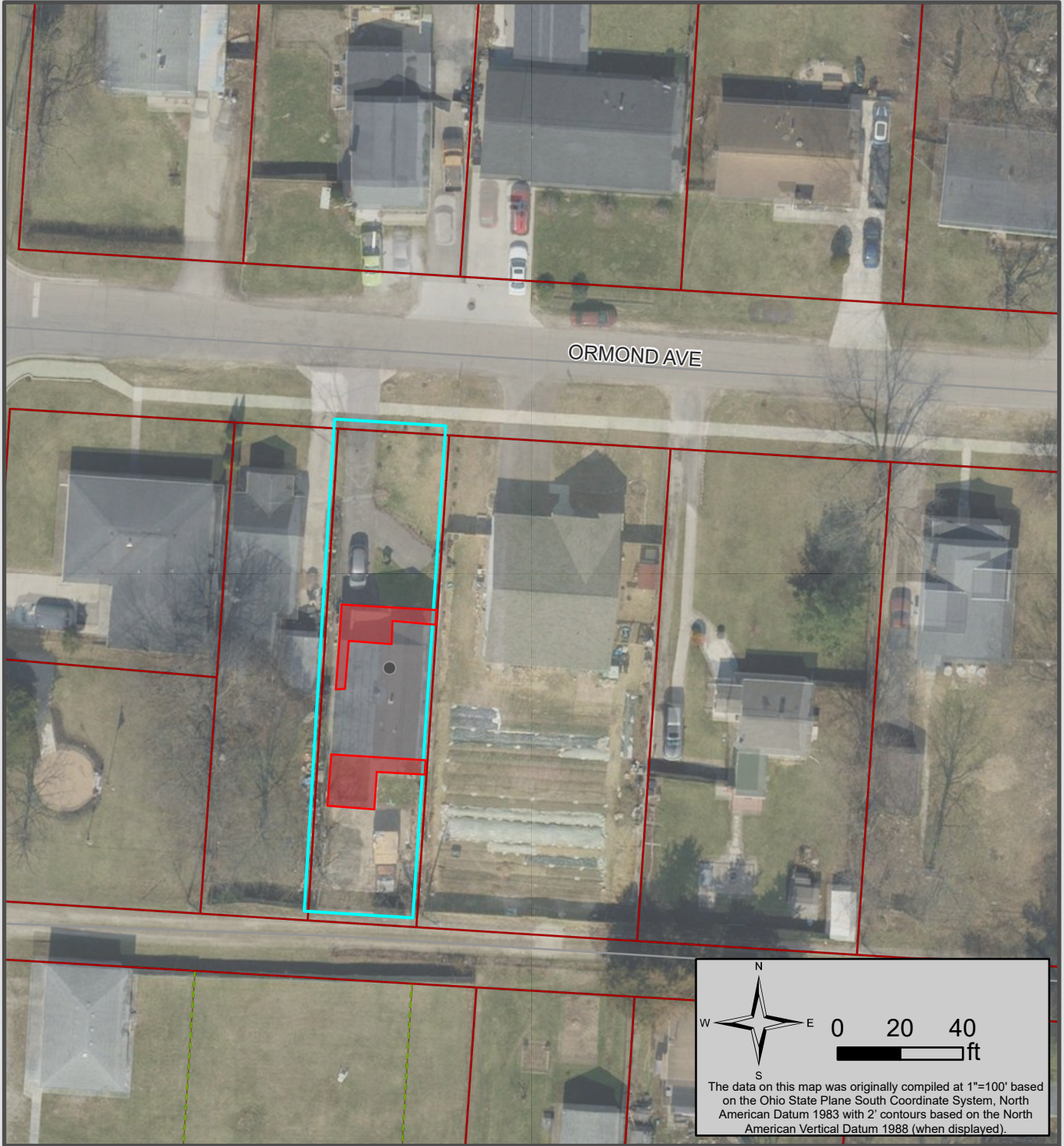
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Franklin County Auditor's Office Auditor

Michael Stinziano

Map Produced May 13, 2026



Planimetric Legend

Source: 2021 Aerial Photography

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RESIDENTIAL ZONING COMPLIANCE APPLICATION & SUBMITTAL INSTRUCTIONS

***Please review the following to ensure all forms are completed and required documents are provided PRIOR TO SUBMITTAL. Incomplete applications will not be accepted. Submittals are not complete and are not considered accepted until all required documents are provided, and fees are paid.**

****Forward any questions about application, site plan, and/or submittal options to 614-525-3094 or Planning@franklincountyohio.gov.**

1. **COMPLETED APPLICATION FORM** – Please confirm all application form requirements are complete.
 - a. Property Information (Site address, Parcel ID, Zoning District, Lot Acreage, Township)
 - b. Property Owner, Applicant, and/or Agent Information – All required Name(s), Phone Number(s), Email Address(es) of owner, applicant, and/or agent on behalf of the owner and/or applicant.
 - c. Proof of Public Water/Wastewater Service (when applicable). A utility bill may be provided.
 - d. Complete all ‘Project Descriptions’ and/or questions (if applicable).
 - e. Mark all checklist boxes on application form to confirm all required documents have been provided.
 - f. Provide Owner/Applicant Signature (and notary if required)

2. **COMPLETED SITE PLAN/SURVEY**
 - a. Confirm ALL Site Plan/Survey requirements have been provided.
 - i. Refer to Plan/Survey checklist in application packet for general requirements.
 - ii. Requirements may vary.
 - iii. Contact Planning Department to confirm specific site Plan/Survey requirements.
 - b. Missing items may cause the application to be rejected until the required information is provided and confirmed by Staff.

3. **APPLICATION SUBMITTAL**
 - a. Applications for Certificates of Zoning Compliance Applications may be submitted online at: <https://co-franklin-oh.smartgovcommunity.com/ApplicationPublic/ApplicationHome>.
 - b. All other applications should be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104.

4. **TECHNICAL REVIEW COMMITTEE REFERRAL**
 - a. Applications must comply with applicable local and state requirements and regulations. These may include, but are not limited to, the Franklin County Public Health Regulations, Franklin County Sanitary Engineer requirements, Franklin County Drainage Engineer requirements, Franklin County Engineer requirements.
 - b. Referral agencies must confirm compliance with applicable regulations prior to approval.
 - c. Additional permits may be required from the Townships for access or from technical review agencies.



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
**Certificate of
Zoning Compliance**
Residential Construction
Page 1 of 3

Property Information

Site Address: 1989 Ormond Ave Columbus Ohio 43224

Parcel ID(s): 130-002359	Zoning District: R-12
Lot Acreage: 0.12	Township: Clinton

Property Owner Information

Name: Juan Francisco Banegas Oliva

Address: 1989 Ormond Ave Columbus Ohio 43224

Phone # [REDACTED] Fax #

Email: [REDACTED]

Applicant Information

Name:

Address:

Phone # Fax #

Email:

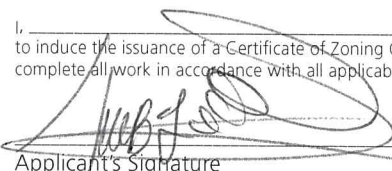
Same as property owner

Development Proposal

<input type="checkbox"/> New Residence	<input type="checkbox"/> Room Addition
<input checked="" type="checkbox"/> Patio/Deck	<input type="checkbox"/> Swimming Pool
<input type="checkbox"/> Detached structure (pole barn, shed, etc.)	<input type="checkbox"/> Home Occupation
<input type="checkbox"/> Pond	<input type="checkbox"/> Driveway, parking pad, etc.
<input type="checkbox"/> Interior remodel, fire rehab, etc.	<input type="checkbox"/> Land Disturbance (grading, filling, etc.)
<input checked="" type="checkbox"/> Roofing, siding and/or window replacement	<input type="checkbox"/> Minor Subdivision (lot split, etc.)
<input type="checkbox"/> Community Garden	<input type="checkbox"/> Apiaries
<input type="checkbox"/> Other (please describe):	

Applicant Signature

I, _____ (Print Name), hereby certify that all information provided is true and accurate and is submitted to induce the issuance of a Certificate of Zoning Compliance. I agree to be bound by all provisions of the Franklin County Zoning Resolution. I further agree to complete all work in accordance with all applicable Federal, State and local laws and regulations.


Applicant's Signature

Staff Use Only

RZ#26-090

Date Filed: **04/21/2026**

Fee Paid: **\$75.00**

Receipt: # **26-01069**

Received By: **Austin W.**

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Supply

- Public (Central)
- Private (On-site)
- Other

Submittal Checklist

- Completed Application Form
- Fee Payment (check/money order only)
- Site Plan (max. 11"x17") see pg. 2
- Proof of Public Water/Wastewater
- Supporting Documents (Home Occupation, Pond, Apiaries, etc.)

4-21-2026
Date



Site Plan Requirements

*** Site plans which are incomplete and/or not drawn to scale will not be accepted***

- **Preparation & Submittal**

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) for all new home builds, accessory buildings larger than 200 ft², any project involving grading work within 30 ft of a lot line, and any other project deemed necessary by the Administrative Officer as provided for in Section 705.022 of the Franklin County Zoning Resolution
- Two (2) copies: Minimum size = 8.5" x 11" paper, Maximum size = 22" x 34" paper
 - Plans larger than 11" x 17" must be accompanied by a digital copy in PDF format

- **Basic Content**

- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines labeled with dimensions. (Dimensions must be precise to 0.01' for professionally prepared plans and 1' for personally prepared plans.)
- Street right-of-way boundary and street centerline

- **Show all existing site conditions (label as "Existing"):**

- Location and dimensions of all existing buildings, structures* and landscaping
- Driveways, parking pads and other parking areas labeled with the dimensions and associated surface material
- On-site water and sanitary system location and dimensions. Provide proof of public water and/or sewer otherwise
- Existing use(s) of all buildings with associated gross floor area (GFA)
- All easements and utilities (*above and below ground*). Easement information available at the County Recorder's office.
- Existing above and below ground drainage and stormwater features

**Structures may include but are not limited to swimming pools, ponds, sports courts, patios, porches, decks, overhangs and fences*

- **Show all proposed development (label as "Proposed"):**

- Location and dimensions of all proposed buildings, structures, additions, modifications to buildings/structures, and geothermal systems.
- Setback distance of all proposed development from the house, street centerline and all property lines
- Building elevations and/or architectural renderings (*if applicable*)
- Impervious surface locations and dimensions with total lot coverage calculations provided
- Grading and drainage plan showing proposed above and below ground drainage and stormwater features. (existing and proposed 1' contours, and discharge outlets for downspouts, sump pumps and discharging geothermal systems)
- Area (ft²) of disturbance (i.e. grading, filling, clearing and excavating, etc.) drawn and labeled
- Label buildings and/or structures to be demolished or removed (TBR) from the property

- **Additional Content**

- Regulatory floodplain and riparian setback boundaries (*if applicable*)
- Erosion and sediment control plan (*if applicable*)

Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed.



Certificate of Zoning Compliance

Residential Construction

Page 3 of 3

RZ# 26-90

Staff Use Only

Development Standards

Zoning District:	R-12	
Subdivision Name	Elmore Add.	
Non-Conforming:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Floodplain:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Riparian Setbacks:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
VA/CU Required:	<input type="checkbox"/> Yes, Case #:	<input checked="" type="checkbox"/> No

	Required	Proposed
Lot Width:	50 ft	35 ft
Road Frontage:	50 ft	35 ft
Lot Area:	0.13 acre/s	0.12 acre/s
Lot Coverage:	35 %	46.66%
Front Yard:	50 ft	83.8 ft
Side Yard (Left)*:	5 ft	5.5 ft
Side Yard (Right)*:	5 ft	1 ft
Rear Yard:	30 ft	36 ft
Distance from house	ft	ft
Building Height:	ft	ft
Parking Setback:	ft	ft

*As viewed from the street

Area Calculations

Principal Structure:	1,240.87ft ²
Accessory Structure:	ft ²
Accessory Structure:	ft ²
Accessory Structure:	825.41ft ²
Proposed Structure:	163.85ft ²
Proposed Structure:	243.73ft ²
Area of Disturbance:	0.056 acre/s

Technical Agencies

Public Health/OEPA	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
County Engineer	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
FSWCD	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
ODOT	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		

Staff Action

Approved Approved with Conditions Denied

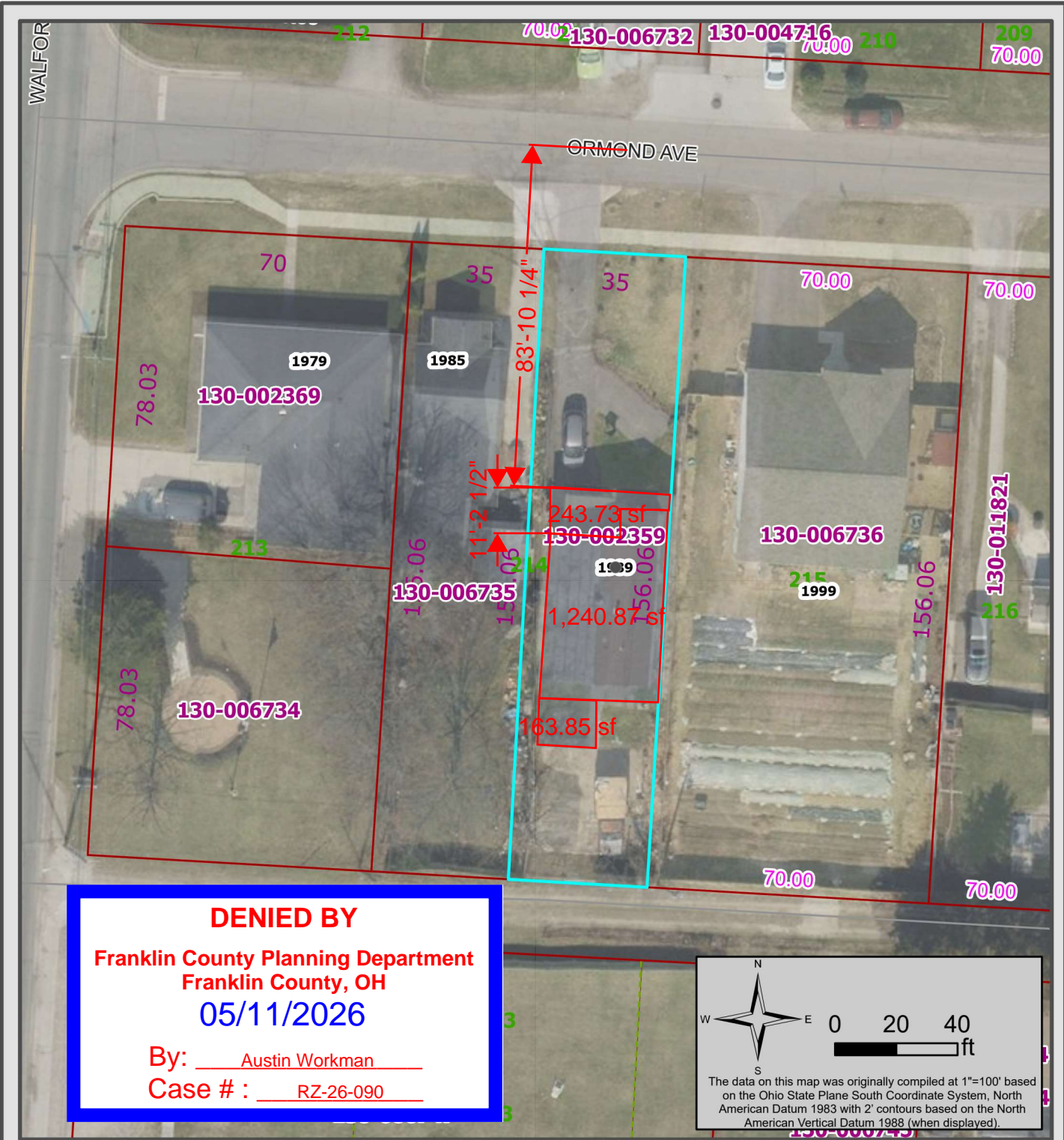
Austin Workman
Signature

05/11/2026
Date

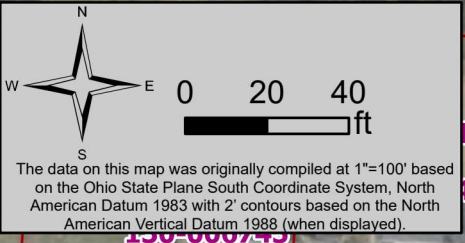
Comments/Conditions of Approval

Over the Maximum lot coverage of 35% per section 315.041(d)

Does not meet the minimum setback of 5 ft from side property lines per section 315.043



DENIED BY
Franklin County Planning Department
Franklin County, OH
05/11/2026
 By: Austin Workman
 Case #: RZ-26-090



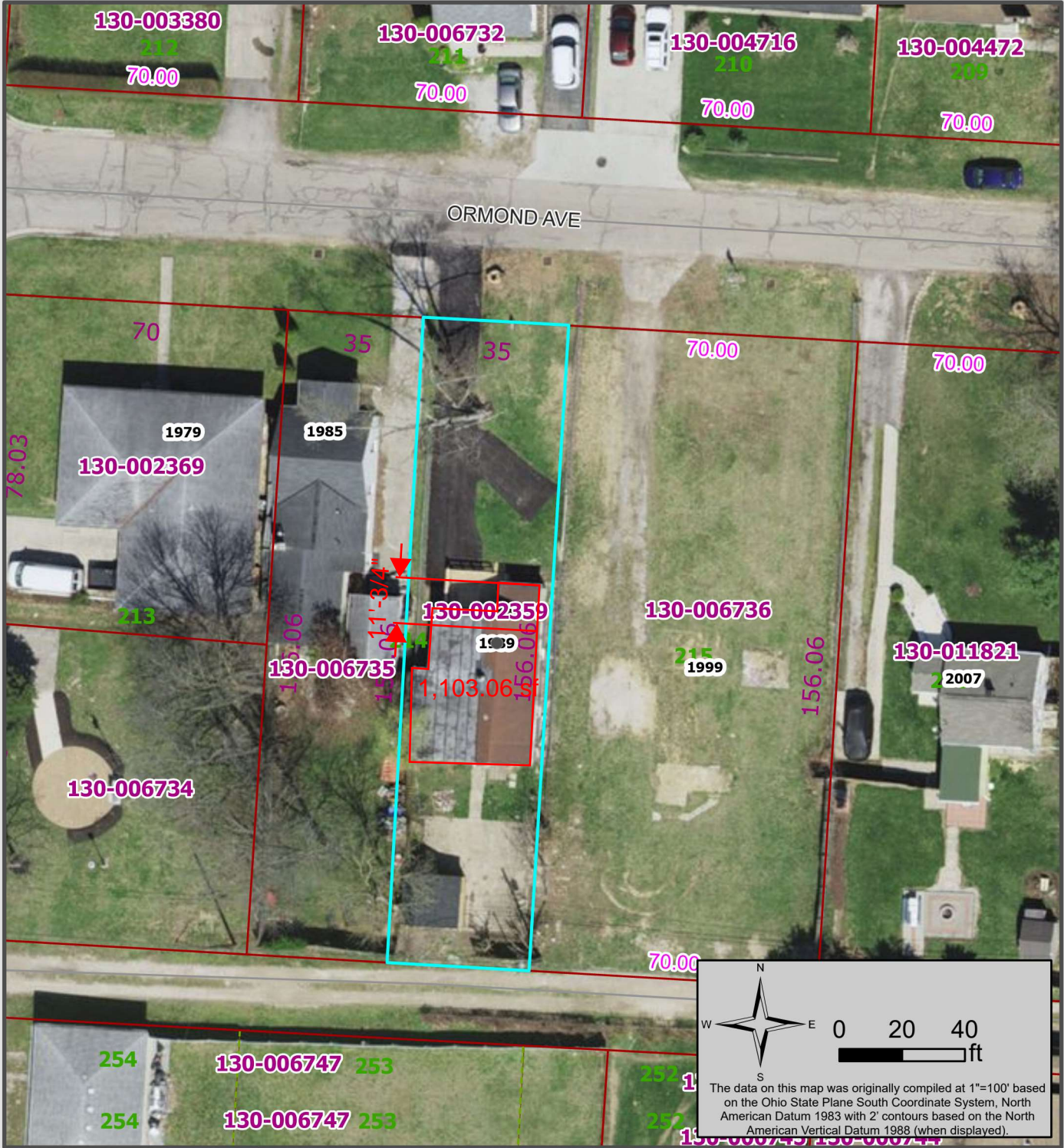
Franklin County Auditor's Office
Auditor
Michael Stinziano
 Map Produced April 21, 2026

- Planimetric Legend**
 Source: 2021 Aerial Photography
- Edge of Pavement
 - Roadway Centerlines
 - Railroad Centerlines
 - Building Footprints
 - Building Under Construction
 - Creeks, Streams, Ditches
 - Rivers & Ponds

- Appraisal Legend**
 Source: Franklin County Auditor & Engineer
- Parcel IDs
 - Parcel Dimensions
 - Lot Numbers
 - Site Address
 - Parcel Boundary
 - Subdivision Boundary

- Topographic Legend**
 Source: OSIP - 2019 LIDAR Collection
- Condominium Boundary
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Michael Stinziano

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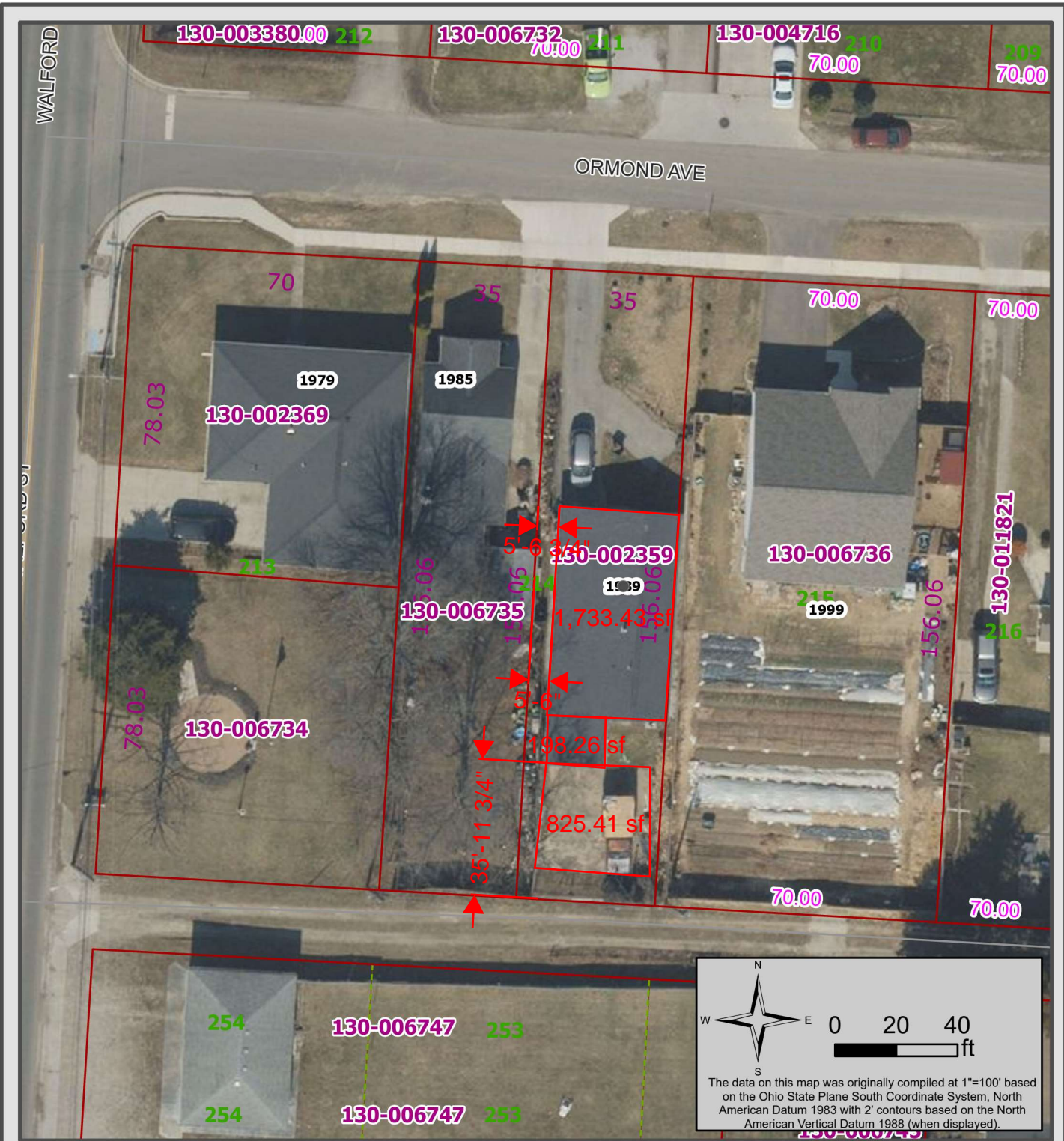
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AREA/USE VARIANCE SUBMITTAL INSTRUCTIONS

***Please review the following to ensure all submittal requirements are provided. Incomplete submittals will not be accepted. Submittals are not complete and are not considered accepted until all required documents are provided, and fees are paid.**

****Forward any questions about application, site plan, and/or submittal options and requirements to 614-525-3094 or Planning@franklincountyohio.gov.**

1. **COMPLETED APPLICATION FORM** – Please confirm all application form requirements are complete.
 - a. Include all Property, Owner, Applicant, and Agent Information
 - i. Site address, Parcel ID, Acreage, Township, Zoning District
 - ii. Name(s) Address(es), Phone Number(s), Email Address(es)
 - b. Mark all checklist boxes on application form to confirm all required documents have been provided.
 - c. Describe the Variance requested and list the relevant section(s) of the Zoning Resolution
 - d. Provide a detailed description of the project
 - e. Provide detailed answers to the Variance questions 1 – 12.

2. **COMPLETED SITE PLAN**
 - a. Confirm ALL Site Plan requirements have been provided.
 - i. Refer to Plan checklist in application packet for general requirements.
 - ii. Requirements may vary depending on the proposed use and/or site conditions.
 - iii. Contact Planning Department to confirm site specific plan requirements.
 - b. Missing items may cause the application to be rejected until the required information is provided and confirmed by Staff. (Refer to checklist in application)

3. **APPLICATION SUBMITTAL**
 - a. Applications should be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104.
 - b. Incomplete applications may be rejected and/or returned to the owner/applicant.
 - c. Complete applications must be received by noon on the 2nd Thursday of each month to be scheduled for the Board of Zoning Appeals (BZA) hearing on the 3rd Monday of the following month. Confirm with Planning Department for monthly hearing schedules.

4. **TECHNICAL REVIEW COMMITTEE REFERRAL**
 - a. Applications must comply with applicable local and state requirements and regulations. These may include, but are not limited to, the Franklin County Public Health Regulations, Franklin County Sanitary Engineer requirements, Franklin County Drainage Engineer requirements, Franklin County Engineer requirements.
 - b. Referral agencies must confirm compliance with applicable regulations prior to approval.
 - c. Additional permits may be required from the Townships for access or from technical review agencies.



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Zoning Variance

Pursuant to Section 810
of the Zoning Resolution
Page 1 of 7

Property Information

Site Address: 3377 Cemetery Rd. Hilliard, OH 43026

Parcel ID: 200-000696-00	Zoning District:
Lot Acreage: 2.823	Township: Norwich

Property Owner Information

Name: 3377 CEMETERY LLC

Address: 3377 Cemetery Rd. Hilliard, OH 43026

Phone # [REDACTED] Fax #

Email: [REDACTED]

Applicant Information

Same as property owner

Name: Eric Bahgat

Address: 3377 Cemetery Rd. Hilliard, OH 43026

Phone # [REDACTED] Fax #

Email: [REDACTED]

Agent Information

Name:

Address:

Phone # Fax #

Email:

Staff Use Only

Case # VA-4166

Date Filed: 05/13/26

Received By: Austin W.

Fee Paid: \$ 350.00

Receipt Number: 26-01377

Hearing Date: 6/15/26

Technical Review: 05/20/26

Zoning Compliance #: RZ-26-100

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

Water & Wastewater

Water Supply

- Public (Central)
- Private (On-site)
- Other

Wastewater Treatment

- Public (Central)
- Private (On-site)
- Other



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Zoning Variance

Pursuant to Section 810
of the Zoning Resolution
Page 2 of 7

Case# VA-

Variance(s) Requested

Section: 512.02(2)(Table)

Description: Height, setback and size for barn

Section:

Description:

Section:

Description:

Description of the property

I would like to replace my existing barn in the same location but increase the size to accommodate a pontoon boat and extra storage for kids toys etc. (height needed for larger garage door and head height)

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The property has unique site limitations due to the location of the existing residence, driveway configuration, existing accessory structure placement, and the overall layout of the parcel. While the parcel is approximately 2.8 acres, the practical buildable area for an appropriately located accessory structure is constrained by setbacks, existing improvements, drainage considerations, and maintaining usable open space. The proposed location minimizes impact to the surrounding property and preserves the functionality of the lot.



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

The proposed location was selected to avoid disturbance to the existing drainage patterns, mature trees, and to maintain existing driveway access already in place from many years. Yes. Many similarly sized rural-residential properties within the township contain accessory structures used for vehicle storage, equipment storage, hobby space, and general residential purposes. Strict application of the current setback and cumulative square footage limitations would prevent reasonable use of the property that is consistent with neighboring properties and the rural-residential character of the area.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.
No. The conditions are primarily related to the existing configuration of the property, including the placement of the residence, driveway access, lot dimensions, and existing improvements. The applicant did not create these physical constraints.

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.
No. The request is intended only to allow reasonable residential use of the property comparable to similar properties in the area. The variance would not create a commercial or intensive use, nor would it provide an unfair advantage over neighboring properties.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?
No. The proposed structure will comply with all applicable building, fire, drainage, and safety requirements. The building is intended for personal residential accessory use only. The proposed location and design will not create traffic, noise, drainage, or safety concerns for surrounding properties.

6. Can there be any beneficial use of the property without the variance?
Yes, the property can still be used residentially; however, without the variance the owner would be deprived of a reasonable and customary accessory structure that is compatible with the size and character of the property and surrounding area.

We currently use the property with a barn and have benefits to it's current use that would be applicable with the new barn in it's place



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Zoning Variance
Pursuant to Section 810
of the Zoning Resolution
Page 4 of 7

Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

The setback variance requested is relatively minor in nature (same location of existing barn), ~~consisting of an 8-foot reduction from the required 20-foot setback to a proposed 12-foot setback.~~ The square footage variance is also modest in relation to the size of the property and is necessary to accommodate a functional accessory structure while maintaining appropriate spacing and open area on the lot. This also maintains the open view to the pasture owner currently has.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No. The proposed structure is consistent with the rural-residential character of the area where accessory buildings are common. The structure will be residential in appearance and use, and adjoining properties will not suffer substantial harm as a result of the variance. There are very large trees (70+ feet between the barn

and neighboring home. The neighbor has no issues with the new barn and has supplied a letter of fact.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

The variance would not adversely affect governmental services. Existing access for emergency vehicles will remain adequate, and the proposal will not negatively impact water, sewer, drainage, police, fire, or refuse services. (existing barn has driveway access)

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

The applicant understood the property was subject to zoning regulations; however, the practical limitations created by the combined setback and cumulative square footage requirements were not fully apparent until the project planning and zoning review process occurred.

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

Alternative layouts and configurations were evaluated; however, they would create operational difficulties, reduce usable yard area, negatively impact driveway access, or place the structure in a less appropriate location on the property. The requested variances represent the most reasonable and least impactful solution.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes. The intent of the zoning regulations is to ensure orderly development, maintain neighborhood character, and protect surrounding properties. The proposed accessory structure remains consistent with those goals. Granting the variance would allow reasonable use of the property while preserving the overall intent of the zoning resolution.



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Zoning Variance
Pursuant to Section 810
of the Zoning Resolution
Page 5 of 7

Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Eric Bahgat
Applicant/Authorized Agent *

5/13/26
Date

Eric Bahgat
Property Owner (signature must be notarized)

5/13/26
Date

Property Owner (signature must be notarized)

Date

- *Agent must provide documentation that they are legally representing the property owner.
- **Approval does not invalidate any restrictions and/or covenants that are on the property.

Applications may be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN:Planning Department. For any questions contact 614-525-3094 or Planning@franklincountyohio.gov.



Rebecca Wilson
Notary Public, State of Ohio
My Commission Expires 09-21-2027

5/13/26

Rebecca Wilson - notary
exp. 9/21/2027

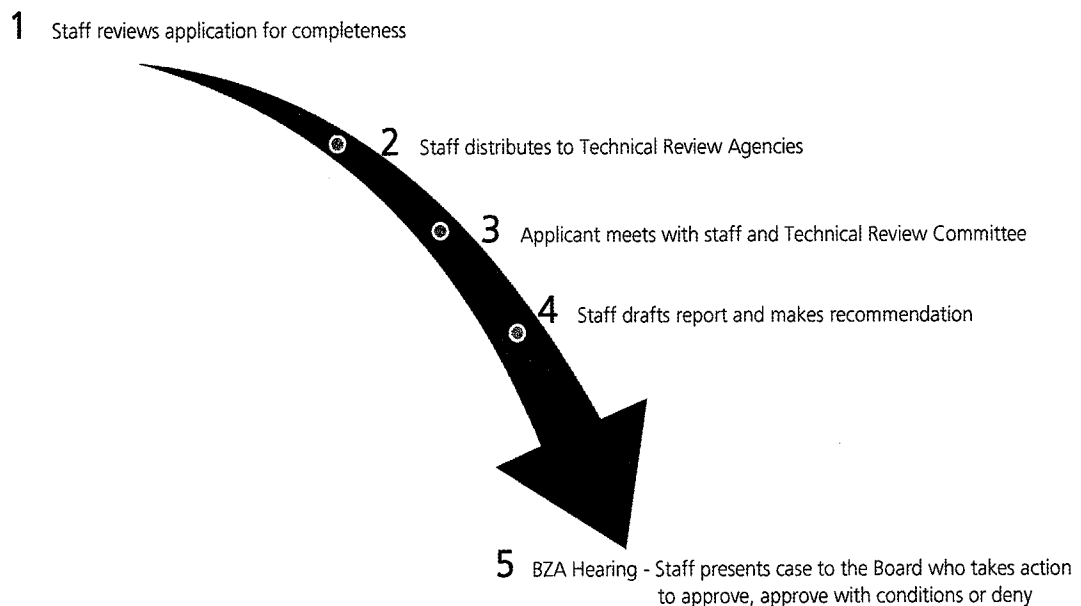


Application Instructions

Please submit the following:

1. Application Form
Completed application form with notarized signatures
2. Fee - non refundable *Please refer to our most current fee schedule by visiting www.franklincountyohio.gov/edp
Checks only payable to *Franklin County Treasurer*
3. Covenants or deed restrictions
Provide a copy of your deed with any deed restrictions
You can access and print a copy by visiting: www.franklincountyohio.gov/recorder
4. Auditor's Tax Map
Provide a map showing the subject property and all land within 500 feet of the property.
You can access and print a copy of the map by visiting: www.franklincountyohio.gov/auditor
5. Site Map - Refer to Page 7
6. Proof of utility service
Provide proof from the provider of your water and wastewater services

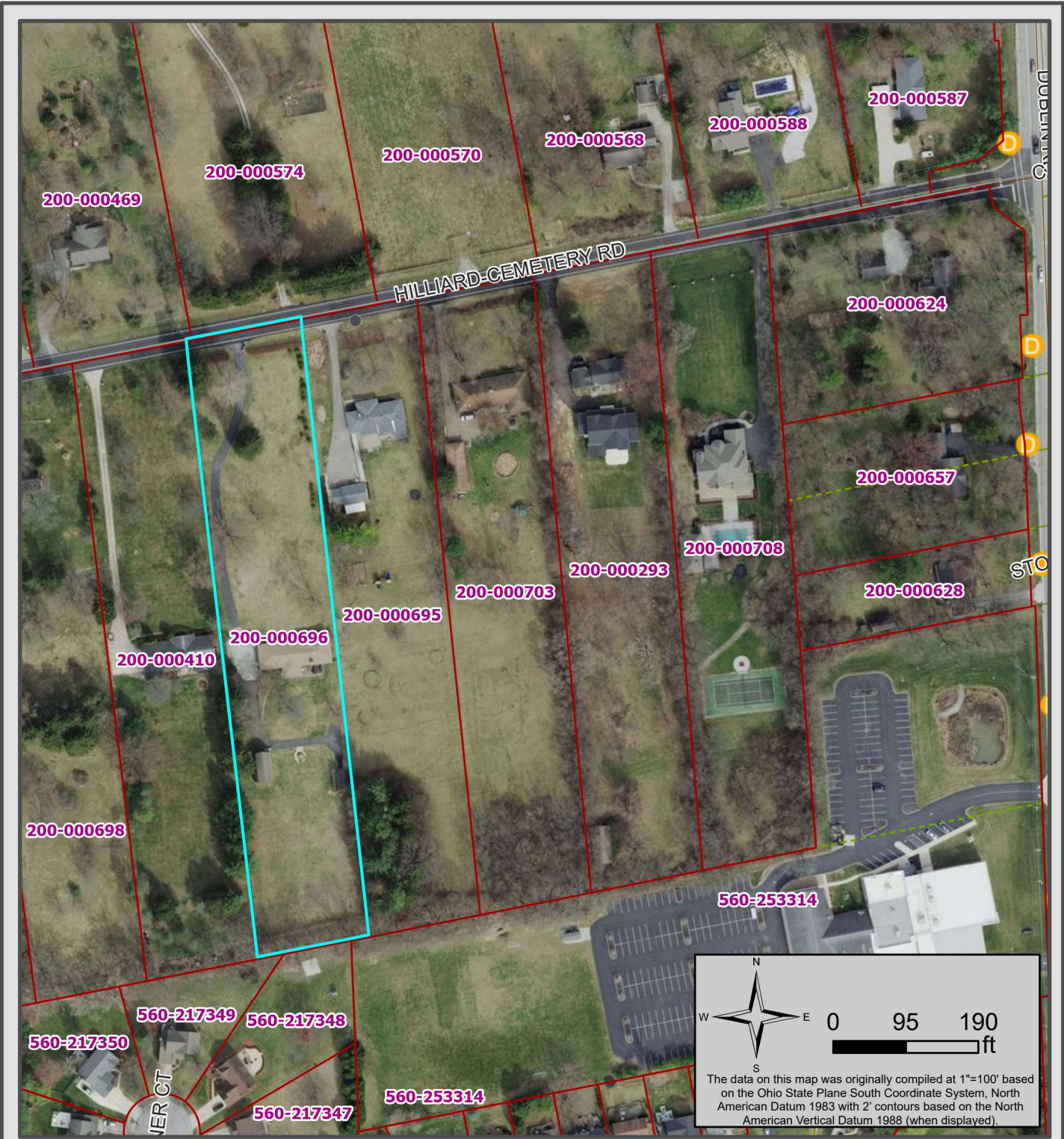
Note: If centralized water and/or sewer services are provided by a private/public entity, you must provide a letter or current bill verifying that services are provided or access is available. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).





Site Plan Requirements

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) and include all items required under Sections 705.022 and 810.022 of the Franklin County Zoning Resolution
 - *Site plans which are incomplete and/or not drawn to scale will not be accepted.*
- Two (2) copies - minimum size of 8.5"x11" paper, maximum size of 11"x17" paper **Larger size copies are acceptable in addition to the min./max. sizes required*
- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines, with the exact dimensions of the lot labeled
- Street right-of-way boundaries including street centerline
- The exact dimensions and location of all existing buildings (principal and accessory), structures (decks, patios, pools, paved parking areas, courtyards, etc.) and driveways/access points, indicating setbacks of each from property lines with measurements/distances labeled
- The exact dimensions, height and location of all proposed buildings, structures, additions, or modifications to the property, indicating setbacks from property lines with measurements/distances labeled
- Landscaping details - provide the quantity, location, size and plant species (Ohio Native Non-Invasive Only) used
- All open space areas including calculations (percentage) of impervious vs. pervious surface
- Building elevations and/or architectural renderings
- Parking layout with required parking calculations provided
- Lighting details - location, type of fixture (illustration), height and strength (footcandles/lumens)
- Existing and intended uses of all buildings and structures
 - *If multiple uses are being conducted within one building, the site plan must reflect the area of the building being occupied by each individual use*
- All easements and above/below ground utilities
- Regulatory floodplain (Floodway and Floodway Fringe) and riparian setback boundaries, when applicable
- All existing and proposed above and below ground drainage and stormwater features
 - *Refer to the Franklin County Stormwater Drainage Manual*
- Site topography (two (2) ft. contour intervals)
- Details regarding the location, height, maintenance and screening for any existing or proposed trash dumpster
- Screening details - *Refer to Section 521 of the Franklin County Zoning Resolution*
- Provisions for water and sanitary services including the the exact location, dimensions and setbacks from property lines and structures of all private/public water and wastewater treatment facilities
 - *If public water and sewer services are provided, proof of services must be submitted*
- All areas of disturbance, including grading, filling, clearing, excavating, etc.
- Erosion and sediment control plan
- All fence locations, indicating height and material(s) used
- Any other information with regard to the lot or neighboring lots which may be necessary to determine and provide for the enforcement of the Franklin County Zoning Resolution
 - *Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion, the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed*



Franklin County Auditor's Office
Auditor

Michael Stinziano

Map Produced May 13, 2026



Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Appraisal Legend

Source: Franklin County Auditor & Engineer

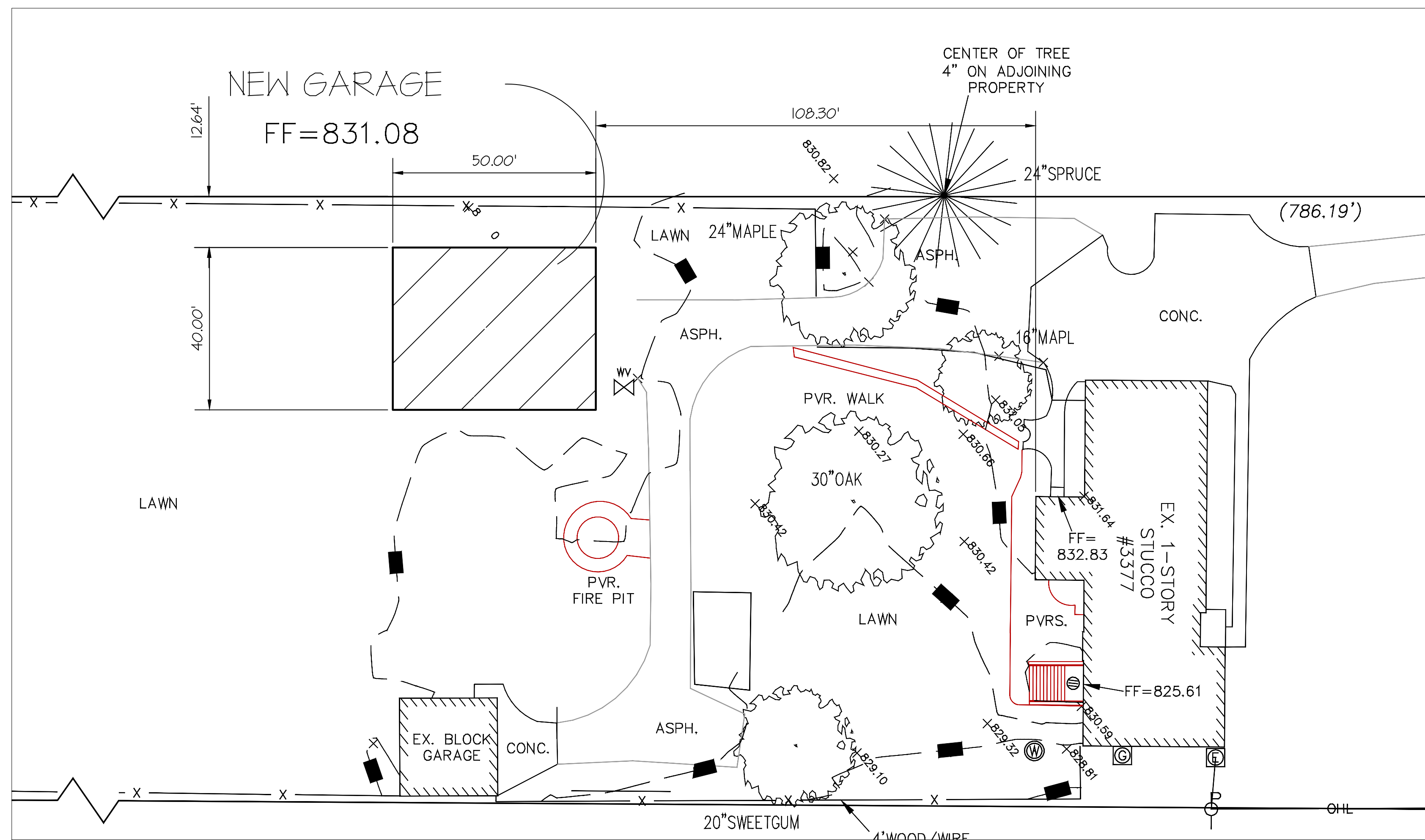
- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary

Topographic Legend

Source: OSIP - 2019 LIDAR Collection

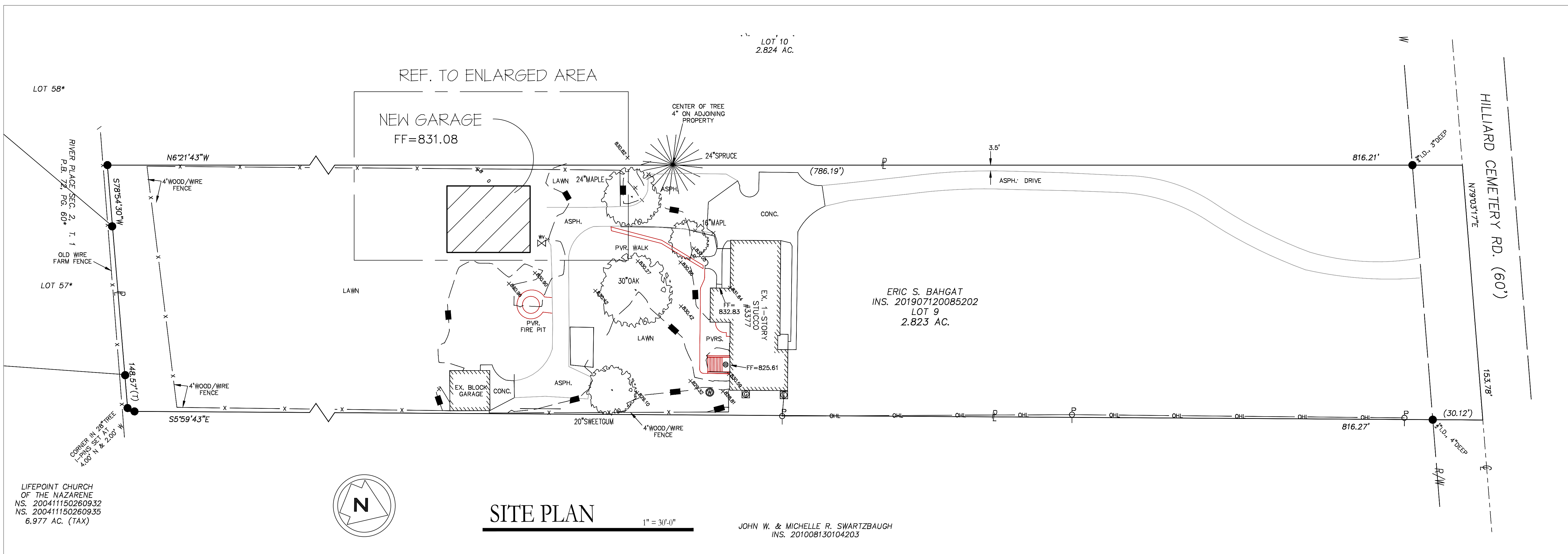
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary
- Spot Elevation
- Index Contour
- Intermediate Contour

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ENLARGED SITE PLAN

1" = 20'-0"



SITE PLAN

1" = 30'-0"

JOHN W. & MICHELLE R. SWARTZBAUGH
INS. 201008130104203

LIFEPPOINT CHURCH
OF THE NAZARENE
NS. 200411150260932
NS. 200411150260935
6.977 AC. (TAX)



PRELIMINARY
ONLY FOR REVIEW BY HOME OWNER -
NOT THE FINISHED PRODUCT

ESTIMATING
COMPARE PRICES FOR CONSTRUCTION

CONSTRUCTION
FOR BUILDING PURPOSES

Bahgat Garage

© COPYRIGHT 2026
ALL DRAWINGS ARE AND SHALL REMAIN
THE PROPERTY OF CHATEAU DESIGNS
AND MAY NOT BE USED, DUPLICATED
OR ALTERED WITHOUT THE WRITTEN
CONSENT OF CHATEAU DESIGNS

DISCLAIMER NOTE:
WHOM EVER USES THESE PLANS
AGREE TO THE FOLLOWING:
RM DESIGNER HOMES WILL NOT
ASSUME LIABILITY FOR ANY DAMAGES
DUE TO ERRORS, OMISSIONS,
OR DEFICIENCIES ON THESE PLANS.
OWNER OR BUILDER MUST COMPLY
WITH ALL LOCAL BUILDING CODE PRIOR
TO COMMENCEMENT OF ANY WORK.

DATE: 4/16/20261
REVISED:

SHEET #

SPECIFICATIONS

GENERAL NOTES

- Dimensional lumber used for all framing, except trusses, studs, sole plates, and cap plates shall be **SPURCE FINE** Fir No. 2 or better, (North).
- Areas to receive tile or marble floors may need to be stiffened beyond minimum code requirements to prevent cracking - builder and installer shall determine size.
- Dimensional lumber used for wall studs, sole plates, and cap plates shall be **SPURCE FINE** Fir No.2 or better, (North).
- All dimensional lumber shall have a maximum moisture content of 19%.
- Where the term "G & N" is noted on the plan set it means glue and nail. Gluing shall conform to the information stated below. Nailing shall apply enough clamping force to hold the glued mating surfaces in contact until the glue attains full strength.
- Where gluing of wood members is specified the glue that is to be used is **Titebond Construction Adhesive** as manufactured by Franklin International or equal.
- Where gluing is specified it shall be completed as follows:
 - Place continuous beads(s) of glue on one of the surfaces to be glued.
 - Nail so that surfaces are held tightly together until glue attains full strength.
 - Wipe away any excess glue which is expelled if its appearance will be unacceptable in the finished structure.
- The following fastening schedule outlines the minimum requirements and the current code in conjunction with the complete fastening schedule in the current code.
 - Sub floor joists: Fasten with glue and 16d RSN @ 6" c/c.
 - Sole plates to sub floor: glue and 16d CUN @ 6" c/c.
 - Studs to sole plate: Fasten with 2-16d CUN.
 - Studs to cap plates: Fasten with 2-16d CUN.
 - Structural and plate-screws: 2-10d CUN @ 6" c/c.
 - Roof sheathing to trusses: 8d CUN @ 4" c/c.
 - Roof trusses to walls: Simpson Strong-Tie anchor H2.3.
 - Multiple 2x limits: G & N with 16d CUNs as required.
 - Multiple LVL beams: Fasten per manufacturer recommendations.
 - Roof trusses to LVL: Simpson Anchor H2.0.
- Where "LVL", "LVL" or "PAL" is noted on the drawings the products used must meet the following criteria:
 - MICROLAM (LVL) M.O.E. + 1,800,000 psi.
 - FIBERGLASS (LVL) M.O.E. + 1,300,000 psi.
 - FIBERGLASS (LVL) M.O.E. + 1,300,000 psi.
 - FIBERGLASS (LVL) M.O.E. + 1,300,000 psi.
 - FIBERGLASS (LVL) M.O.E. + 1,300,000 psi.
 - FIBERGLASS (LVL) M.O.E. + 1,300,000 psi.
- For all elements of construction not specifically noted on these drawings shall comply with the Local Governing Codes, Requirements, and Regulations.
- Steel "I" beams shall be ASTM A992, Fy 50k.s.i.
- Schedule 40 pipe columns shall be ASTM A53, Fy 35 k.s.i.
- APPLICABLE ONLY WHERE IT IS REQUIRED BY LOCAL CODE

WALL CONSTRUCTION

- All structural members shall be fastened in accordance with chapter 6 of the building code in effect.
- Engineered data sheets for built-up beams shall be provided prior to framing inspection.
- All headers in exterior walls to be (2) 2x8 U.N.C. On plans.
- Fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) to form an effective fire barrier between stories, and between a top story and the roof space.
- All wind shear bracing shall be as shown on floor plans see coded note.
- Masonry veneer shall be anchored to the supporting wall with corrosion resistant metal ties.
- Each tie shall be spaced not more than 32" on center horizontally and shall support not more than 2.13 sq. Ft. of wall area.
- The veneer shall be separated from the sheathing by an air space of a minimum of 1" but not more than 1 1/2".
- Flashing shall be located beneath the first course of masonry above finished ground level above the foundation wall or slab, and at other points of support.
- Wedge holes shall be provided in the outside wythe of masonry walls at a max. spacing of 33" on center. Wedge holes shall be a min. of 3/16" in diameter located immediately above the flashing.
- Wall studs shall be 2x4's @ 16" c/c or 2x6's @ 16" c/c and shall be one piece full height. Provide a minimum of 2 studs at each side of all openings through all walls unless noted otherwise.

FLOOR CONSTRUCTION

- Joists under parallel load bearing partitions shall be doubled or a beam of adequate size to support the load shall be provided.
- The ends of each header beam, or girder shall have a minimum of 1 1/2" OF load bearing on wood or metal and a minimum of 3" on masonry or concrete.
- Floor joist per plan. If pre-engineered floor joists and/or trusses being used they shall be engineered by the manufacturer. engineered data sheets shall be provided prior to framing manufacturer. engineered data sheets shall be provided prior to framing.
- Drilling and nailing of pre-engineered floors shall be done per manufacturers recommendations.
- Sub flooring shall be 3/4" tongue and groove (T & G) exterior grade.
- Driftstopping shall be provided as required when there is a usable space above and below the concealed space of a floor/ceiling assembly.

ELECTRICAL

- All electrical shall be installed in accordance with the N.E.C. in effect in this jurisdiction.
- A minimum of one 20-ampere laundry branch circuit shall be provided to supply the laundry receptacle outlet(s). This circuit shall have no other outlets.
- All dwelling unit bedroom(s) branch circuits shall be protected by an arc-fault circuit interrupter providing protection to the entire circuit.

PLANNING

- All interior and exterior stairways shall be provided with a means to illuminate the stair, including the landing and the treads.
- Ceiling heights in basements without habitable spaces shall not be less than 7 feet 0 inches clear except for ducts or other obstructions where the clear height shall be 8 feet 8 inches.
- Garage floor surfaces shall be sloped to facilitate the movement of liquids toward the main vehicle entry.
- The dimensions of a window well serving an E.E.O. window shall provide a min. net clear area of 9 square feet with a minimum horizontal projection and width of 36 inches.
- Hazardous glazing shall be located in the following locations: in all doors including sliding glass doors and sliding glass doors and enclosures for hot tubs, whirlpools, bathtubs and showers, glazing in walls above bath or within a 24" arc of a door in a closed position or otherwise noted on these plans.
- Openings between the garage and the residence shall be equipped with either solid wood doors 1 3/4 inches in thickness or 20-minute fire-rated doors.
- Every sleeping room shall have at least one operable window or exterior door approved for emergency escape or rescue with a min. Net clear opening hgt. Of 24 inches and a width of 20 inches.
- A minimum 3' x 3' landing shall be provided at all exterior doors with (1) riser.
- The maximum riser height shall be 8-1/4" and the minimum tread depth shall be 3" with a nosing of not less than 3/4" but not more than 1 1/4" at stairs with solid risers unless noted otherwise on plans.
- The greatest riser height and tread depth within any flight of stairs shall not exceed the smallest one by more than 3/8".
- Winders shall track at a point not more than 12" from the side where the treads are narrower shall not be less than 3" and the minimum depth of any tread shall not be less than 6".
- Enclosed accessible space under stairs shall have walls under stair surfaces and any soffits protected with 1/2" gypsum board.
- Handrails shall be provided at all stairs with (4) or more risers. Handrails shall have a minimum hgt. Of 34" and a maximum hgt. Of 38" from the nosing of the treads.
- Handrails shall have a circular cross section with a diameter of 1 1/4" to 2", or a non-circular cross section with a perimeter dimension of at least 4" but not more than 6 1/4" and a largest cross-section dimension not exceeding 2 1/4".
- Porches, balconies or raised floor surfaces located more than 30" above the floor or grade shall have guardrails not less than 36" in hgt. Open sides of stairs with a total rise of more than 30" above the floor shall have guardrails not less than 34" in hgt. from the nosing of the stair.
- Required guardrails shall have intermediate rails or ornamental closures which do not allow the passage of a 4" sphere. The triangular opening formed by the riser, tread, and bottom rail shall not allow the passage of a 6" sphere.
- Required smoke detectors shall be hardwired and interconnected with a battery back-up. In rooms with cathedral or sloped ceilings the location of the smoke detector shall be 3" horizontally from the highest point or per the manufacturers recommendations.
- House address numbers shall be posted, 4 inches in height and visible from the curb line.
- Foam plastic shall be separated from the interior of the building by a minimum 1/2" gypsum board. The gypsum board shall be installed using a mechanical system.
- Wall and ceiling finishes shall have a flame spread index of not greater than 200.
- All exposed insulation materials installed in floor, roof, and wall assemblies: crawl spaces and attics shall have a flame spread index not to exceed 75 with an accompanying smoke developed index not to exceed 450 when tested in accordance with ASTM E 84.
- Moisture vapor retarder shall be provided in all frame walls with a max. Perm rating of 1.0 on the warm in winter side of the thermal insulation.
- Bills and sleepers on a concrete or masonry slab which is in direct contact with the ground shall be preservative treated or decay resistant hardwood or redwood, black locust, or cedar.
- Wood columns shall be approved wood of natural decay resistance or approved pressure preservative treated wood.
- Protection against radon shall be installed as required per local jurisdiction.
- The maximum length of a 4" diameter clothes dryer exhaust duct shall not exceed 25 feet from the dryer location to wall or roof termination.

ROOF CONSTRUCTION

- Trusses shall be pre-engineered by the manufacturer, all truss data and layout sheets shall be provided prior to framing inspection.
- Rafters shall be nailed to ceiling joists to form a continuous tie between exterior walls where joists are parallel to the rafters, where not parallel, rafters shall be tied with a rafter tie, located as near the plate as practical. Rafter ties shall be spaced not more than 4 feet on center. Rafters shall be nailed to ridge board or to each other with a gusset plate as a tie.
- Ridge board shall be at least 1" nominal thickness and not less in depth than the cut end of the rafter. At all valleys and hips there shall be a valley or hip rafter not less than 2" nominal thickness and not less in depth than the cut end of the rafter. Hip and valley rafters shall be supported at the ridge by a brace to a load bearing partition or be designed to carry and distribute the specific load at that point.
- Roof assemblies shall have rafter or truss ties provided at load bearing locations.
- Roof sheathing shall be supported with blocking or edge clips when rafters or trusses are 24" on center or greater.
- Slopes less than four in twelve shingles shall be installed over (2) layers of 6-15 felt applied parallel to eaves with 1/8" top lap and 1/2" end lap, with end laps located at least 6 feet from end laps in preceding course.
- Roof sheathing shall be 1/2" plywood or 7/16" OSB exterior grade. Provide plywood clips at unsupported edges midway between members.
- Trusses shall be designed by a Structural Engineer registered in the State of Ohio. Trusses shall be designed in accordance with the National Design Specification for wood and the Truss Plate Institute Recommended Practice of Design (TP-405). Roof trusses shall be designed for the following loads:

FOUNDATIONS & CONCRETE

- The assumed soil bearing capacity shall be 1500 psf U.N.C.
- The finished grade shall fall a minimum of 6" in the first 10 feet from building perimeter.
- All concrete shall have a minimum 28 day compressive strength of 3000 psi except as noted. Concrete exposed to the weather and in a horizontal position in the final structure shall have a minimum 28 day compressive strength of 4500 psi and shall contain 1% entrained air. Concrete shall not contain calcium chloride. Element sizes shall be a minimum 3 1/2". Footings, steps and garage floor slabs shall be a minimum 4".
- All concrete work shall comply with:
 - ACI 308-44 "Specifications for Structural Concrete for Buildings" (revised 1987)
 - ACI 318-83 "Building Code Requirements for Reinforced Concrete" (revised 1986)
- All footings shall be as follows: (based on 1500 psi soil bearing)

nominal wall thickness	footing depth	footing width
12"	6"	18"
16"	8"	20"
- Masonry fireplace footings shall be a pad type footing which shall extend 6 (min.) past all faces of the fireplace foundation and shall be 12" (min.) deep.
- Footings shall extend below the frost line of the Local Governing minimum accepted frost depth. (see design criteria this sheet)
- Foundation anchorage shall be min. 1/2" diameter bolts and shall extend a minimum 1" into poured concrete and 15" into masonry. Bolts shall be spaced 6'-0" on center max. And 12" from corners max.
- Approved anchor straps shall be installed per manufacturers recommendations.
- Backfill shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above, or has been sufficiently braced to prevent damage by the backfill.
- All surfaces of steel columns shall be given a shop coat of rust inhibitive paint unless treated to provide corrosion resistance.
- Crawl space shall be provided with continuously operated mechanical ventilation at a rate of 1.0 cfm per 50 sq. Ft. of crawl space minimum with approved vapor barrier over base course.
- All anchor bolts shall conform to ASTM A307.
- All reinforcing steel shall be grade 60.
- Center footings on column centerlines.
- Encase all steel columns, bearing plates, and anchor bolts below grade with a minimum 3" concrete cover.

HEATING & COOLING

- All HVAC work shall be installed in accordance with the 2019 RCO Code in effect in this jurisdiction.
- When heating and cooling equipment is located in an equipment room, an unobstructed working space shall comply per section 1103.0.1 of the 2019 RCO code.
- Fuel burning heating and cooling equipment shall be provided with a volume of 50 cubic ft. per 1000 Btu/hr. or an air supply shall be provided to proper fuel combustion.
- An approved drain shall be provided to dispose of condensate from the cooling coil, condensate drains shall terminate outside of the building or to a roof drain, plumbing fixture, sump or approved location.

DESIGN LOADS (RCO 2019 EDITION)	
WALLS:	6' F.F. WOOD STUDS
FLOOR JOIST:	1 1/2" FLOOR JOIST OR NOTED OTHERWISE
FLOORS:	40 LL + 10 DL 30 LL + 10 DL
BALCONY/DECKS:	40 LL + 10 DL (ADD 50 PSF IN AREA W/ HOT TUB)
ROOF TRUSS DEGN:	
	Top chord live load = 25 psf.
	Top chord dead load = 10 psf.
	Bottom chord live load = 0 psf.
	Bottom chord dead load = 10 psf.
SNOW (PRFG)	19.3 / 25.0
WIND SPEED:	110 MPH, 20.1 PSF
SEISMIC CONDITIONS BY ZONE:	A YES
ICE SHIELD REQUIRED:	A, 1/16" TB B, 4/20" TB
FLOOD HAZARDS:	5' F SEVERE
WINTER DESIGN TEMP. WEATHERING:	36"
FROST DEPTH:	YES
TERMITE:	YES
DECAY:	1500 PSF
ASSUMED SOIL:	50.1 F.
MEAN ACTUAL TEMP.:	1500
AIR FREEZING INDEX:	
CONCRETE FLOORS W/ AIR:	4000 PSF
BASEMENT GARAGE:	4000 PSF

LIGHT & VENTILATION SCHEDULE							
ROOM NAME	ROOM SQFT	WINDOW TYPE	REQUIRED GLAZING SQ. FT.	ACTUAL GLAZING SQ. FT.	REQUIRED VENT SQ. FT.	ACTUAL VENT SQ. FT.	TEMPERED GLAZING
FAMILY ROOM	98	SINGLE HUNG	13.1	6.6	30	8	
FAMILY LOUNGE	28	SINGLE HUNG	29.2	12.6	49.5	24.75	
SUITE SUITE	228	SINGLE HUNG	19.0	9.86	49.5	24.75	
KITCHEN / EATG	148	SINGLE HUNG	27.6	13.8	16.5	8.25	
GREAT RM	271	SINGLE HUNG	21.68	10.84	59	29.5	
BANNERS BATH	17	SINGLE HUNG	9.36	9	4.68	4.5	TEMP.
MASTER BEDROOM	228	SINGLE HUNG	19.04	9.4	33	16.5	EGRESS
BEDROOM 1	144	SINGLE HUNG	13.2	6.3	49	18	EGRESS
BEDROOM 2	156	SINGLE HUNG	14.48	6.24	16.5	8.25	EGRESS
REC ROOM	120	FIXED	9.16	26.8	3.99	19.9	TEMP. PREVIOUS
FLEX ROOM	47	SINGLE HUNG	33.68	39	16.84	8	

NOTE: THIS SCHEDULE IS FOR LIGHT AND VENTILATION IT IS NOT INTENDED FOR COMPLETE WINDOW TAKEOFF.

AREAS GIVEN ARE ROOMS THAT MAY NOT HAVE A PERMANENT NATURAL LIGHT SOURCE

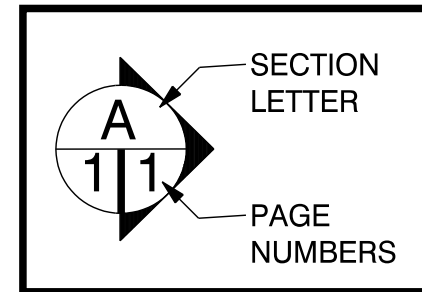
ALL BEDROOMS SHALL HAVE AN EGRESS WINDOW MINIMUM NET CLEAR OPENING OF 2' 6". MINIMUM NET CLEAR HEIGHT SHALL BE 24" AND THE MINIMUM NET CLEAR WIDTH SHALL BE 20"

ALL WINDOWS OVER MASTER BATH PLATFORM TUB SHALL BE TEMP.

Building Code: Residential Code of Ohio (R.C.O.)- 2019
 Plumbing Code: Chapter 44 Code of Ohio except as modified in section 2501.1
 Mechanical Code: Chapters 12-14 Code of Ohio except as modified in section 2501.1
 Electrical Code: National Electric Code - 2023



Bahgat Garage Est. 2026



43026

Bahgat Garage
3377 Cemetery Rd
Hilliard Ohio

INDEX OF DRAWINGS	
PAGE NO.	DESCRIPTION
A1.	COVER SHEET BUILDING INFO
A2.	EXTERIOR ELEVATIONS
A3.	EXTERIOR ELEVATIONS
A4.	FOUNDATION PLAN
A5.	FIRST FLOOR PLAN
A6.	SECOND FLOOR STORAGE ROOM PLAN
A7.	ROOF PLAN / DETAILS
A8.	BUILDING CROSS / WALL SECTION
E1.	ELECTRICAL PLAN FIRST & SECOND FLOOR

BUILDING SQFT INFO:	
BASEMENT	SLAB ON GRADE
FLOORS:	
FIRST FLOOR	709 SQFT
STORAGE ROOM	UNFINISHED
TOTAL LIVBLE SQFT	709 SQFT
GARAGE	1334 SQFT

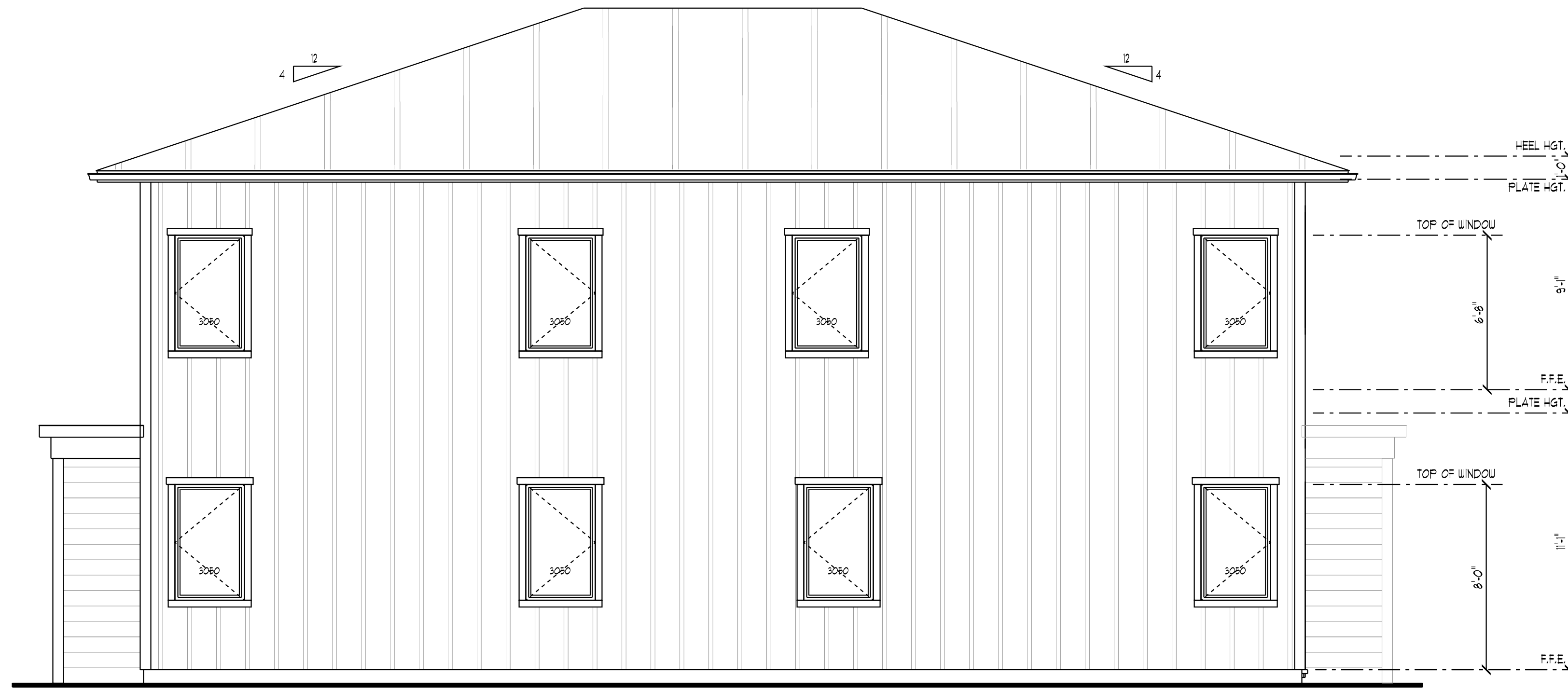
OHIO HOME BUILDERS ASSOCIATION (OHBA)		
CLIMATE ZONE 6, COMPLIANCE PATH #1		
COMPONENT	REQUIRED	ACTUAL
EXTERIOR WALLS R-VALUE	R-15	R-19
CEILING R-VALUE	R-49	R-49
FENESTRATION FACTOR	U=0.32	U=0.32
SKYLIGHT U-FACTOR	U=0.60	-
FLOOR VALUE OVER UNCONDITIONED SPACE	30 (19 IF SUFFICIENT TO FILL CAVITY)	107.13 (MIN 4 FEET)
BASEMENT WALL VALUE (R-19 CONTINUOUS / R-13 CAVITY)	-	-
SLAB R-VALUE	10, 2 FEET	-
CRAWL SPACE R-VALUE (R-19 CONTINUOUS / R-13 CAVITY)	10, 13	-
DUCT INSULATION R-VALUES OUTSIDE THERMAL ENVELOPE	SUPPLY R-8, OTHERS MIN. R-6	-
POST-CONSTRUCTION DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(a))		
LEAKAGE TO OUTDOORS (PER 100 S.F. OF CONDITIONED FLOOR AREA)	LESS THAN OR EQUAL TO 6 CFM @ 0.01 L/S	
TOTAL LEAKAGE (PER 100 S.F. OF CONDITIONED FLOOR AREA)	LESS THAN OR EQUAL TO 3 CFM @ 0.01 L/S	
ROUGH-IN DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(b))		
DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE)		
(DUCT LEAKAGE WITH AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)	LESS THAN OR EQUAL TO 6 CFM @ 0.01 L/S	
TOTAL LEAKAGE WITHOUT AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)	LESS THAN OR EQUAL TO 4 CFM @ 0.01 L/S	
MISC:		
CONTROLS	PROGRAMMABLE THERMOSTAT INITIALLY HEATING NO HIGHER THAN 70 F, COOLING NO LOWER THAN 70 F	
LIGHTING SYSTEMS	MINIMUM OF 90% PERMANENT LIGHTING HIGH-EFFICACY LAMPS	

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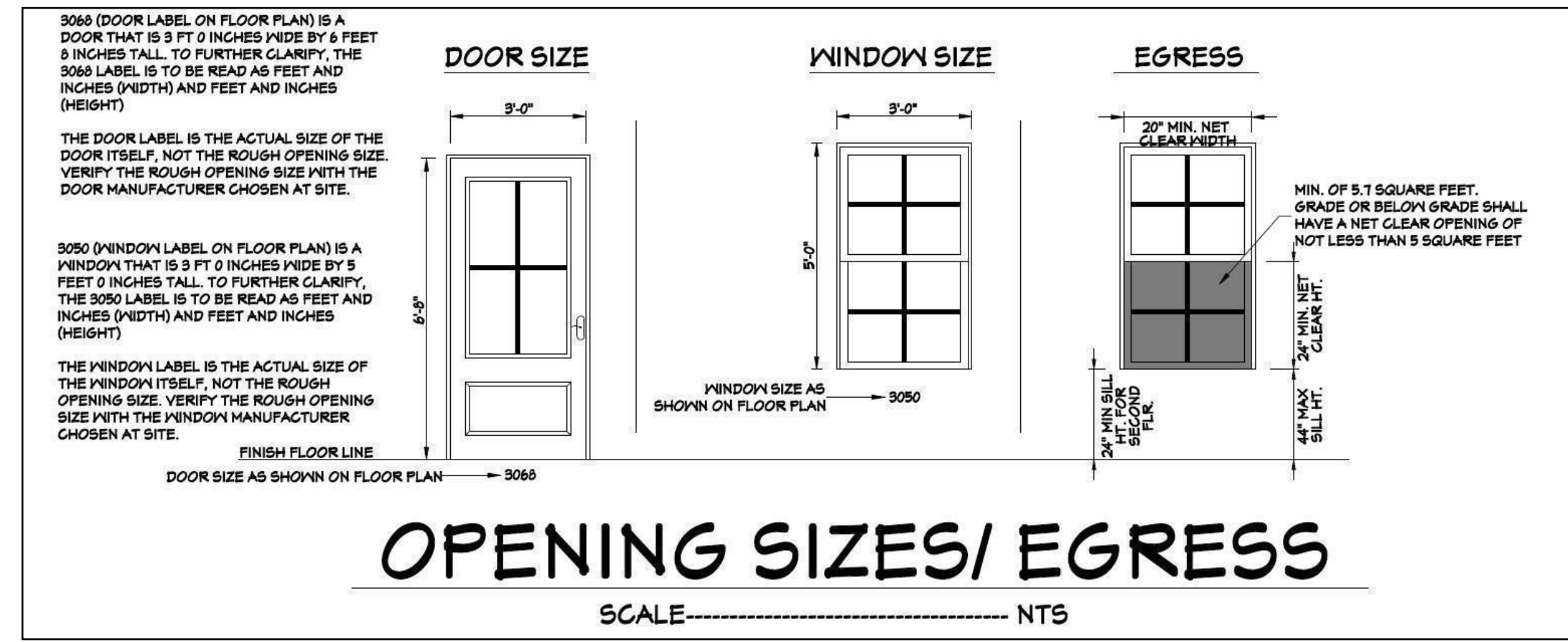
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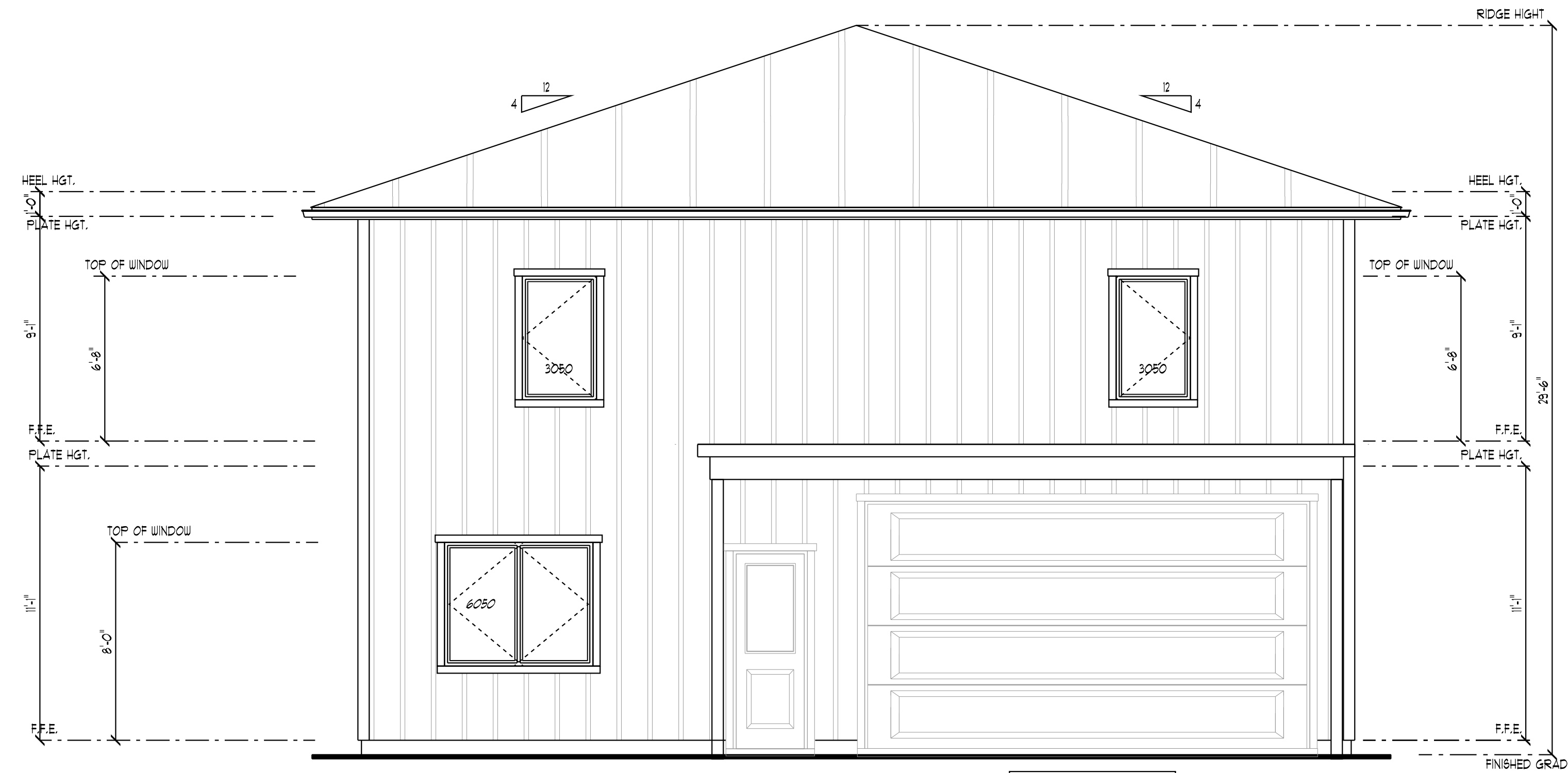


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



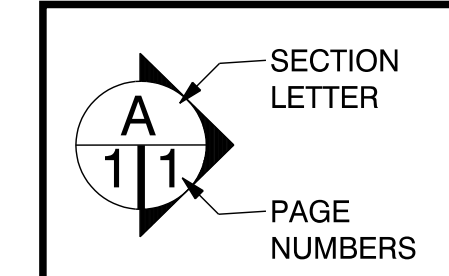
EXTERIOR ELEVATION NOTES:

	METAL ROOF PER SPECS.
	VERTICAL SIDING PER SPECS.
EXTERIOR TRIM:	5/4"x6" TOP & BOTTOM 5/4" x 3.5" SIDES PER SPECS
FASCIA:	1x6 ALUM
GUTTER:	5" CGEE ALUM
SOFFIT:	VINYL (VENTED)
WINDOW TYPE:	PER SPECS. (SIZES PER FLOOR PLANS)
RIDGE VENT:	CONT.
WINDOW TRIM:	5/4" x 6" TRIM TOP (PER SPECS.) 5/4" x 4" TRIM SIDES (PER SPECS.)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

18000 OVERHEAD DOOR
TYPE AND STYLE PER SPECS.

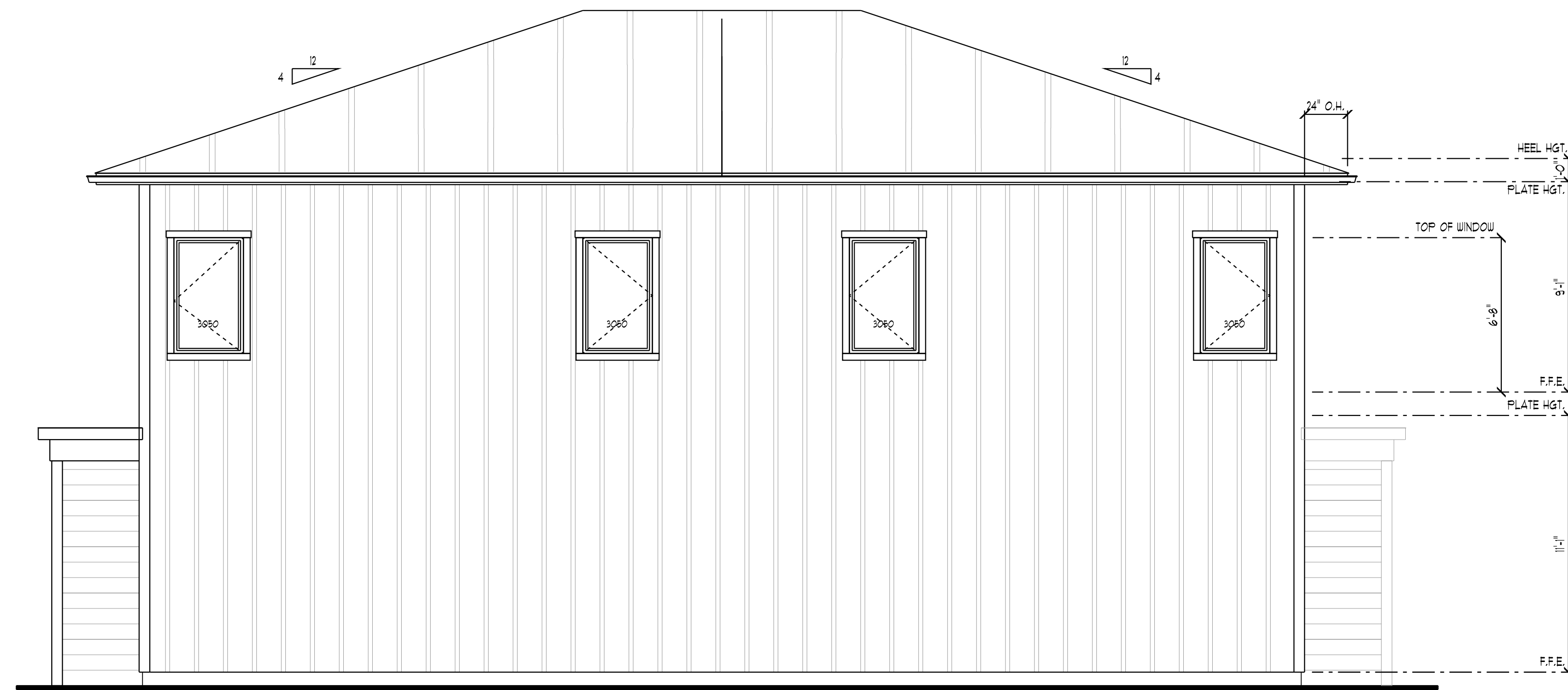


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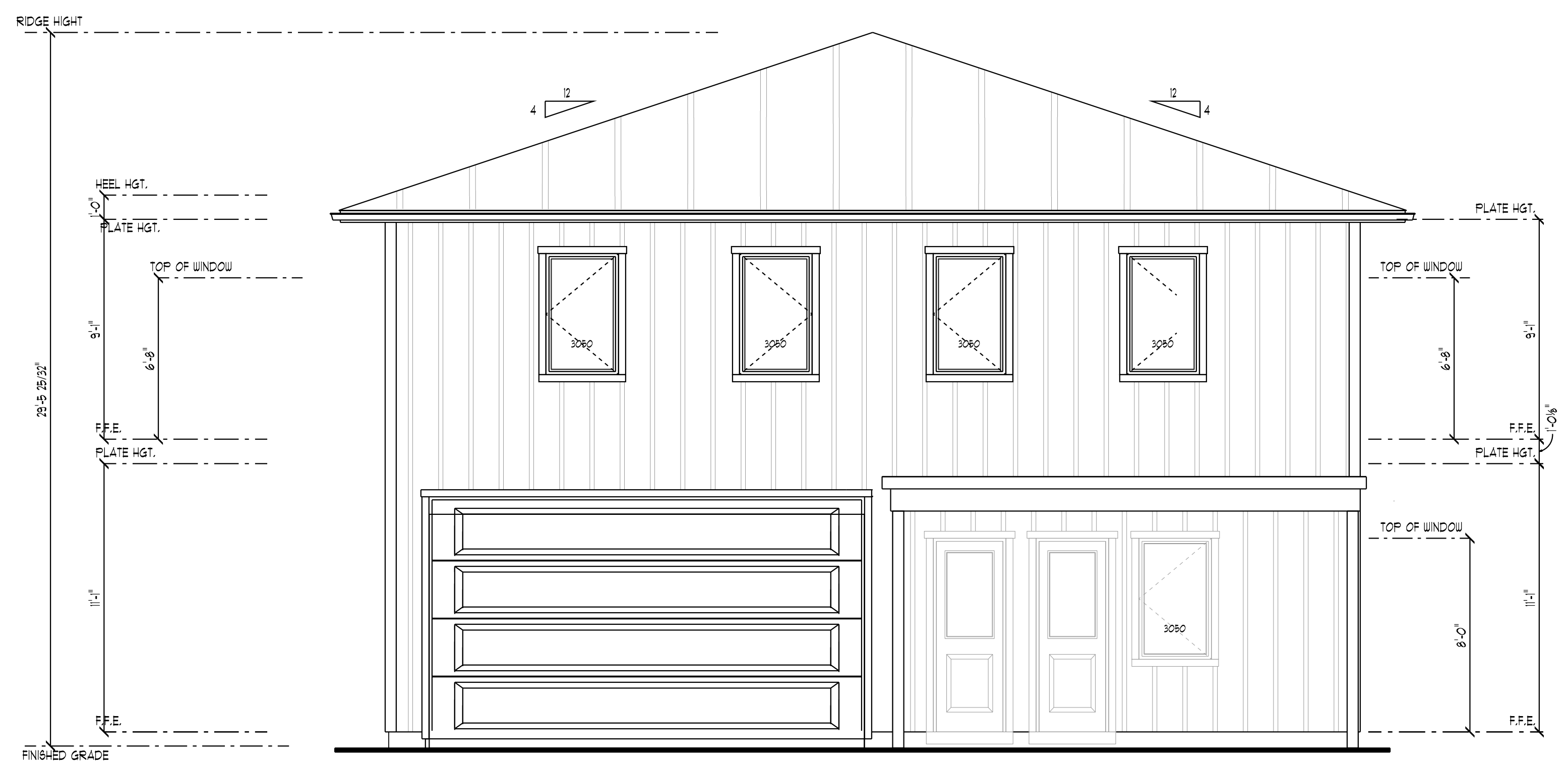
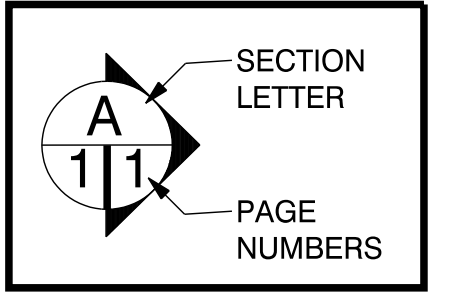
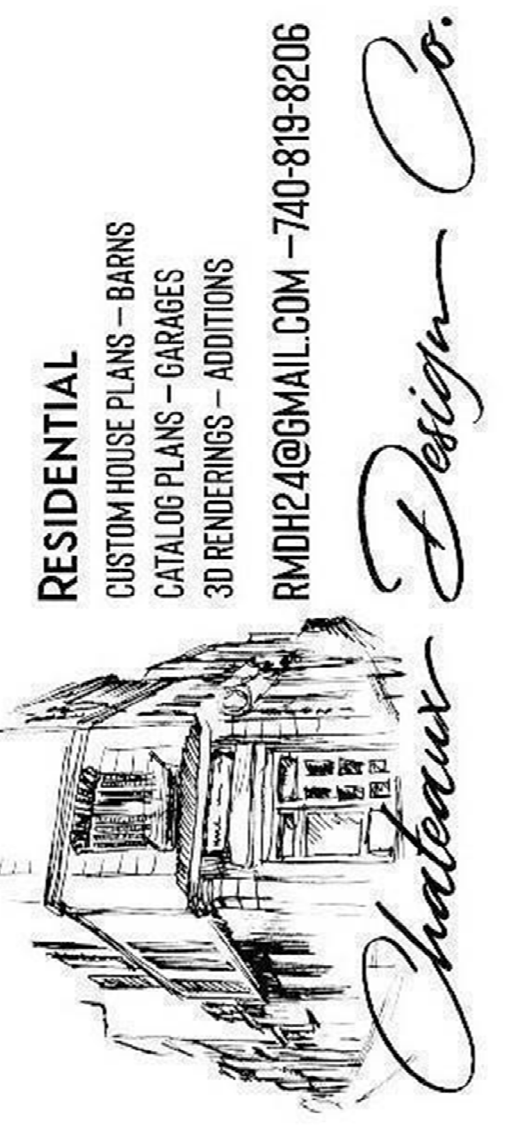
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:	
	METAL ROOF PER SPECS.
	VERTICAL SIDING PER SPECS.
EXTERIOR TRIM:	5/4" x 6" TOP & BOTTOM 5/4" x 3.5" SIDES PER SPECS
FASCIA:	1/2" ALUM.
GUTTER:	5" OGEE ALUM.
SOFFIT:	VINYL (VENTED)
WINDOW TYPE:	PER SPECS. (SIZES PER FLOOR PLANS)
RIDGE VENT:	CONT.
WINDOW TRIM:	5/4" x 6" TRIM TOP (PER SPECS.) 5/4" x 4" TRIM SIDES (PER SPECS.)



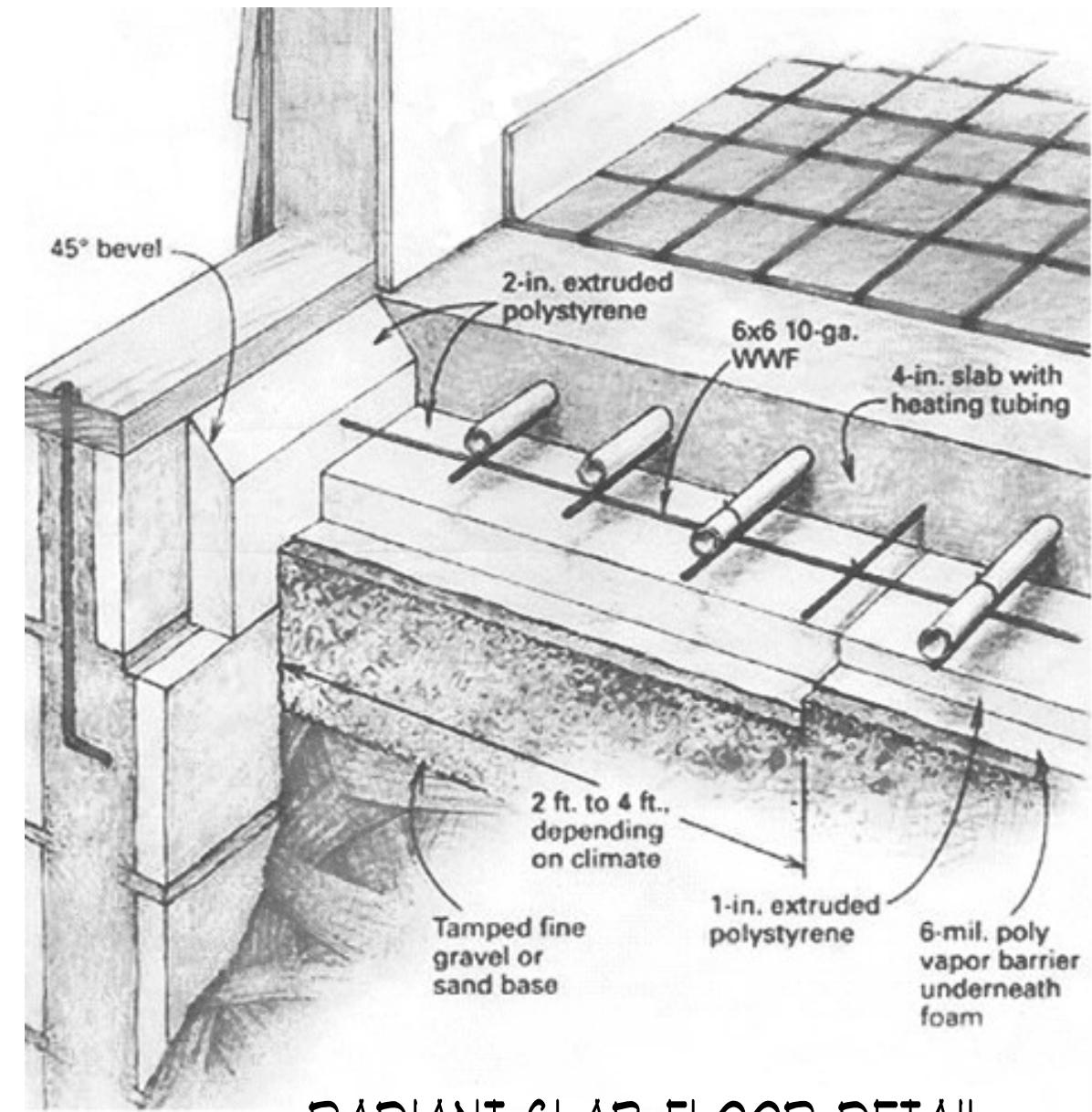
REAR ELEVATION
SCALE: 1/4" = 1'-0"

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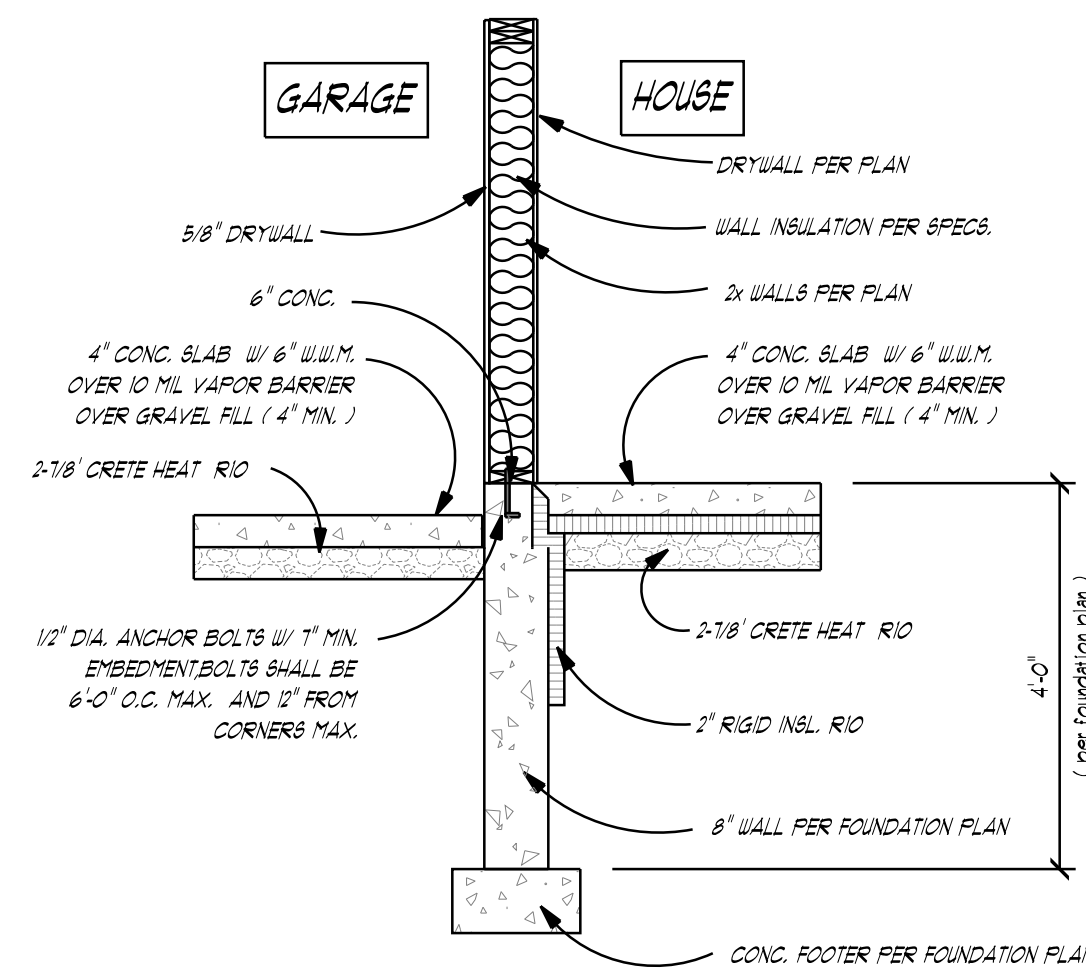
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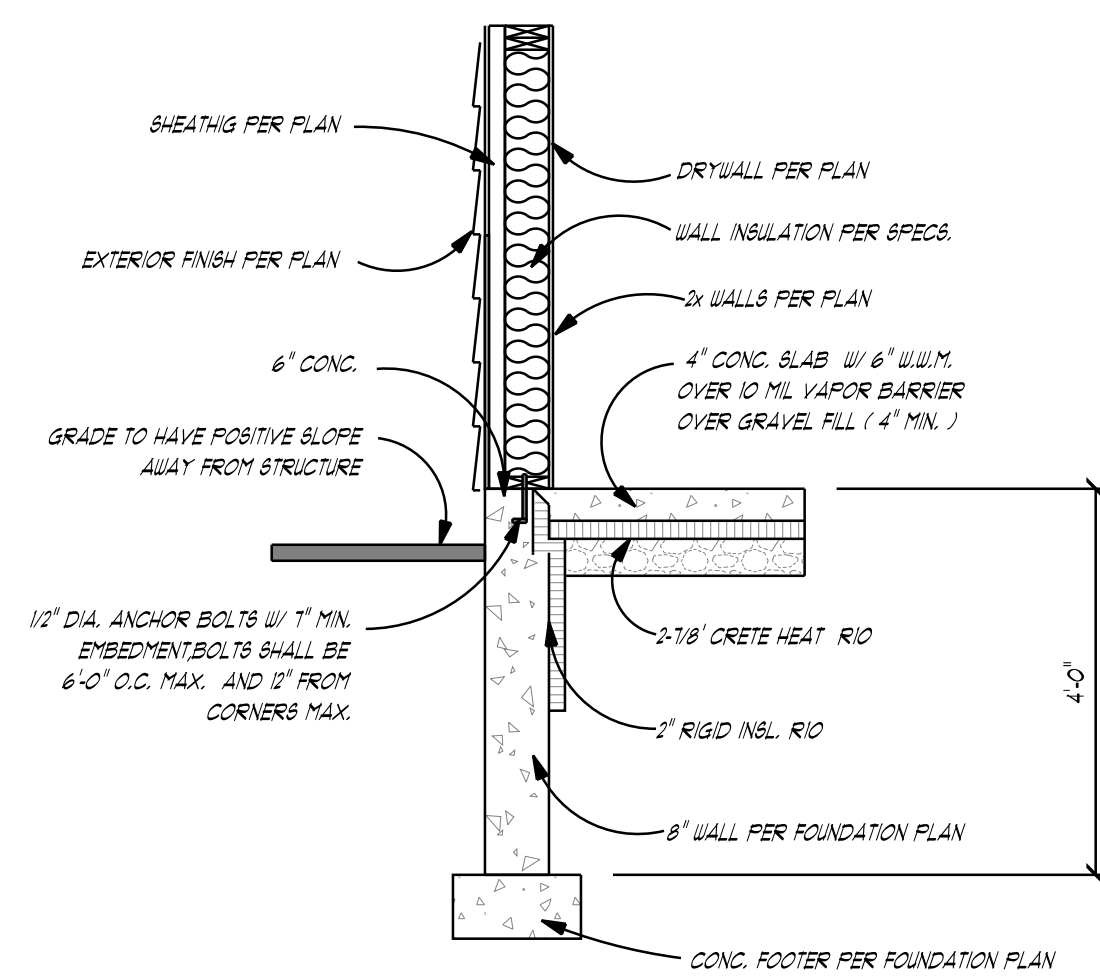


RADIANT SLAB FLOOR DETAIL



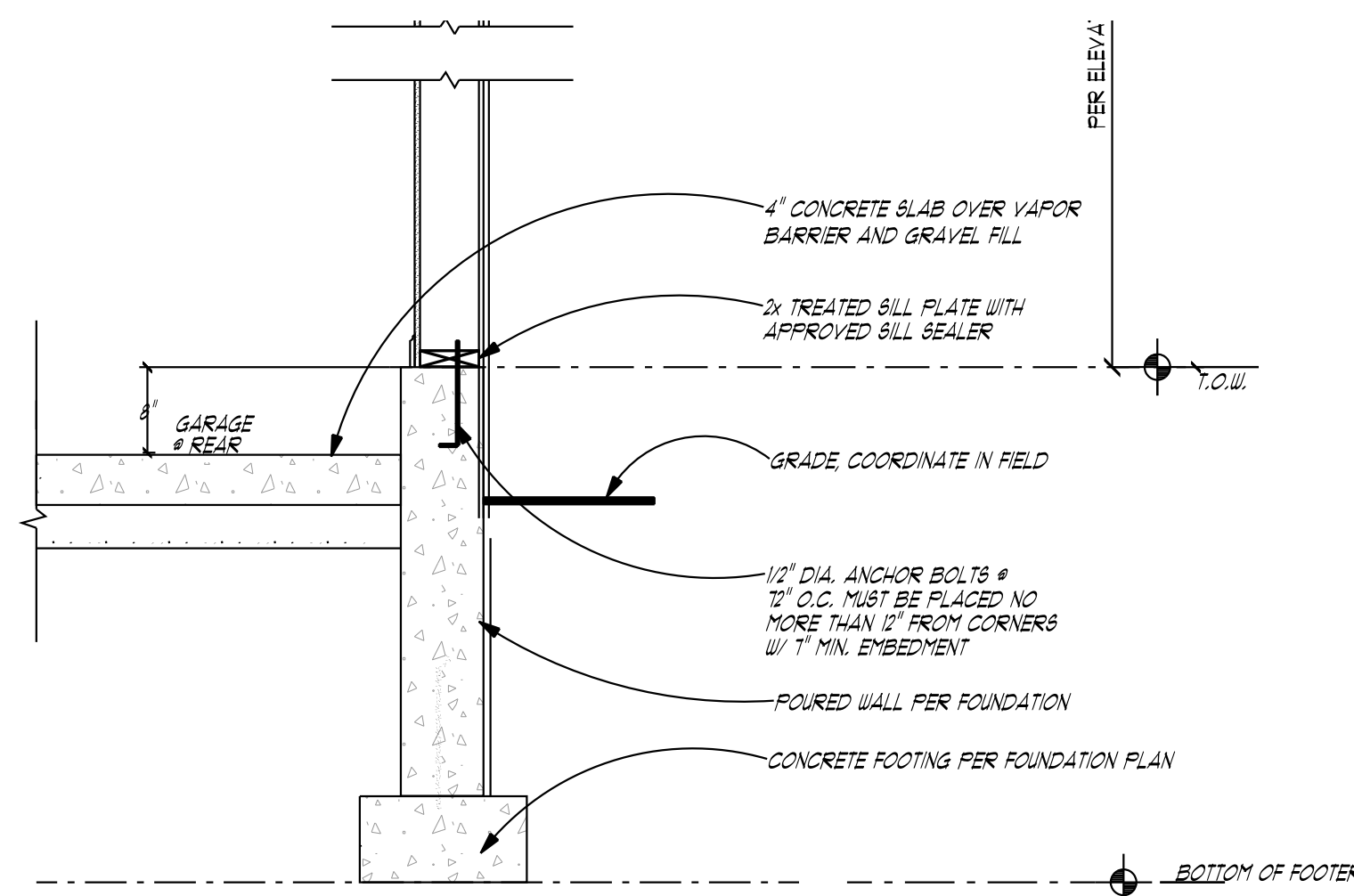
FOUNDATION DETAIL @ HOUSE / GARAGE WALL

SCALE: 1/2" = 1'-0"



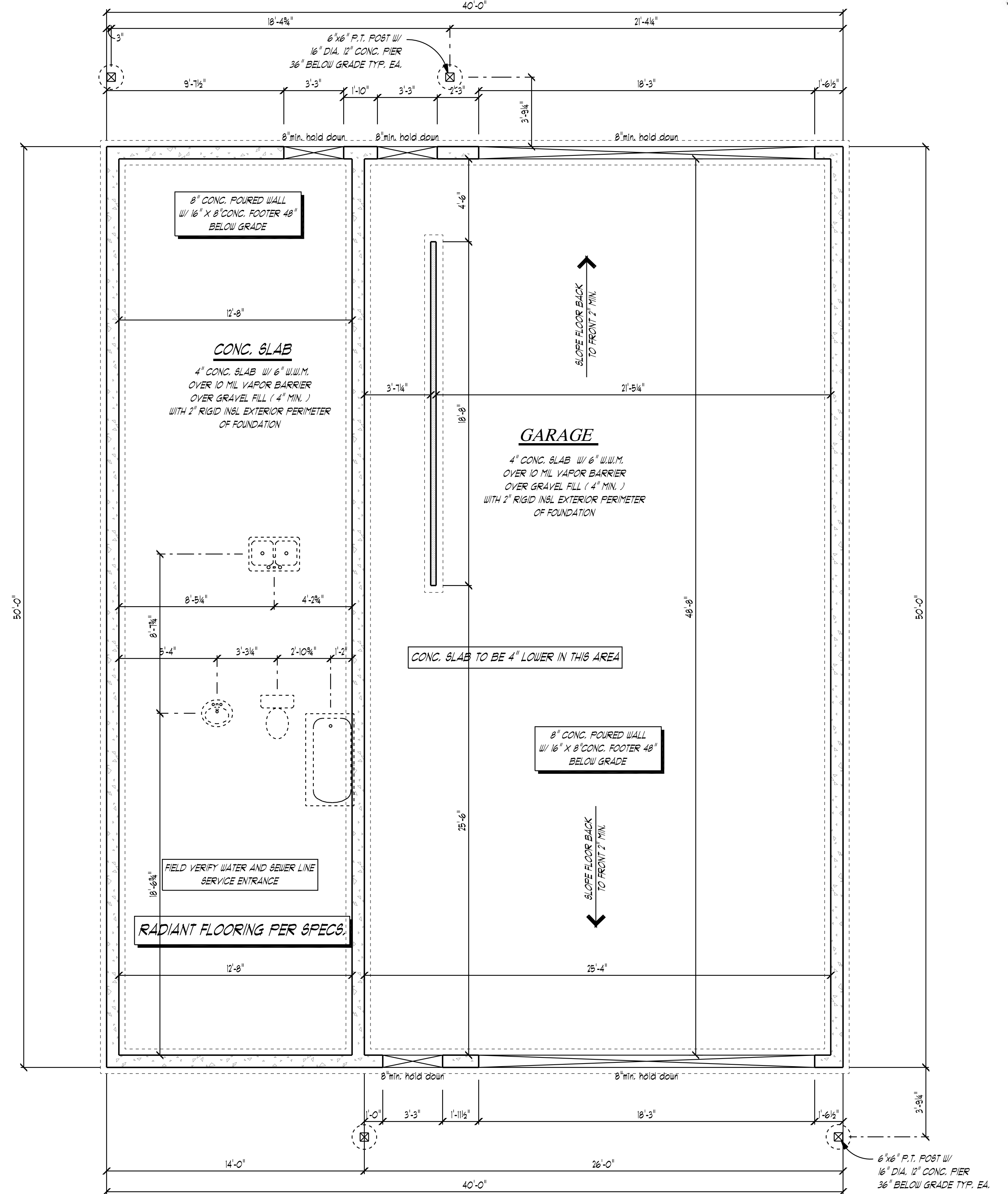
FOUNDATION DETAIL LIVING AREA

SCALE: 1/2" = 1'-0"



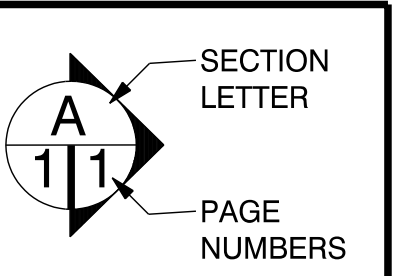
FOUNDATION FOOTER DETAIL

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

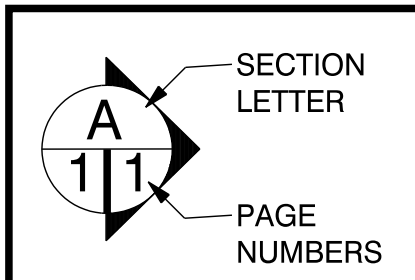


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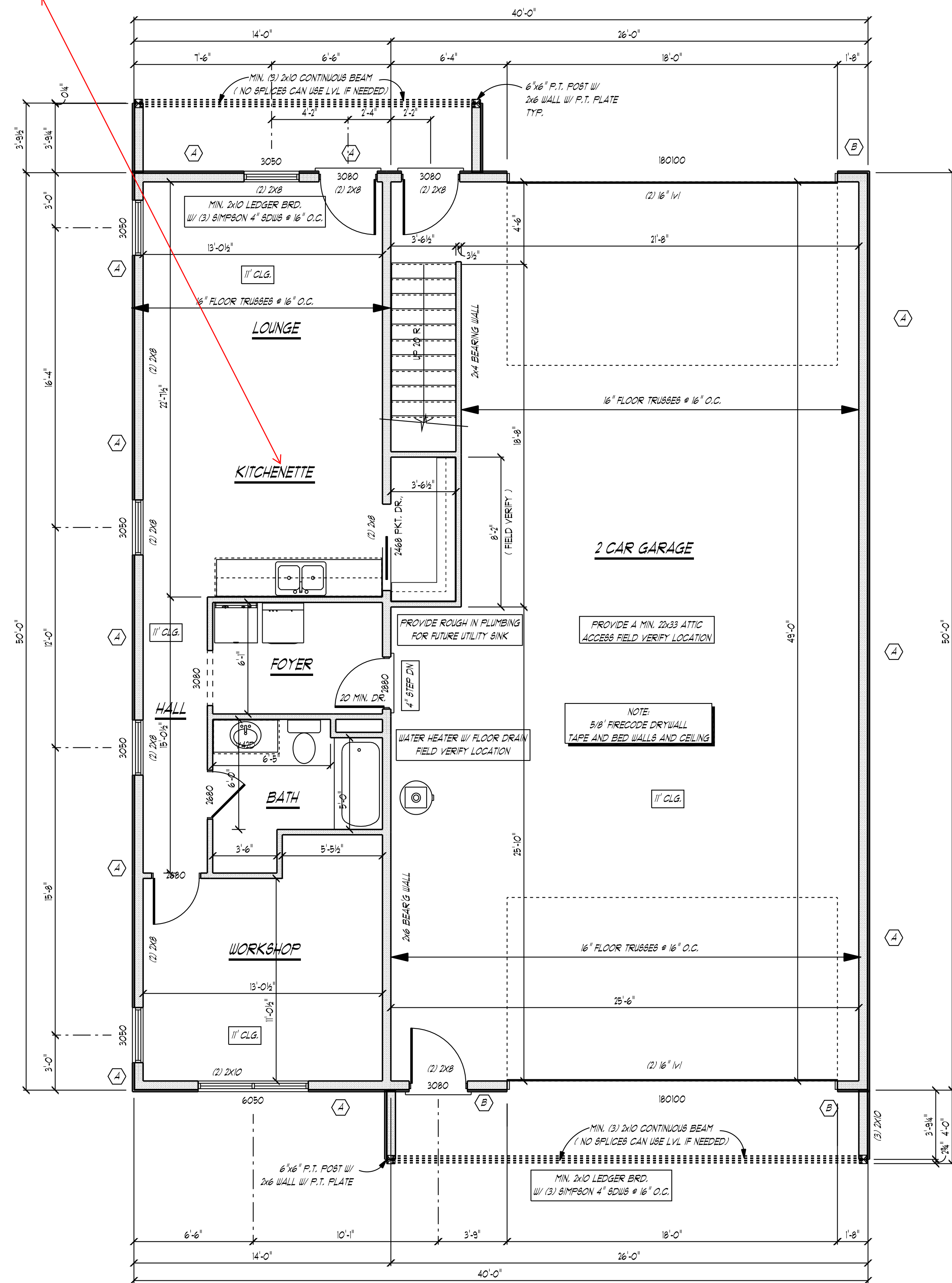
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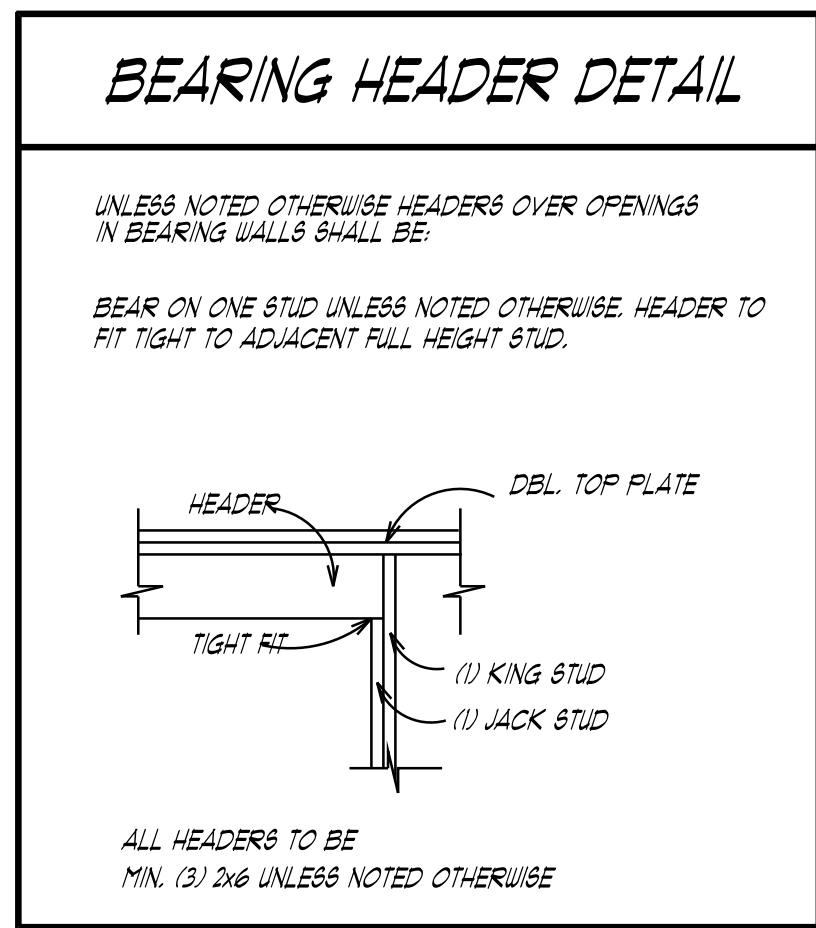
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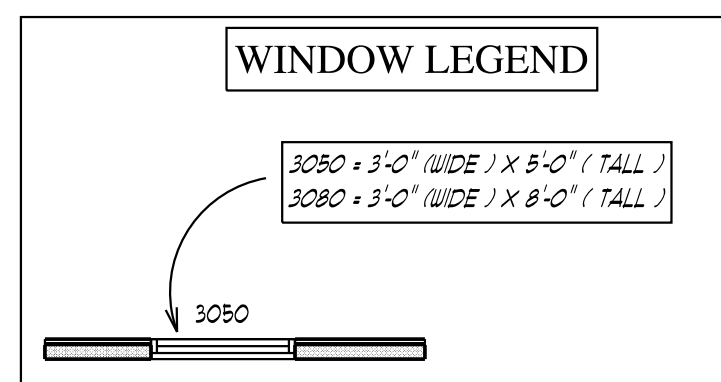
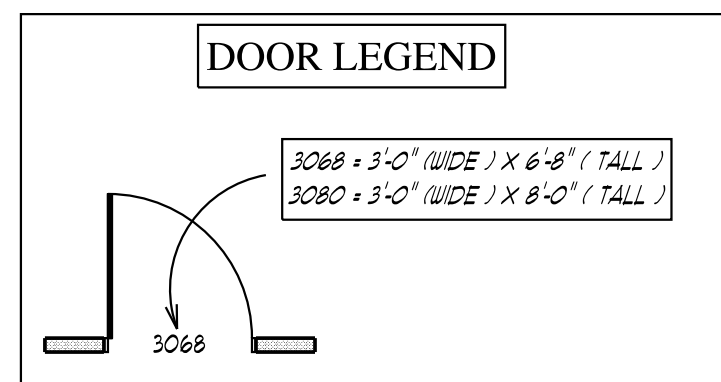


Applicant states that the kitchenette could be removed.



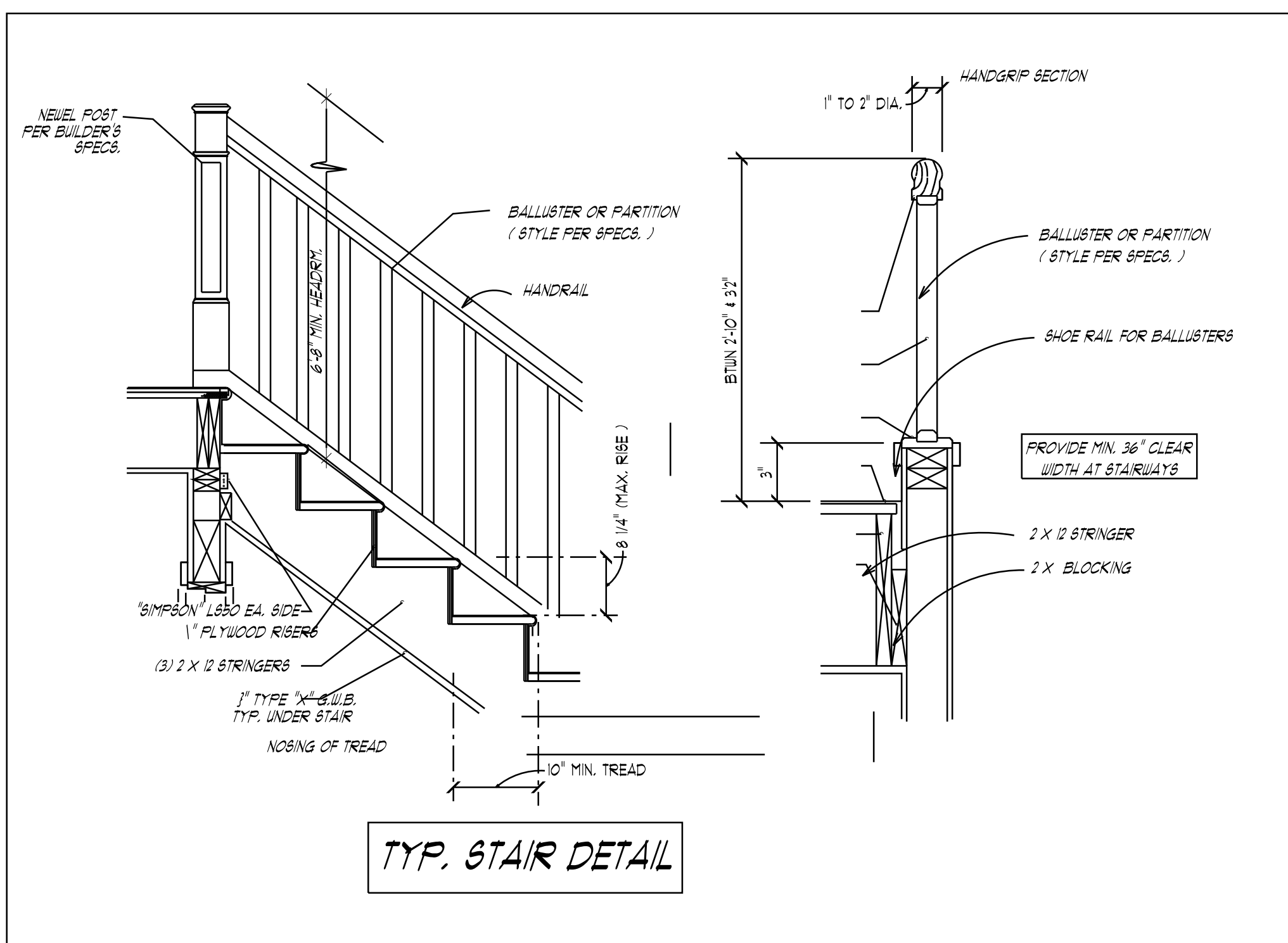
SHEAR WALL / BRACING CODED NOTES SCHEDULE:

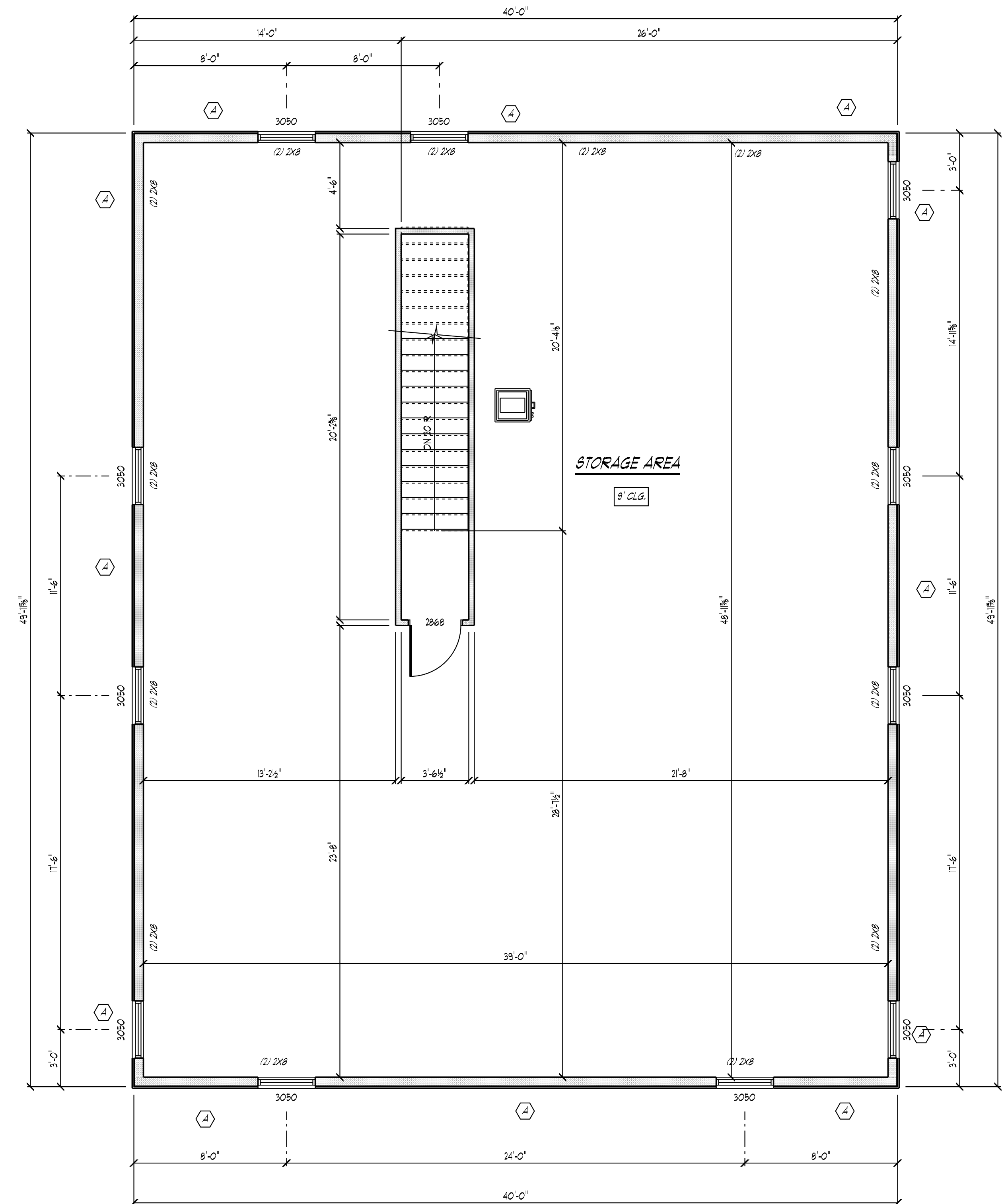
- (A) EXTERIOR BRACED WALL PANEL:
 CONTINUOUS SHEATHING, MIN. 7/16" OSB OR PLYWOOD PER CODE:
 • METHOD CS-WBP PER RCO 2019 TABLE 602.10.4 - ATTACHED PER TABLE 602.3(3)
 • RCO 2019 TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX. WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO.
 • RCO 2019 SECTION 602.4.2 CONTINUOUS SHEATHING TABLE 601.0.3 MIN. PANEL LENGTHS.
- (B) CS-PP (PER DETAIL ON SHEET A11)
- (C) GB - METHOD (PER DETAIL ON SHEET A11)



STAIR DATA

1. MINIMUM TREAD DEPTH:	10"
2. MINIMUM NOSING PROJECTION:	1"
3. MAXIMUM RISER HEIGHT:	8-1/4"
4. MAXIMUM VARIANCE IN RISER HEIGHT:	3/8"
5. MINIMUM HEADROOM HEIGHT AT STAIR ANGLE:	6'-8"
6. MINIMUM / MAXIMUM HANDRAIL HEIGHT:	34"/38"
7. MINIMUM GUARDRAIL HEIGHT:	36"
8. MAXIMUM BALUSTER SPACING (CLEAR OPS):	4"
9. MINIMUM STAIR WIDTH EXCLUDING WALL HANDRAIL:	3'-0" MIN. (SEE PLAN)



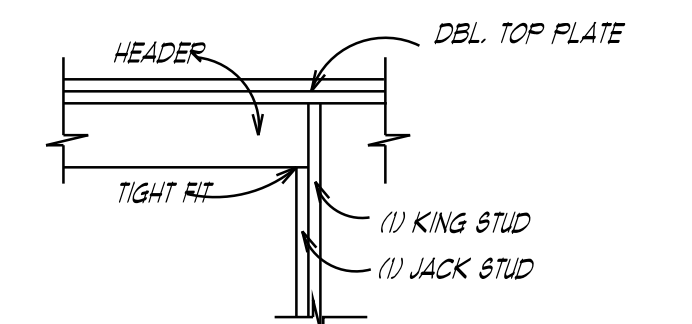


SECOND FLOOR BONUS ROOM PLAN
 SCALE: 1/4" = 1'-0"

BEARING HEADER DETAIL

UNLESS NOTED OTHERWISE HEADERS OVER OPENINGS IN BEARING WALLS SHALL BE:

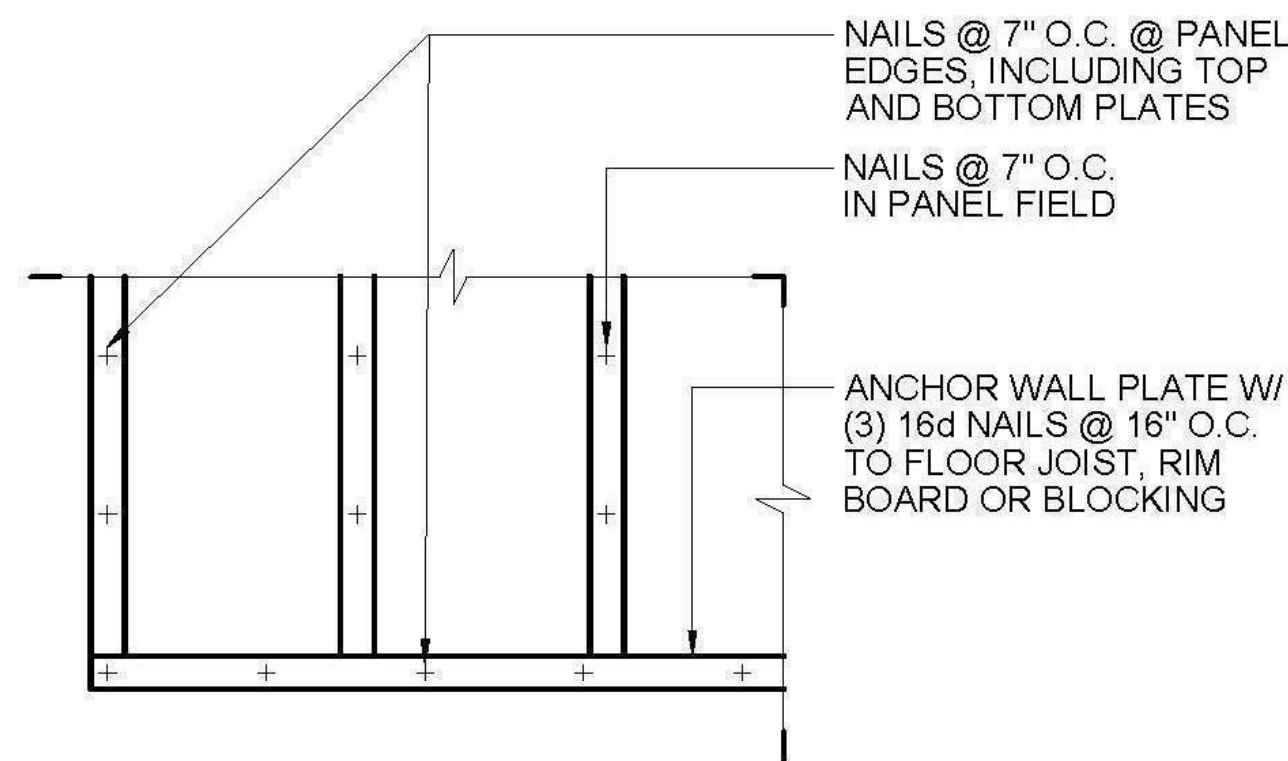
BEAR ON ONE STUD UNLESS NOTED OTHERWISE. HEADER TO FIT TIGHT TO ADJACENT FULL HEIGHT STUD.



ALL HEADERS TO BE MIN. (3) 2x6 UNLESS NOTED OTHERWISE

SHEAR WALL / BRACING CODED NOTES SCHEDULE:

- (A) EXTERIOR BRACED WALL PANEL, CONTINUOUS SHEATHING, MIN. 7/16" OSB OR PLYWOOD PER CODE:
 - * METHOD CB-WBP PER RCO 2019 TABLE 602.10.4 - ATTACHED PER TABLE 602.3(3)
 - * RCO 2019 TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX. WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO.
 - * RCO 2019 SECTION 602.4.2 CONTINUOUS SHEATHING
 - * TABLE 601.10.3 MIN. PANEL LENGTHS.
- (B) CB-PP (PER DETAIL ON SHEET A11)
- (C) GB - METHOD (PER DETAIL ON SHEET A11)



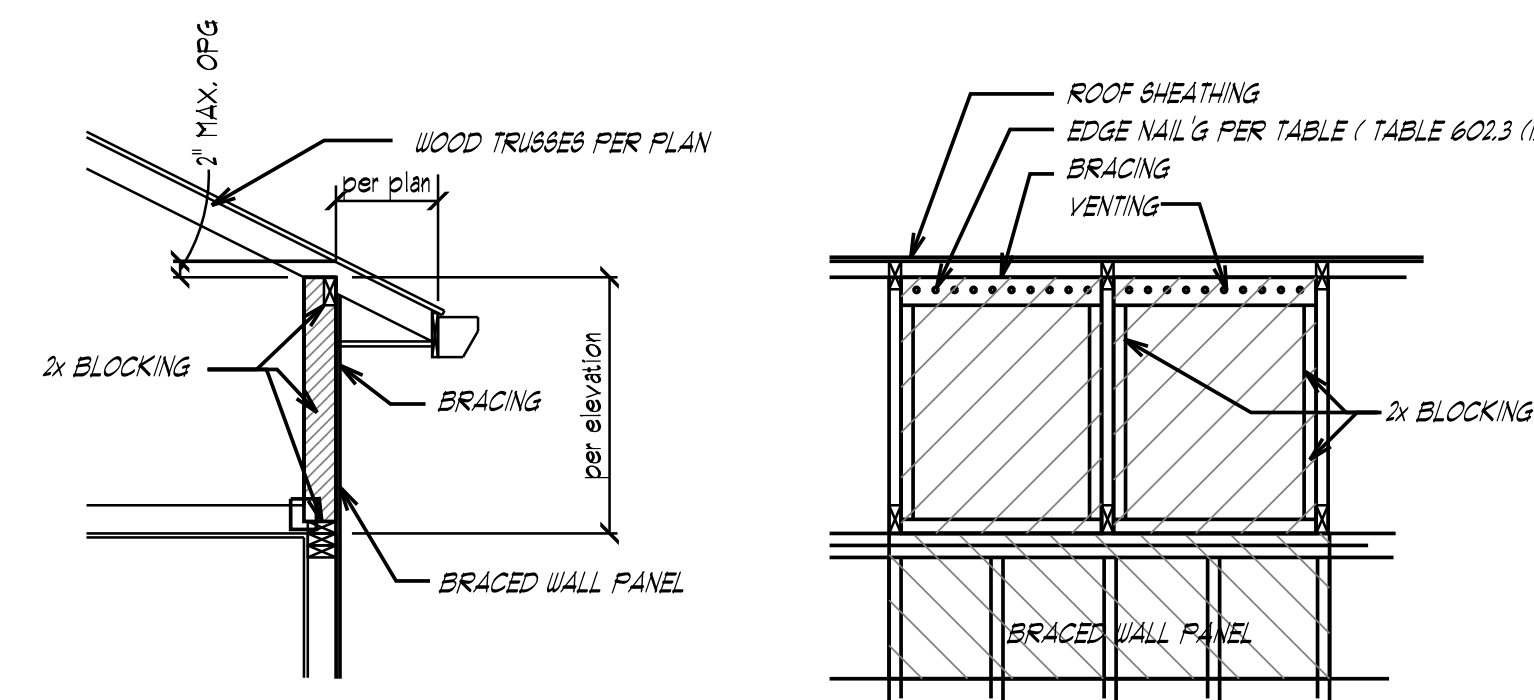
- NAIL OPTIONS:**
- 13 GAGE, 1 3/8" LONG, 19/64" HEAD
 - 0.098" DIAMETER, 1 1/4" LONG ANNULAR-RINGED
 - 5d COOLER NAIL, 0.086" DIAMETER, 1 5/8" LONG, 15/64" HEAD
 - GYPSUM BOARD NAIL, 0.086" DIAMETER, 1 5/8" LONG, 9/32" HEAD

- SCREW OPTION:**
- TYPE W OR S SCREWS IN ACCORDANCE WITH ASTM C1002 W/ MINIMUM 5/8" MINIMUM EMBEDMENT INTO FRAMING

- GYPSUM WALL BOARD TO BE 1/2" GYPSUM WALL BOARD

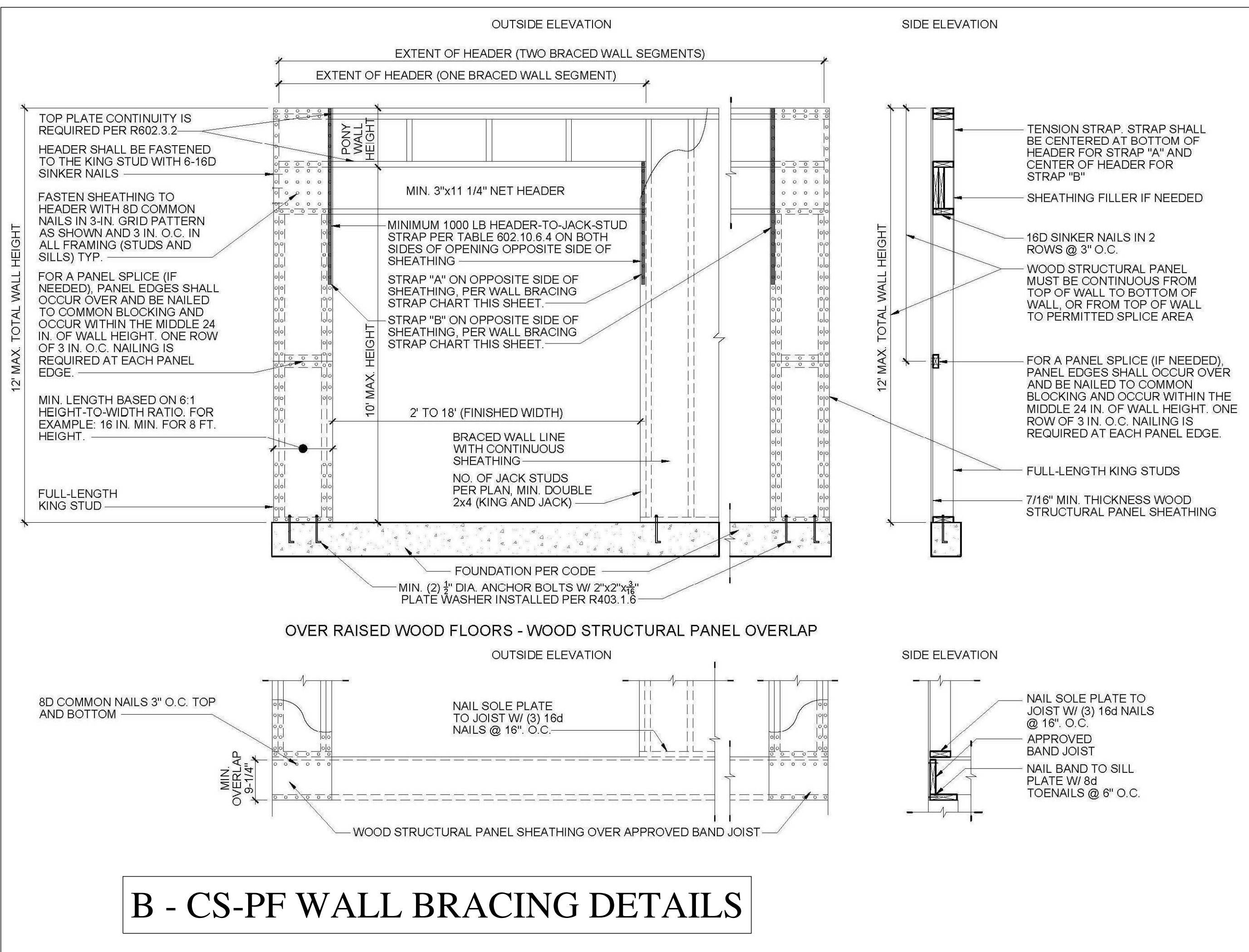
C - GB WALL BRACE DETAIL

- GENERAL ROOF NOTE:**
1. 12" MIN. OVERHANGS U.N.O.
 2. 8" MIN. HEEL HGT. FINAL HGT PER TRUSS MANUF.
 3. REFER TO BUILDING ELEVATIONS FOR ROOF PITCHES AND ROOF PROFILES.
 4. FLASH AROUND ALL ROOF PENETRATIONS. COORDINATE ALL ROOF PENETRATIONS AND FLASHING DETAILS WITH ROOFING CONTRACTOR.
 5. ALL FLASHING AT BRICK OR STONE TO HAVE REGLET CUT INTO MORTAR JOINTS. FLASH AND COUNTER FLASH PER RCO CODE AND MANUF. SPECIFICATIONS AND/OR DETAILS.
 6. ALL ROOF TO WALL CONDITIONS TO RECEIVE ICE AND DAM MEMBRANE AND STEP FLASHING (AS REQUIRED) AND ROOF TO WALL FLASHING TO BE PART OF THE ROOF INSTALLATION.
 7. VALLEY FLASHING TO BE PRE-PAINTED HEAVY GAUGE METAL.
 8. LAYOUT FOR DESIGN INTENT ONLY FINAL LAYOUT PER TRUSS MANUF.

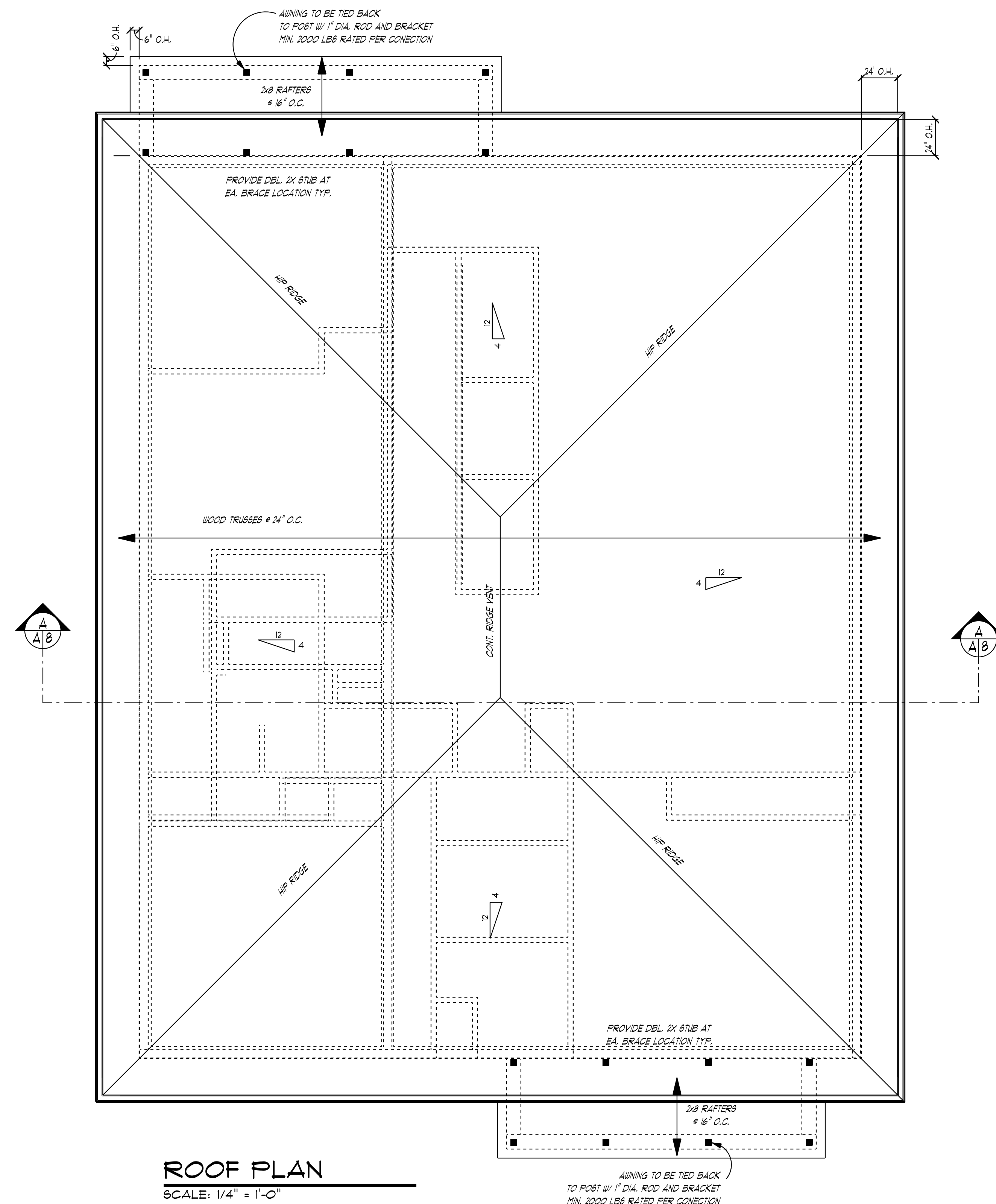


TRUSS RAISED HEEL SHEATHING DETAIL

SCALE: 1/4" = 1'-0"

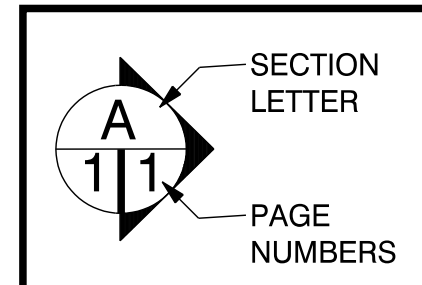


B - CS-PF WALL BRACING DETAILS



ROOF PLAN

SCALE: 1/4" = 1'-0"



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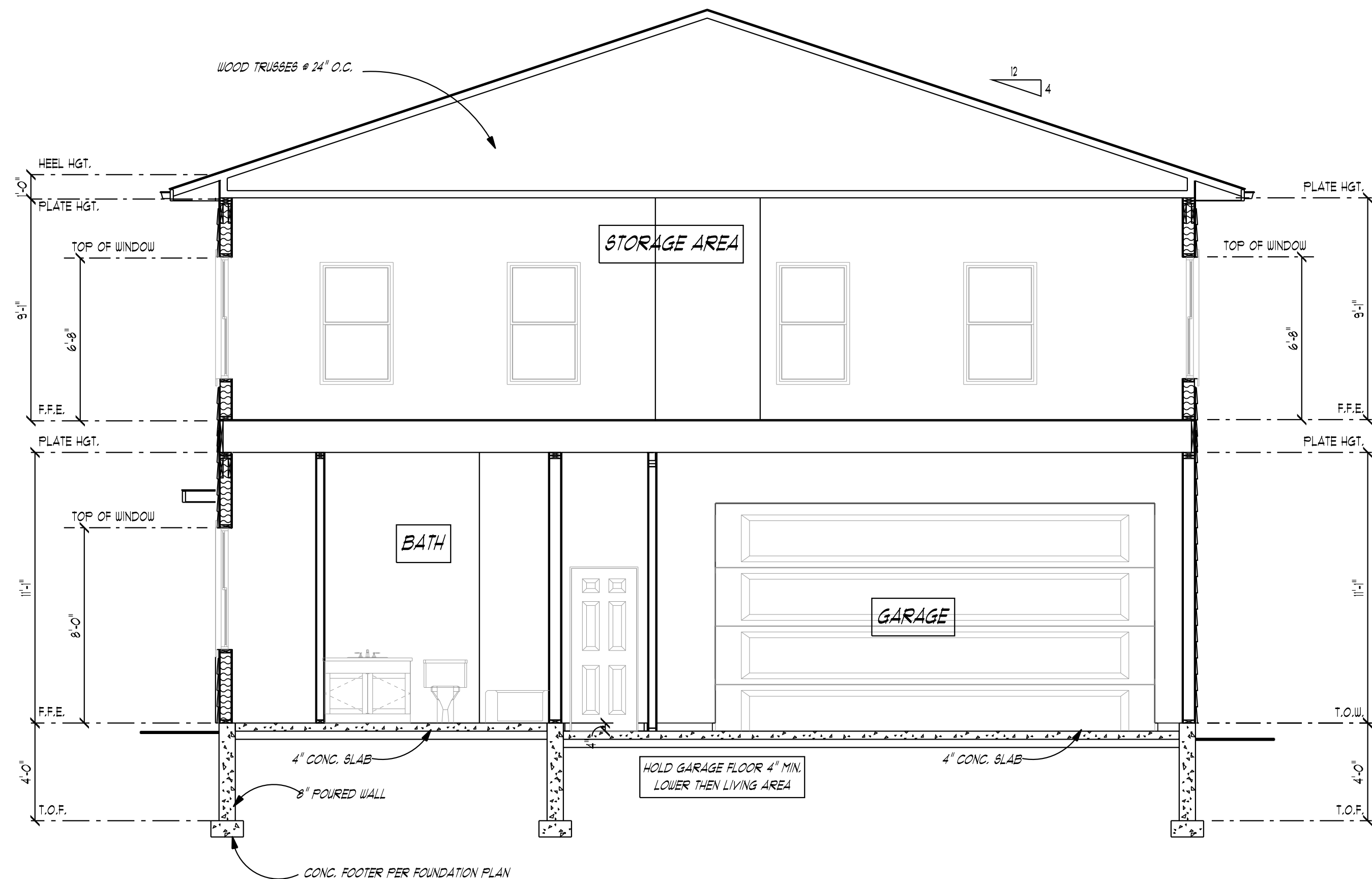
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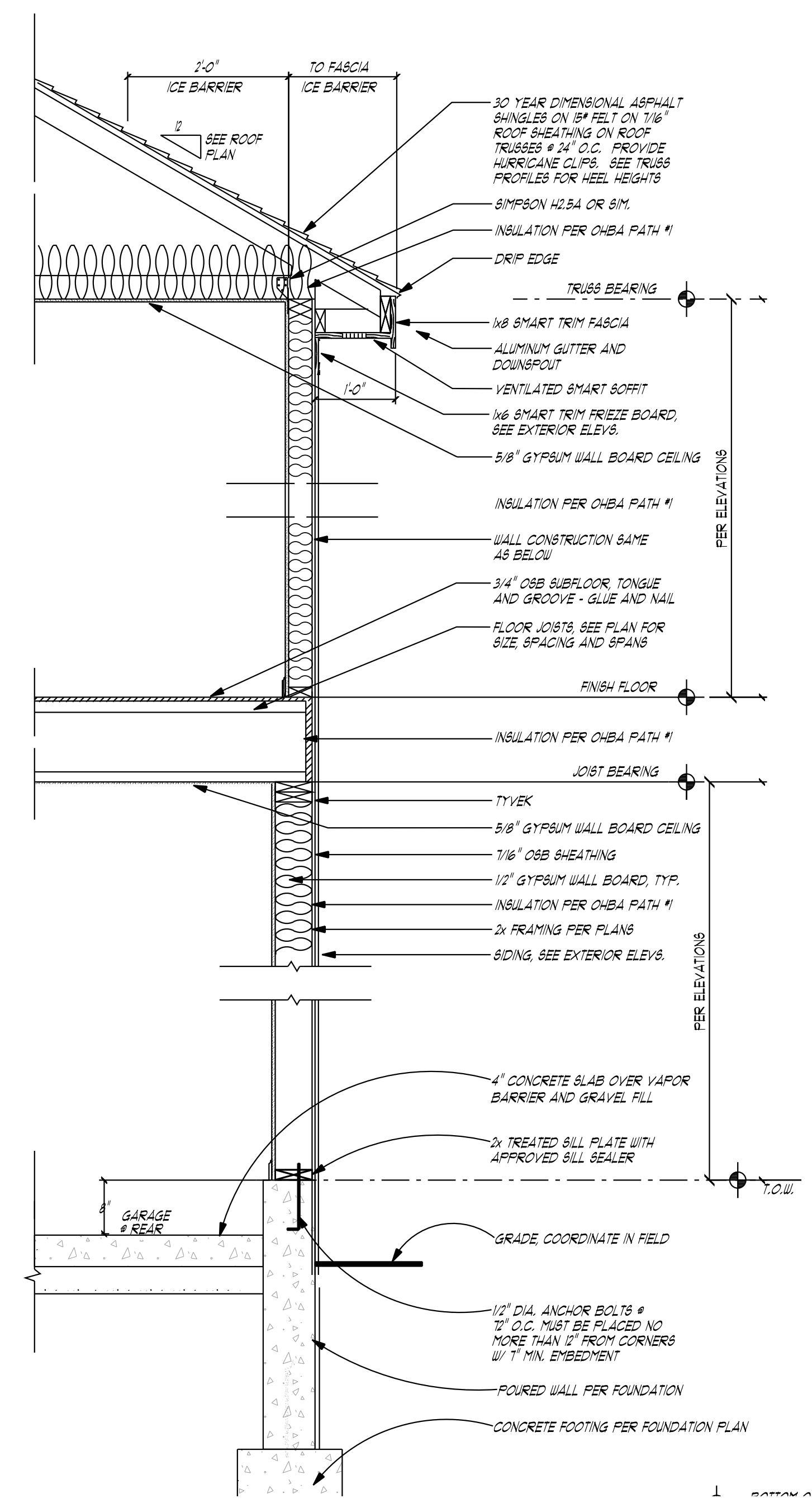
Tuesday, April 21, 2026
REVISED:

SHEET #

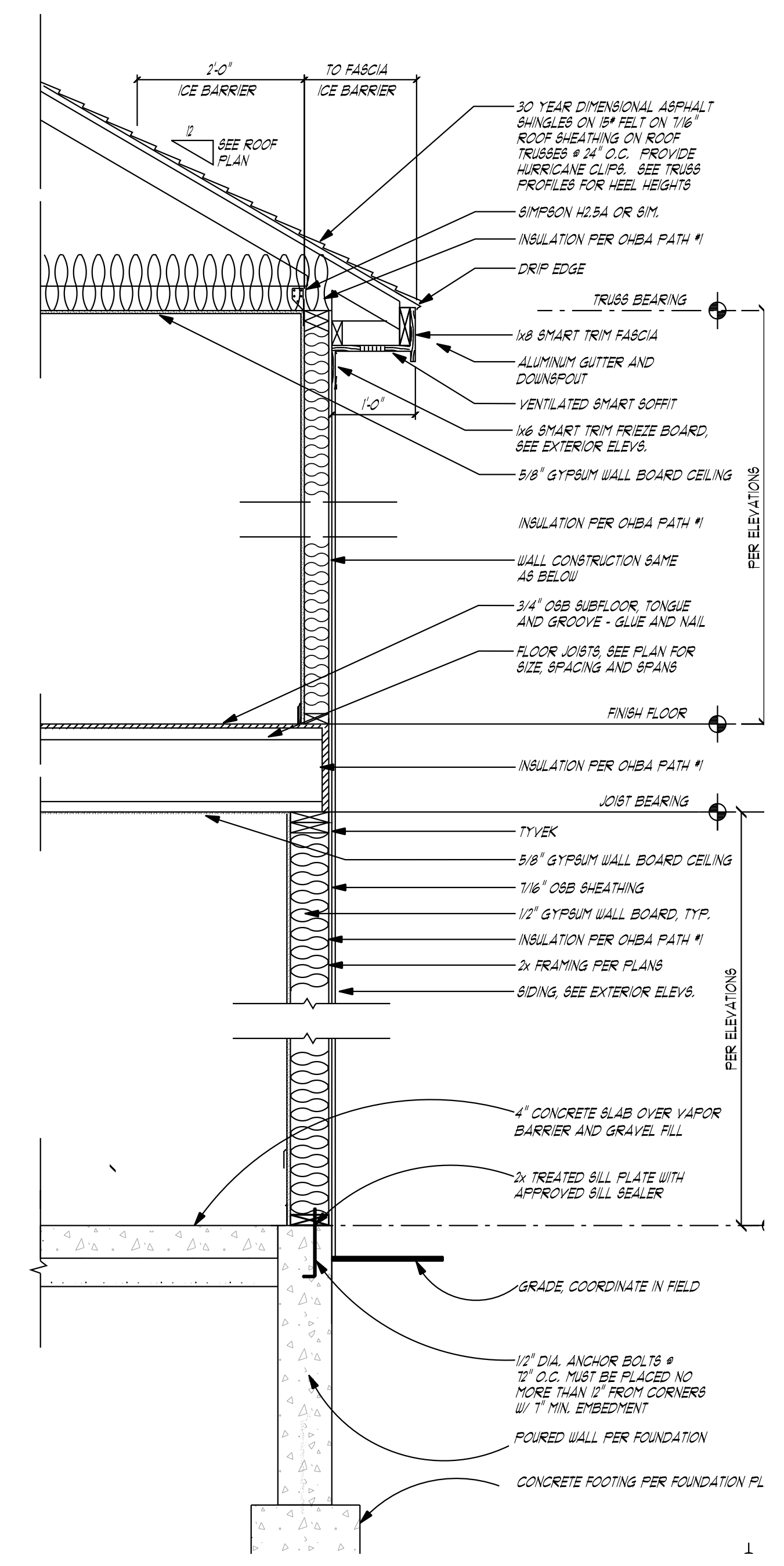
A7



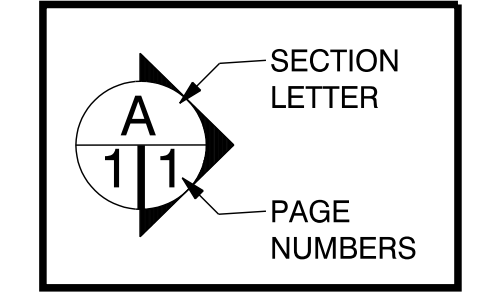
BUILDING CROSS SECTION
SCALE: 1/4" = 1'-0"



TYP. WALL SECTION AT GARAGE
SCALE: 1/2" = 1'-0"



WALL SECTION SLAB ON GRADE
SCALE: 1/2" = 1'-0"



Bahgat Garage
3377 Cemetery Rd
Hilliard Ohio 43026

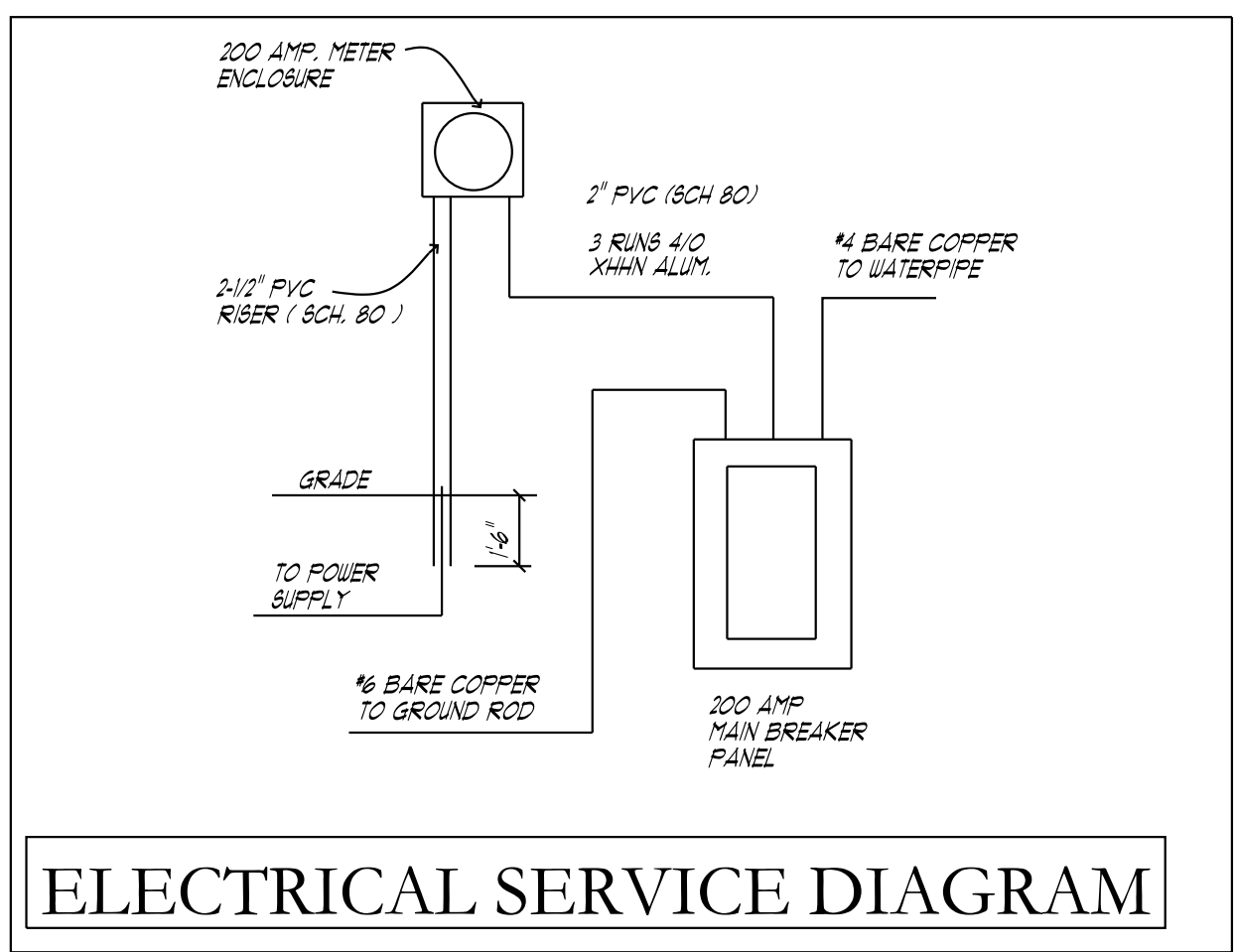
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Tuesday, April 21, 2026
REVISED:

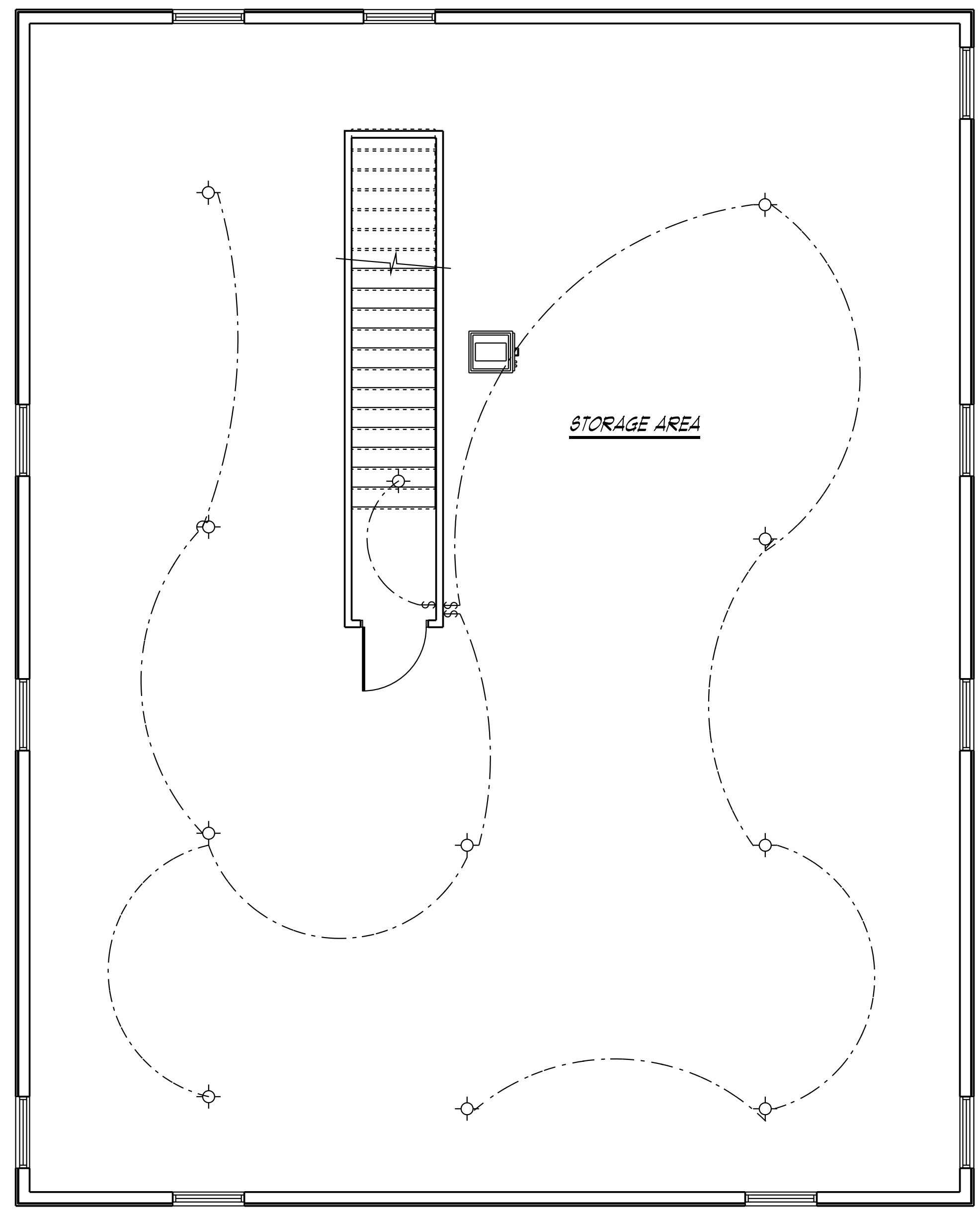
- GENERAL ELECTRICAL NOTES:
- TAMPER RESISTANT: IN ALL AREAS SPECIFIED IN ARTICLE 20.32, ALL NONLOCKING TYPE 125-VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (NEC 406.10).
 - ARC-FAULT: ALL 120 VOLT SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUIT SUPPLYING OUTLETS INSTALLED IN DUELING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT (NEC 20.32.1). (1) A SINGLE ROD, PIPE OR PLATE ELECTRODE SHALL BE SUPPLEMENTED BY AN ADDITIONAL ELECTRODE OF A TYPE SPECIFIED IN 250.53(A)(2) THROUGH (A)(8). THE SUPPLEMENTAL ELECTRODE SHALL BE BONDING TO ONE OF THE FOLLOWING: (1) ROD, PIPE OR PLATE ELECTRODE (2) GROUNDING ELECTRODE CONDUCTOR (3) GROUNDING SERVICE ENTRANCE CONDUCTOR (4) NONFLEXIBLE GROUNDING SERVICE RACEWAY (5) ANY GROUNDING SERVICE ENCLOSURE (6) IF MULTIPLE ROD, PIPE OR PLATE ELECTRODE ARE INSTALLED TO MEET THE REQUIREMENTS OF THIS SECTION, THEY SHALL NOT BE LESS THAN 6 FEET APART. (B) WHERE MORE THAN ONE OF THE ELECTRODES OF THE TYPE SPECIFIED IN 250.53(A)(8) OR (A)(1) ARE USED, EACH ELECTRODE OF ONE GROUNDING SYSTEM (INCLUDING THAT USED FOR STRIKE TERMINATION DEVICES) SHALL NOT BE LESS THAN 6 FEET FROM ANY OTHER ELECTRODE OF ANY OTHER GROUNDING SYSTEM. TWO OR MORE GROUNDING ELECTRODES THAT ARE BONDED TOGETHER SHALL BE CONSIDERED A SINGLE GROUNDING ELECTRODE SYSTEM. (C) THE BONDING JUNCTION USED TO CONNECT THE GROUNDING ELECTRODES TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 250.64(A), (B), AND (E). SHALL BE SIZED IN ACCORDANCE WITH 250.66, AND SHALL BE CONNECTED IN THE MANNER SPECIFIED IN 250.10 (NEC 250.53(A)).
 - GFCI RECEPTACLES: GFCI PROTECTION FOR PERSONNEL SHALL BE PROVIDED AS REQUIRED IN 20.8(A) THROUGH (D). THE GROUND FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION, A READILY ACCESSIBLE LOCATION SHALL BE ABLE TO BE REACHED QUICKLY WITHOUT THE USE OF TOOLS, REMOVAL OF OBSTACLES, CLIMBING, OR USE OF LADDERS. THIS MAY BE:
 - DIFFICULT FOR REFRIGERATORS, DISHWASHERS, MICROWAVES, AND DISPOSALS UNLESS PROTECTED BY A GFCI BREAKER (NEC 20.8).
 - GFCI RECEPTACLES: GFCI PROTECTION OF RECEPTACLE OUTLETS TO ALL RECEPTACLES WITHIN 6 FEET OF ANY TYPE OF SINK. THIS NOW INCLUDES RECEPTACLES WITHIN 6 FEET OF THE KITCHEN SINK TO HAVE GFCI PROTECTION EVEN IF THEY ARE NOT PART OF THE KITCHEN, INCLUDING RECEPTACLES FOR DISPOSALS AND REFRIGERATORS. WALL RECEPTACLES ON THE BACK SIDE OF A PENINSULA WITH A PREP SINK, HAND SINK, KITCHEN SINK, OR BAR SINK MAY FALL INTO THIS 6 FOOT RANGE AND REQUIRE GFCI PROTECTION (NEC 20.8(A)(1)).
 - GFCI RECEPTACLES: ALL RECEPTACLES WITHIN 6 FEET OF A SHOWER STALL OR BATHTUB SHALL BE GFCI PROTECTED EVEN IF THEY ARE NOT IN A BATHROOM. AN ADJOINING CLOSET, DRESSING TABLE OR BEDROOM MAY FALL IN THIS RANGE (NEC 20.8(A)(3)).
 - GFCI RECEPTACLES: ALL RECEPTACLES WITHIN A LAUNDRY ROOM SHALL BE GFCI PROTECTED REGARDLESS OF THE PRESENCE OR ABSENCE OF A LAUNDRY SINK (NEC 20.8(A)(10)).
 - ARC RECEPTACLES: THIS SECTION HAS BEEN EXPANDED TO INCLUDE ARC PROTECTION FOR KITCHEN AND LAUNDRY AREAS. THIS WILL INCLUDE THE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SERVING COUNTERTOPS, AND THE DISPOSAL, DISHWASHER, REFRIGERATOR AND MICROWAVE RECEPTACLES. THESE AREAS WILL BE BOTH GFCI AND ARC PROTECTED (NEC 20.12(A)).
 - RECEPTACLES: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED FOR EACH CAR SPACE WITHIN THE GARAGE. THE BRANCH CIRCUIT SUPPLYING THIS RECEPTACLE SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE (NEC 20.12(B)).
 - EXTERIOR LIGHT: FOR DUELING UNITS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRIC POWER, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR OR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS (NEC 20.10(D)).

- OUTLET BOXES: OUTLET BOXES LISTED FOR SUPPORT OF LUMINAIRS OR LAMPHOLDERS SHALL CONTAIN MARKINGS FOR THE MAXIMUM WEIGHT ALLOWED ON THE INSIDE OF THE BOX (NEC 314.15(A)).
- GROUNDING CONDUCTORS: NOW REQUIRES THAT A GROUNDING CONDUCTOR ONLY BE PROVIDED AT ONE SWITCH LOCATION WHEN MULTIPLE SWITCHES CONTROL THE SAME LIGHTING CIRCUIT (IT IS NOW ALLOWED TO USE A DEAD-END THREE WAY) (NEC 404.1 C).
- RECEPTACLES: ALL RECEPTACLES IN WET LOCATIONS SHALL HAVE A LISTED "EXTRA-DUTY" INUSE COVER (NEC 404.6(D)).
- WET LOCATIONS: RECEPTACLES OF 15 AND 20 AMPERES, 125 AND 250 VOLTS INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE LISTED AND SHALL BE IDENTIFIED AS "EXTRA-DUTY" (NEC 406.9(B)(1)).
- GROUNDING ELECTRODE SYSTEM INSTALLATION: (A) ROD, PIPE AND PLATE ELECTRODES SHALL MEET THE REQUIREMENTS OF NEC 250.53(A)(1). (1) IF PRACTICABLE, ROD, PIPE AND PLATE ELECTRODES SHALL BE EMBEDDED BELOW PERMANENT MOISTURE LEVEL. ROD, PIPE AND PLATE ELECTRODES SHALL BE FREE FROM NONCONDUCTIVE COATINGS SUCH AS PAINT OR ENAMEL.
- ELECTRIC WORK: ALL NEW ELECTRIC WORK IS TO BE INSTALLED PER THE 2017 NATIONAL ELECTRIC CODE.
- MANDATORY WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM: AN EXHAUST SYSTEM, SUPPLY SYSTEM OR A COMBINATION THERE OF THAT IS DESIGNED TO MECHANICALLY EXCHANGE INDOOR AIR FOR OUTDOOR AIR WHERE OPERATING CONTINUOUSLY OR THROUGH A PROGRAMMED INTERMITTENT SCHEDULE TO SATISFY THE WHOLE-HOUSE VENTILATION RATE (303.103.6 & 1.805).
- GARAGE BRANCH CIRCUITS: IN ADDITION TO THE NUMBER OF BRANCH CIRCUITS REQUIRED BY OTHER PARTS OF THIS SECTION AT LEAST ONE 120 VOLT, 20 AMP BRANCH CIRCUIT SHALL BE INSTALLED TO SUPPLY RECEPTACLES OUTLETS IN ATTACHED AND DETACHED GARAGES WITH ELECTRIC POWER. THE CIRCUIT SHALL HAVE NO OTHER OUTLETS (NEC 20.10).
- LIGHTING OUTLETS: FOR ATTICS AND UNDERFLOOR SPACES, UTILITY ROOMS AND BASEMENTS AT LEAST ONE LIGHTING OUTLET CONTAINING OR CONTROLLED BY A SWITCH SHALL BE INSTALLED WHERE THESE SPACES ARE USED OR CONTAIN EQUIPMENT REQUIRING SERVICE (NEC 20.10 C).

ELECTRICAL PANEL									
200 AMP		CONNECTED LOAD 47.6 K.W. 148 AMP							
W.B.	ITEMS	K.W.	B.K.R.	C.C.T.	B.K.R.	K.W.	ITEMS	W.B.	
8	RANGE	9.60	240	1	2	240	8.00	AIR COND.	8
10	DRYER	4.00	230	3	4				
12	REFRIGERATOR	1.00	120 APC	5	6	120 APC	1.00	MICROWAVE	12
12	KITCHEN OUTLETS	0.80	120 APC	11	12	120 APC	1.00	WHIRLPOOL	12
12	WASHER	1.00	120 APC	13	14	120 APC	1.00	KITCHEN LIGHTS	12
14	STUDY	0.80	118 APC	15	16	118 APC	0.40	GDO #1	14
14	GDO #2	0.40	118 APC	17	18	118 APC	1.00	DISHWASHER	14
12	HALL BATH GFI	0.80	120 APC	19	20	118 APC	0.80	DISPOSAL	14
14	PURNAGE	0.80	118 APC	21	22	118 APC	1.80	BUMP	14
14	BDRM #1 LIGHTS / OUTLETS	1.80	118 APC	23	24	118 APC	1.80	OWNERS LIGHTS / OUTLETS	14
14	BDRM #2 LIGHTS / OUTLETS	1.80	118 APC	25	26	118 APC	1.80	BATH OUTLETS / LIGHTS	14
14	BDRM #3 LIGHTS / OUTLETS	1.80	118 APC	27	28	118 APC	1.00	GREAT ROOM OUTLETS	14
14	SMOKE DET.	0.80	118 APC	29	30	118 APC	1.80	DINING ROOM OUTLETS	14
14	BASEMENT	1.80	120 APC	31	32	118 APC	1.80	LIGHTING / BASEMENT	14
	SPARE			33	34			SPARE	
	SPARE			35	36			SPARE	
	SPARE			37	38			SPARE	
	SPARE			39	40			SPARE	

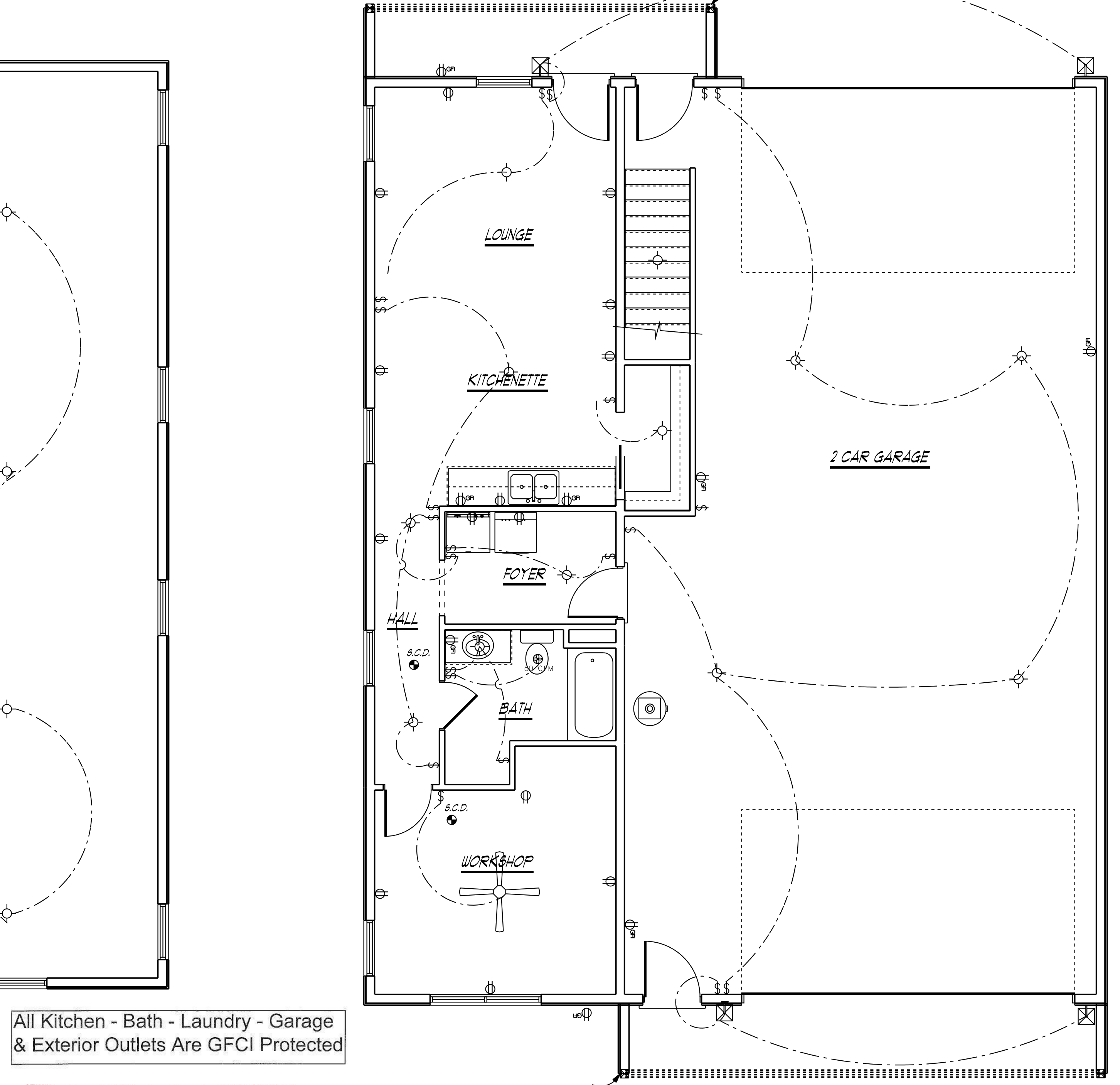


SYMBOL LEGEND	
	10V DUAL OUTLET
	10V SWITCHED OUTLET
	10V WEATHERPROOF OUTLET
	10V GROUND FAULT INTERRUPTER OUTLET
	20V RECEPTACLE
	10V FLOOR OUTLET
	LIGHT SWITCH
	(3) 3WAY LIGHT SWITCH
	DIMMER SWITCH
	CEILING LIGHT
	RECESSED CAN LIGHT
	WALL MOUNT LIGHT
	PEDIMENT LIGHT
	U.C.L. / UNDER CABINET LIGHT
	BOFFIT UP LIGHT
	LED FIXTURES
	LED FLOOD LIGHTS
	CEILING FAN
	EXHAUST FAN/LIGHT COMBO
	EXHAUST FAN
	ELECTRIC SERVICE PANEL PER SPEC.
	SMOKE AND CARBON MONITORING DETECTOR COMBO



ELECTRICAL LAYOUT FOR BIDDING AND PERMIT ONLY
FINAL LAYOUT PER OWNER AND BUILDER

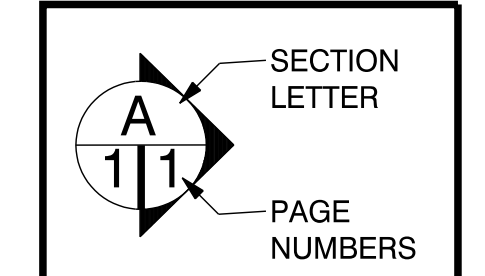
ELECTRICAL PLAN STORAGE ROOM
SCALE: 1/4" = 1'-0"



All Kitchen - Bath - Laundry - Garage & Exterior Outlets Are GFCI Protected

All Outlets & Switches Are ARC Fault Protected

ELECTRICAL PLAN FIRST FLOOR
SCALE: 1/4" = 1'-0"



Bahgat Garage
3377 Cemetery Rd
Hilliard Ohio 43026

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Tuesday, April 21, 2026
REVISED:



RESIDENTIAL ZONING COMPLIANCE APPLICATION & SUBMITTAL INSTRUCTIONS

****Please review the following to ensure all forms are completed and required documents are provided PRIOR TO SUBMITTAL. Incomplete applications will not be accepted. Submittals are not complete and are not considered accepted until all required documents are provided, and fees are paid.***

*****Forward any questions about application, site plan, and/or submittal options to the Planning Project Coordinator at 614-525-3904 or Planning@franklincountyohio.gov.***

1. **COMPLETED APPLICATION FORM** – Please confirm all application form requirements are complete.
 - a. Property Information (Site address, Parcel ID, Zoning District, Lot Acreage, Township)
 - b. Property Owner, Applicant, and/or Agent Information – All required Name(s), Phone Number(s), Email Address(es) of owner, applicant, and/or agent on behalf of the owner and/or applicant.
 - c. Proof of Public Water/Wastewater Service (when applicable). A utility bill may be provided.
 - d. Complete all ‘Project Descriptions’ and/or questions (if applicable).
 - e. Mark all checklist boxes on application form to confirm all required documents have been provided.
 - f. Provide Owner/Applicant Signature (and notary if required)

2. **COMPLETED SITE PLAN/SURVEY**
 - a. Confirm ALL Site Plan/Survey requirements have been provided.
 - i. Refer to Plan/Survey checklist in application packet for general requirements.
 - ii. Requirements may vary.
 - iii. Contact Planning Project Coordinator to confirm specific site Plan/Survey requirements.
 - b. Missing items may cause the application to be rejected until the required information is provided and confirmed by Staff.

3. **APPLICATION SUBMITTAL**
 - a. Applications for Certificates of Zoning Compliance Applications may be submitted online at: <https://co-franklin-oh.smartgovcommunity.com/ApplicationPublic/ApplicationHome>.
 - b. All other applications should be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN: Tre’ Wolf, Planning Project Coordinator.

4. **TECHNICAL REVIEW COMMITTEE REFERRAL**
 - a. Applications must comply with applicable local and state requirements and regulations. These may include, but are not limited to, the Franklin County Public Health Regulations, Franklin County Sanitary Engineer requirements, Franklin County Drainage Engineer requirements, Franklin County Engineer requirements.
 - b. Referral agencies must confirm compliance with applicable regulations prior to approval.
 - c. Additional permits may be required from the Townships for access or from technical review agencies.



Property Information

Site Address: **3377 Cemetery Rd. Hilliard, OH 43026**

Parcel ID(s): **200-000696-00** Zoning District: **Rural (R)**

Lot Acreage: **2.82** Township: **Norwich**

Property Owner Information

Name: **3377 Cemetery LLC**

Address: **3377 Cemetery Rd. Hilliard, OH 43026**

Phone # [Redacted] Fax # [Redacted]

Email: [Redacted]

Applicant Information

Same as property owner

Name: **Eric Bahgat**

Address: **3377 Cemetery Rd. Hilliard, OH 43026**

Phone # [Redacted] Fax # [Redacted]

Email: [Redacted]

Development Proposal

New Residence Room Addition

Patio/Deck Swimming Pool

Detached structure (pole barn, shed, etc.) Home Occupation

Pond Driveway, parking pad, etc.

Interior remodel, fire rehab, etc. Land Disturbance (grading, filling, etc.)

Roofing, siding and/or window replacement Minor Subdivision (lot split, etc.)

Community Garden Apiaries

Other (please describe):

Applicant Signature

I, Eric Bahgat (Print Name), hereby certify that all information provided is true and accurate and is submitted to induce the issuance of a Certificate of Zoning Compliance. I agree to be bound by all provisions of the Franklin County Zoning Resolution. I further agree to complete all work in accordance with all applicable Federal, State and local laws and regulations.


Applicant's Signature

Staff Use Only

RZ#26-100

Date Filed: **04/22/2026**

Fee Paid: **\$75.00**

Receipt: # **26-01212**

Received By: **Austin W.**

Water Supply

Public (Central)

Private (On-site)

Other

Wastewater Supply

Public (Central)

Private (On-site)

Other

Submittal Checklist

Completed Application Form

Fee Payment (check/money order only)

Site Plan (max. 11"x17") see pg. 2

Proof of Public Water/Wastewater

Supporting Documents (Home Occupation, Pond, Apiaries, etc.)

4/26/26
Date



Site Plan Requirements

***** Site plans which are incomplete and/or not drawn to scale will not be accepted*****

- **Preparation & Submittal**

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) for all new home builds, accessory buildings larger than 200 ft², any project involving grading work within 30 ft of a lot line, and any other project deemed necessary by the Administrative Officer as provided for in Section 705.022 of the Franklin County Zoning Resolution
- Two (2) copies: Minimum size = 8.5"x11" paper, Maximum size = 22" x 34" paper
 - Plans larger than 11" x 17" must be accompanied by a digital copy in PDF format

- **Basic Content**

- North arrow and appropriate scale (i.e. 1 inch = 20 feet)
- Property lines labeled with dimensions. (Dimensions must be precise to 0.01' for professionally prepared plans and 1' for personally prepared plans.)
- Street right-of-way boundary and street centerline

- **Show all existing site conditions (label as "Existing"):**

- Location and dimensions of all existing buildings, structures* and landscaping
- Driveways, parking pads and other parking areas labeled with the dimensions and associated surface material
- On-site water and sanitary system location and dimensions. Provide proof of public water and/or sewer otherwise
- Existing use(s) of all buildings with associated gross floor area (GFA)
- All easements and utilities (*above and below ground*). Easement information available at the County Recorder's office.
- Existing above and below ground drainage and stormwater features

**Structures may include but are not limited to swimming pools, ponds, sports courts, patios, porches, decks, overhangs and fences*

- **Show all proposed development (label as "Proposed"):**

- Location and dimensions of all proposed buildings, structures, additions, modifications to buildings/structures, and geothermal systems.
- Setback distance of all proposed development from the house, street centerline and all property lines
- Building elevations and/or architectural renderings (*if applicable*)
- Impervious surface locations and dimensions with total lot coverage calculations provided
- Grading and drainage plan showing proposed above and below ground drainage and stormwater features. (existing and proposed 1' contours, and discharge outlets for downspouts, sump pumps and discharging geothermal systems)
- Area (ft²) of disturbance (i.e. grading, filling, clearing and excavating, etc.) drawn and labeled
- Label buildings and/or structures to be demolished or removed (TBR) from the property

- **Additional Content**

- Regulatory floodplain and riparian setback boundaries (*if applicable*)
- Erosion and sediment control plan (*if applicable*)

Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed.



Certificate of Zoning Compliance

Residential Construction
Page 3 of 3

RZ# 26-100

Staff Use Only

Development Standards

Zoning District:	Rural (R)	
Subdivision Name		
Non-Conforming:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Floodplain:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Riparian Setbacks:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
VACU Required:	<input type="checkbox"/> Yes, Case #:	<input type="checkbox"/> No

	Required	Proposed
Lot Width:	150 ft	153.78 ft
Road Frontage:	150 ft	153.78 ft
Lot Area:	2.5 acre/s	2.82 acre/s
Lot Coverage:	20 %	6.17 %
Front Yard:	N/A ft	N/A ft
Side Yard (Left)*:	20 ft	12.5 ft
Side Yard (Right)*:	20 ft	97 ft
Rear Yard:	20 ft	ft
Distance from house	10 ft	ft
Building Height:	25 ft	ft
Parking Setback:	ft	ft

*As viewed from the street

Area Calculations

Principal Structure:	3,242.88 ft ²
Patio Accessory Structure:	712.41 ft ²
Parking Accessory Structure:	1,023.51 ft ²
Accessory Structure:	582.4 ft ²
Proposed Structure:	ft ²
Proposed Structure:	2,000 ft ²
Area of Disturbance:	0.174 acre/s

Technical Agencies

Public Health/OEPA	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
County Engineer	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
FSWCD	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
ODOT	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Date Submitted:		
Date of Action:		

Staff Action

Approved Approved with Conditions Denied

Signature

Date

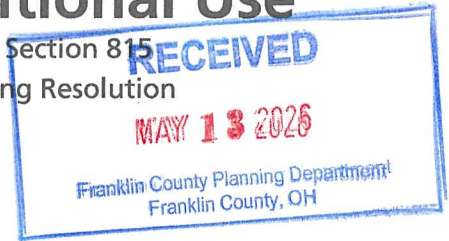
Comments/Conditions of Approval



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Conditional Use

Pursuant to Section 815
of the Zoning Resolution
Page 1 of 8



Property Information

Site Address: **3773 BEECHTON RD**

Parcel ID: **180-002363-00** Zoning District: **2507 - GROVEPORT-MADISON SCHOOLS**

Lot Acreage: **0** Township: **MADISON TOWNSHIP**

Property Owner Information

Name: **BATAINEH FATEN M**

Address: **3773 BEECHTON RD**
COLUMBUS OHIO

Phone # [Redacted] Fax # [Redacted]

Email: [Redacted]

Applicant Information Same as property owner

Name: **SAME AS AGENT**

Address:

Phone # [Redacted] Fax # [Redacted]

Email: [Redacted]

Agent Information

Name: **UZIHEL MORENO**

Address: **3901 BAYBERRY CIRCLE 43207**

Phone # [Redacted] Fax # [Redacted]

Email: [Redacted]

Staff Use Only

Case # **CU-41107**

Date Filed: **5/14/20**

Received By: **Kayla J.**

Fee Paid: **\$3500**

Receipt Number: **26-01395**

Hearing Date: **6/10/20**

Technical Review: **5/26/20**

Zoning Compliance #: **#R7 20-062**

Checklist

- Completed Application
- Fee Payment (checks only)
- Auditor's Map (8.5"x11")
- Site Map (max 11"x17")
- Covenants and deed
- Notarized signatures
- Proof of water/wastewater supply
- Copy of denied Zoning Certificate
- Copy of denial letter

Water & Wastewater

- Water Supply**
- Public (Central)
 - Private (On-site)
 - Other
- Wastewater Treatment**
- Public (Central)
 - Private (On-site)
 - Other



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Conditional Use
Pursuant to Section 815
of the Zoning Resolution
Page 2 of 8

Case# CU-

Conditional Use(s) Requested:

Section: ~~610.06~~ 610.06 (7) - grading
 Description: TO BUILD MY SINGLE FAMILY HOME AND GARAGE ON LOT WHERE HOUSE AND GARAGE ONCE WAS EXISTING
 Section: 610.06 (2) - Residential House
 Description:
 Section: 610.06 (4) - Driveway Parking
 Description:

Describe the project:

BUILDING NEW SINGLE FAMILY HOUSE & GARAGE WHEER THE WAS ONCE ON PREVIOUSLY LOCATED

NOTE: The applicant must demonstrate that the proposal can satisfy all of the conditional use requirements of the respective zoning district in addition to all requirements under Section 815.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a conditional use. If you fail to answer any/all of the questions below, your application will be considered incomplete.

1. Proposed Use or Development of the Land:
 TO BUILD MY FAMILIES NEW HOME AND GARAGE



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Conditional Use

Pursuant to Section 815
of the Zoning Resolution
Page 3 of 8

Case# CU-

2. How will the proposed development relate to the existing and probable future land use character of the area:

MY HOME WILL BRING A NEW A FRESH LOOK TO THE AREA

3. Will the Conditional Use be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area?

YES IT WILL BE A POSITIVE APPEARANCE & DESIGN TO THE CHARACTOR OF THE GENERAL VICINITY .

4. Will the Conditional Use be hazardous or disturbing to existing or future neighboring uses?

NOTHING HAZARDOUS OR DUSTRUBING PRESENT OR FUTURE

5. Will the Conditional Use be detrimental to property in the immediate vicinity or to the community as a whole?

NO DETRIMENTAL USE NOW OR FUTURE

6. Will the Conditional Use be served adequately by essential public facility and services?

ALL PUBLIC SERVICES WILL HAVE PROPERTO ACCESS SERVICES EASILY



Case# CU-

7. How will the proposal meet the development standards of that specific district?

ALL BUILDING AND DEVELOPMENT WILL RECIEVE PLAN APPROVALS

8. Could the applicant's predicament be feasibly obtained through some method other than a conditional use?

NO ONLY PLAN APPROVEALS

9. Would the spirit and intent behind the zoning requirements be observed and would substantial justice be done by granting the conditional use?

YES IWOULD BE ABLE TO BUILD MY HOUSE AND THE EMPTY LOT WOULD NOT BE A NEIBORHOOD EYE SORE LITTIERED WITH TRASH

10. Would the conditional use adversely affect the delivery of governmental services (e.g., water, sewer, garbage, fire, police).

ALL GOVERNMENT SERVICES WILL HAVE COMPLET ACCESS TO THE PROPERTY

11. Did the applicant purchase the property with knowledge of the zoning restrictions?

NO I DID NOT KNOW ABOUT ANY ZONING RESTRICTIONS



Case# CU-

Conditional Use-Expanded Home Occupation (Only) NA

The following questions must be addressed when applying for a Conditional Use from Section 511.03 (Conditional Use Home Occupation) of the Franklin County Zoning Resolution. If these questions are not answered, the application will be considered incomplete.

1. Enclose all details regarding the day-to-day operations of the home occupation (type of business, hours of operation, designated parking areas, etc.). **N/A**

2. How many non-resident employees? **N/A**

3. Will the home occupation be conducted within a structure accessory to a dwelling unit and located on the same lot as the dwelling unit? **N/A**

4. What type of commodities, if any, will be sold on the premises? If sales of commodities are not produced on site, please specify all commodities associated with the home occupation? **N/A**

5. Will there be outside storage of any kind associated with the conditional use home occupation? If so, what is proposed to be stored on site and how will the storage be completely screened from adjacent residential lots and abutting streets? This must be met! **N/A**

6. Will there be any organized instruction of pupils that would exceed six (6) pupils at any given time? **N/A**

7. Will there be any signage? Signage shall be consistent with the provisions of Section 541.03(8). **N/A**

8. Will the delivery traffic increase? Traffic shall be limited to not more than three (3) UPS or similar deliveries per week. No semi-tractor truck deliveries will be permitted at any time. **N/A**




Franklin County Board of Commissioners
ECONOMIC DEVELOPMENT & PLANNING

Application for
Conditional Use
Pursuant to Section 815
of the Zoning Resolution
Page 6 of 8


Case# CU-

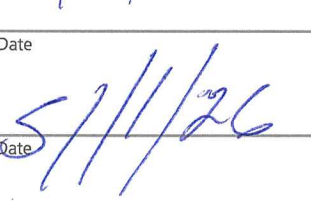
Affidavit

I hereby certify that the facts, statements, and information presented within this application form are true and accurate to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Conditional Use within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if a conditional use permit has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid conditional use permit, then the conditional use permit shall expire and no work may commence or continue without either renewing the conditional use or receiving a new conditional use approval from the Board of Zoning Appeals in accordance with Section 815 of the Franklin County Zoning Resolution.

UZIEL MORENO 
Applicant/Authorized Agent


Date 5/11/26

FATEN M BATAINEH
Property Owner (signature must be notarized)

Property Owner (signature must be notarized)

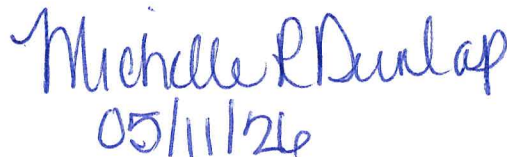

Date 5/11/26

- *Agent must provide documentation that they are legally representing the property owner.
- **Approval does not invalidate any restrictions and/or covenants that are on the property.

Applications may be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN: Tre' Wolf, Planning Project Coordinator. Forward any questions to the project coordinator at 614-525-3904 or Planning@franklincountyohio.gov.



MICHELLE R. DUNLAP
Notary Public, State of Ohio
My Commission Expires:
January 10, 2029


05/11/26

180-002368
510

180-002365
120 507

511
180-002369

3761
506
180-002364

60

512
180-002370

180-002363
505

3773

60

180-002371
513

180-002362
504

37

180-002371
513

180-002362
504

BEECHTON RD

Franklin County Auditor's Office

Auditor Michael Stinziano

Map Produced May 15, 2026

Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Construction
- Creeks, Streams, Ditches
- Rivers & Ponds

Topographic Legend

Source: OSIP - 2019 LiDAR Collection

- Spot Elevation
- Index Contour
- Intermediate Contour

Appraisal Legend

Source: Franklin County Auditor & Engineer

- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- 123 Main St Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundary
- County Boundary
- City or Village Boundary
- Tax District Boundary
- School District Boundary
- Zip Code Boundary

The information on this map is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained herein. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.



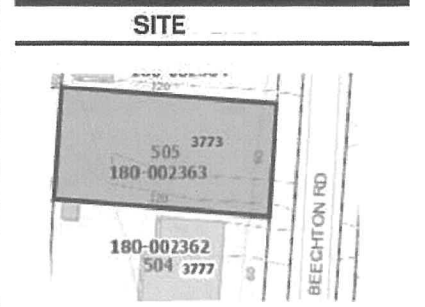
North arrow and scale bar (0, 10, 20 ft).

The data on this map was originally compiled at 1"=100' based on the Ohio State Plane South Coordinate System, North American Datum 1983 with 2' contours based on the North American Vertical Datum 1988 (when displayed).

Purdy Ditch crosses through this lot. This drainage tile will need to be protected during excavation activities.

This ditch is rerouted through the subdivision development, provide an outside to any drainage tile uncovered during construction activities.

RECEIVED
 MAY 13 2026
 Franklin County Planning Department
 Franklin County, OH
 CO-4167



CODES

2024 RCO
 2024 OHIO PLUMBING COD
 2024 MECHANICAL CODE
 2023 NEC,NFPA70

Revised
 05/08/2026 9:39:01 AM

REVISIONS

Revised
 03/26/2026 8:56:25 AM

PROJECT OWNER
 MORENO'S BUILDER LLC
 614 507 7163
 MORENOSCONSTRUCTION456@GMAIL.COM

DESIGNER: DERWIN L. WILLIAMS
 R.P.D.
 EMAIL: DLEW63@YAHOO.COM
 TEL: 614 607-8804

PROJECT ADDRESS
 Bataineh Residence
 3773 Beechton rd.
 Columbus, Ohio 43232

NORTH SCALE
 3/32" = 1' - 0"

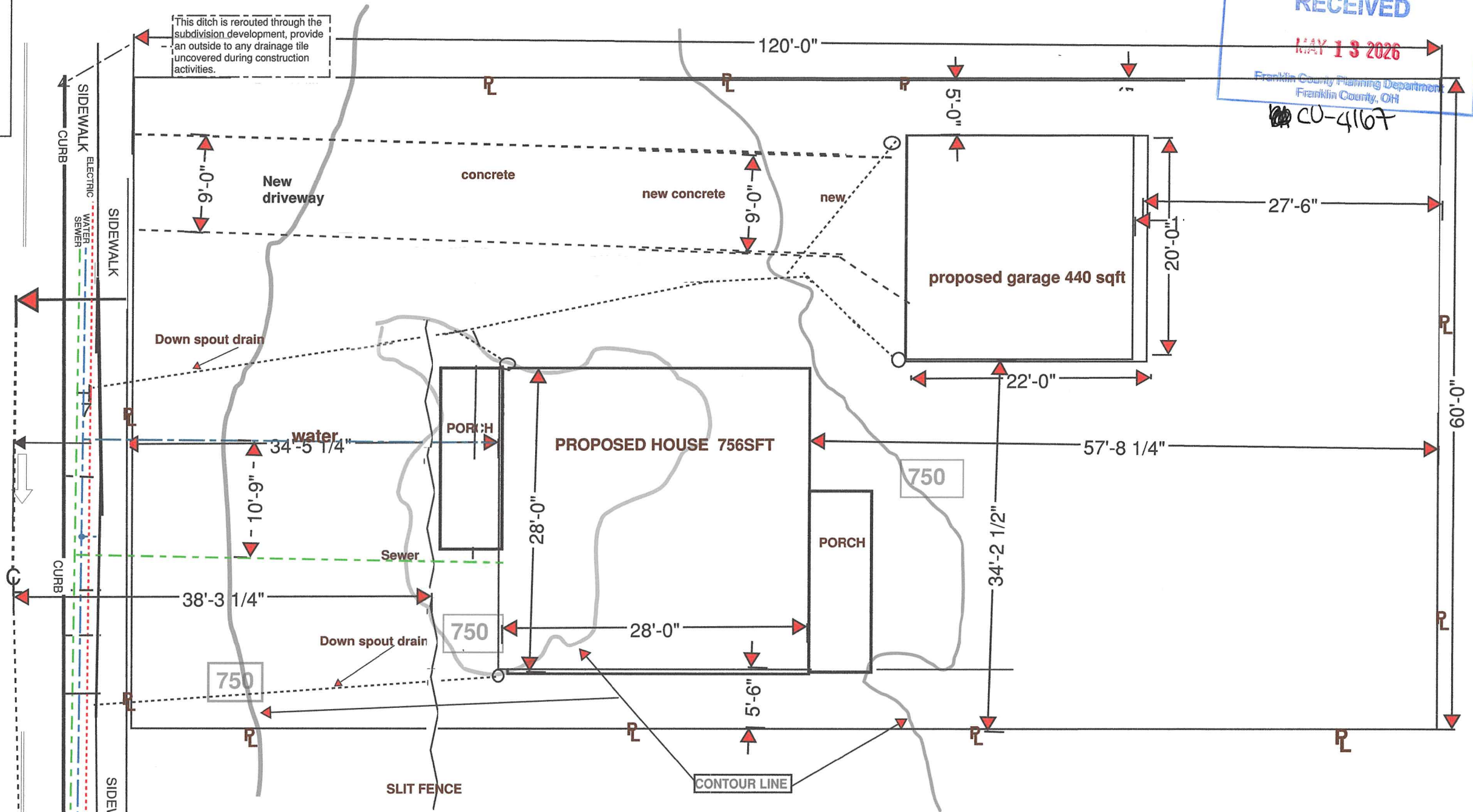
BUILDING TYPE
RESIDENTIAL

SHEET TITLE

SITE PLAN
 SHEET

A1

BEECHTON RD.



AREAS	
SOD AREA	745.55 SQ. YARDS
LOT AREA	7200 SQ.FT
DRIVEWAY AREA	800 SQ.FT
STRUCTURE AREA	756 SQFT
TOTAL REAR YARD	2670 SQ. FT
GARAGE	440 SQ.FT
REMAINING REAR YARD	1,560 SQ.FT

CLASSIFICATION	R
CATEGORY	RESIDENTIAL
PARCEL NUMBER	180-002363-00
LOT NUMBER	505

NO CONTURE CHANGE

INPERVIOUS AREA	
HOUSE 756 SQFT	
GARAGE 440 sqft	
CONCRETE DRIVEWAY 800SQFT	
TOTAL 1,996	

PERVIOUS AREA	
5204 SQFT	

GUTTER DRAIN SIZE 4" PVC
 SEWER SIZE SDR 35 6"
 WATER LINE SIZE 3/4 COPPER K PIPE
 DOWNSPOUT SIZE 4"

job will need a right of way (ROW) permit.
 Franklin County issues ROW permits on
 behalf of Madison Twp

FL /EL= FINSH FLOOR ELEVATION The only
 contour elevation change is against foundation
 wall area for water run off

Property located in the Floodway
 Fringe area. NFIP permit and
 Conditional Use required to
 develop the structures. Section
 610.06(2) and 610.06(7) Franklin
 County Zoning Resolution.
 Refer to Section 610.07 for the
 development standards.



CRAWLSPACE FLOOD PROTECTION

FOUNDATION NOTES

1. ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" X 8" CONTINUOUS Poured CONCRETE FOOTING, SEE WALL SECTIONS.
2. CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
3. ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
4. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

SYMBOL NOTES

 NEW 8" C.M.U. FOUNDATION WALL

TYPE OF NEW FOUNDATION SYSTEM:

- CRAWL SPACE FOUNDATION

FOOTER REINFORCING SCHEDULE

(3" CLEAR FROM BOTTOM)	
24" X 24" X 12"	NONE REQUIRED
30" X 30" X 12"	(3) #5 E.W.
36" X 36" X 12"	(3) #5 E.W.
42" X 42" X 12"	(4) #5 E.W.
48" X 48" X 12"	(4) #5 E.W.
54" X 54" X 12"	(5) #5 E.W.
60" X 60" X 12"	(6) #5 E.W.

INSULATION NOTES

INSULATION COMPLIANCE METHOD:

- RCO PRESCRIPTIVE

CLIMATE ZONE:

- 5

INSULATION METHOD:

- FIBERGLASS

INSULATION VALUES:

- WALLS : R-15

- ROOF : R-38

- CRAWL SPACE : R-11

AREAS

TOTAL AREA: 792 S.F.

PROJECT OWNER

MORENO'S BUILDER LLC

614 507 7163

MORENOSCONSTRUCTION456@GMAIL.COM

DESIGNER: DERWIN L. WILLIAMS

R.P.D.

EMAIL:

DLEW63@YAHOO.COM

TEL:

614 607-8804

PROJECT ADDRESS

Bataineh Residence
3773 Beechton rd.
Columbus, Ohio 43232

NORTH

SCALE



3/16" = 1' - 0"

BUILDING TYPE

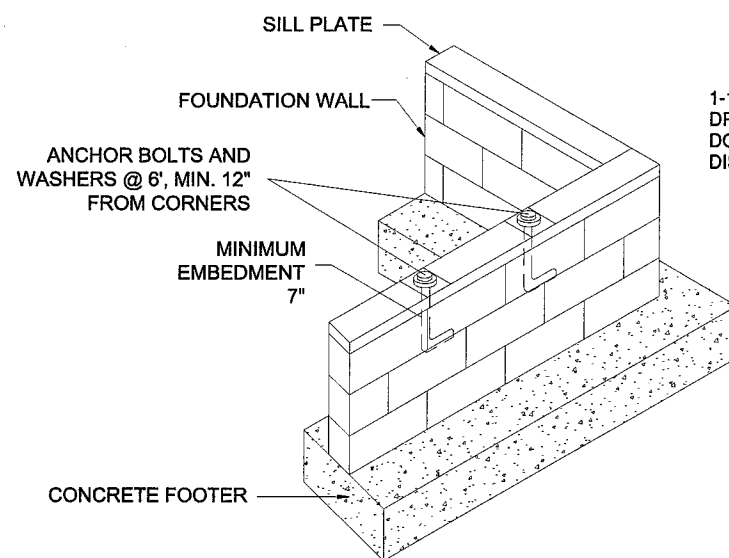
RESIDENTIAL

SHEET TITLE

FOUNDATION PLAN

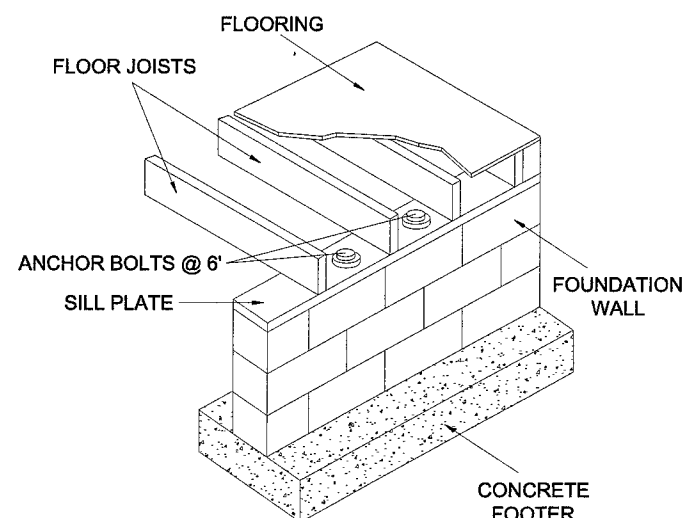
SHEET

A2



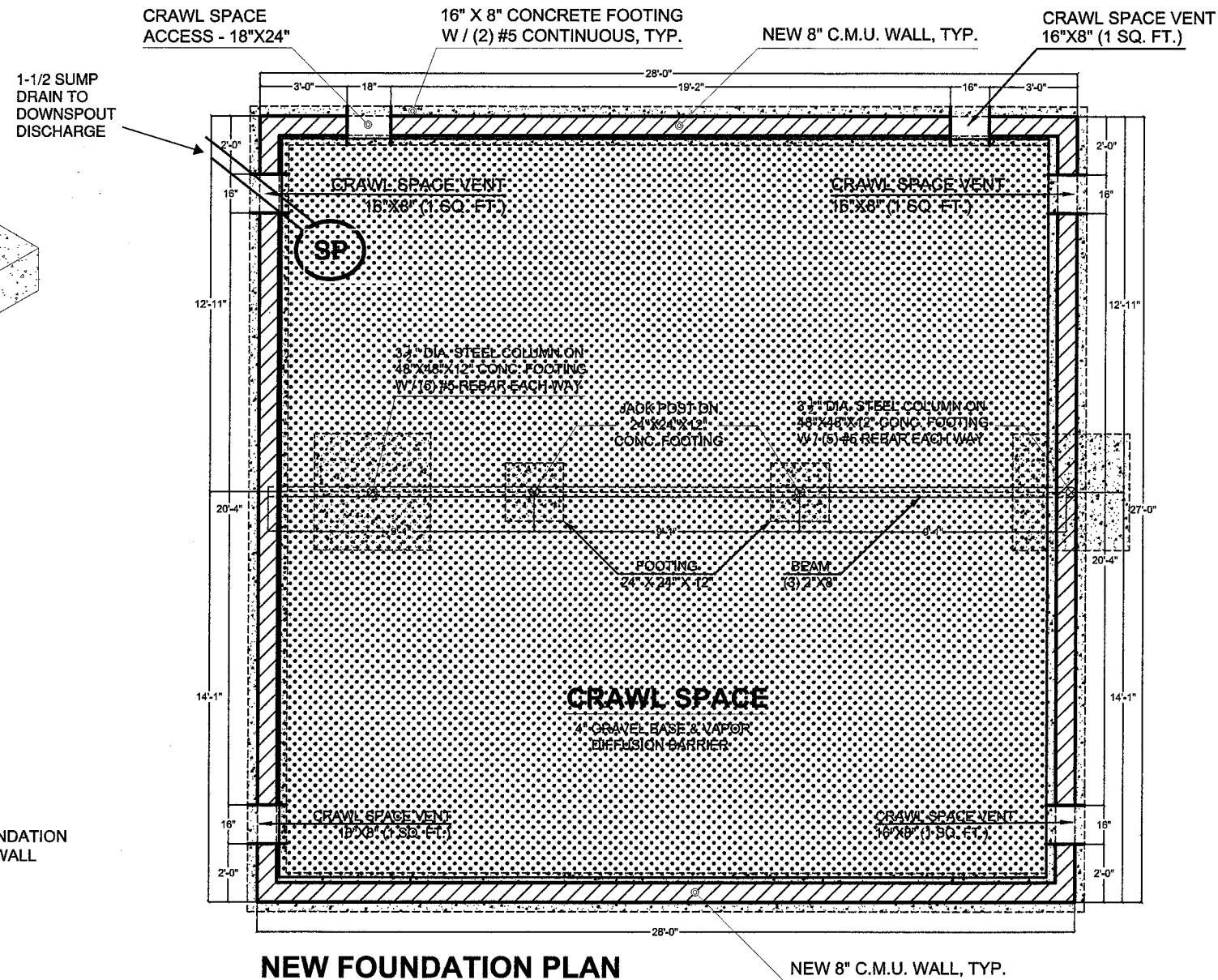
FOUNDATION DETAIL

SCALE: NTS



FLOOR DETAIL

SCALE: NTS



NEW FOUNDATION PLAN

8 MILL VAPOR BARRIER

SUMP PIT

