



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Technical Review Committee Agenda

Zoom Conference Meeting

(To participate: (929) 436-2866; Meeting ID: 911 3401 0004; Password: 471510)

July 2026

1:30 p.m.

1. New Business

i. 798-SUB-V

Owner/Applicant:	Robert Riddle & Johnna Evans
Township:	Plain Township
Site:	7896 Peter Hoover Rd (PID# 220-000039)
Acreage:	22.88
Utilities:	Private Utilities
Zoning:	Rural (Plain Twp Zoning)
Request:	[Pending additional information from applicant]

ii. VA-4169

Owner/Applicant:	Kenimer Frederick
Township:	Mifflin Township
Site:	E Aberdeen Ave (PID# 191-000388)
Acreage:	0.1343
Utilities:	Public Utilities
Zoning:	R-12
Request:	Requesting a variance from Section 655.142 to construct a new residence in the riparian setback



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance Page 1

RECEIVED

JUL 14 2026

Franklin County Planning Department
Franklin County, OH



Property Information

Site Address:

7896 Peter Hoover Rd., New Albany, OH 43054

Parcel ID(s):

220-000039-00

Total Acreage:

22.88

Current Zoning:

R- Residential

Township:

Plain Township

Subdivision:

N/A

Staff Use Only

Case #

798-SUB-V

Date Filed:

07/15/2026

Fee Paid:

\$350.00

Receipt #

26-02240

Hearing Date:

08/12/2026

Received By:

Austin W.

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section

Description

501.05

Irregular lot shape - exceeds the depth to width ratio of 4:1

Section

Description

Section

Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

☐ Yes

☒ No

Parcel was originally platted as two ~10 acre flag lots. It was combined by the prior owner. Lot split is supported by all adjacent neighbors.

Are the circumstances of the request unique to the property and not generally applicable to others?

☒ Yes

☐ No

As seen on the survey, this property was previously platted as two separate flag or irregular lots. I am seeking to return this property back to two separate parcels, one of which will be a 'flag lot' as it once was.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

☒ Yes

☐ No

With the approval of the lot split by Plain Township and Franklin County Health Department, we have invested in infrastructure (bridge, driveway, pond, building pad, etc.) in preparation to build a single family home on the split parcel.



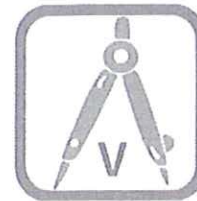
Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2



Property Owner Information

Name: Robert Riddle and Johanna Evans

Address: 7896 Peter Hoover Rd.
New Albany, OH 43054

Phone # 614-578-4199

Fax #

Email: robr@thomasriddle.com

Engineer/Surveyor Information

Name: Charlie Wagner - CW Design Group, LLC

Address: 972 Linkfield Drive
Worthington, OH 43085

Phone # 614-846-9279

Fax #

Email: charlie.wagner@cwdg.net

Applicant Information

☒ Same as property owner

☐ Same as engineer/surveyor

Name:

Address:

Phone #

Fax #

Email:

Water & Wastewater

Water Supply

☐ Public (Central)

☒ Private (On-site)

☐ Other:

Wastewater Treatment

☐ Public (Central)

☒ Private (On-site)

☐ Other:

Checklist

☐ Completed Application

☐ Fee Payment (checks only)

☐ Copy of denied application, if applicable

☐ Site plan, max. size 11"x17"

☐ Proof of Water/Wastewater



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

Applicant

7/9/2026

Date

Charles Wagner

Digitally signed by Charles Wagner
DN: C=US, E=charlie.wagner@cwdg.net,
O="CW Design Group, LLC", CN=Charles
Wagner
Location: Worthington, Ohio
Contact Info: Charles Wagner, P.E. P.S. -
Owner
Date: 2026.07.09 13:44:58-04'00'

Engineer

07/09/2026

Date

Property Owner (Signature must be notarized)

7/9/2026

Date

Property Owner (Signature must be notarized)

7/9/2026

Date

Andrea Iacovetta 7/9/26



ANDREA IACOVETTA
Notary Public
State of Ohio
My Comm. Expires
May 17, 2027

[illegible]

	MONUMENT BOX
	OWNERSHIP HOOK
	PK NAIL SET
	IRON PIPE FOUND
	IRON PIN FOUND
	IRON PIN SET

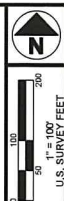
_____ CENTERLINE
_____ P.L. _____ PROPERTY LINE
_____ R/W _____ RIGHT OF WAY LINE

THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011) EPOCH 2010.00. SAID BEARINGS ORIGINATED FROM A FIELD TRAVERSE WHICH WAS REFERENCED TO SAID COORDINATE SYSTEM BY GNSS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE OHIO DEPARTMENT OF TRANSPORTATION REAL-TIME-NETWORK. THE PORTION OF THE CENTERLINE OF PETER HOOVER ROAD, HAVING A BEARING OF NORTH 03°28'19" EAST AND MONUMENTED AS SHOWN HEREON, IS DESIGNATED THE 'BASIS OF BEARING' FOR THIS PLAT.

THIS PLAT WAS BASED ON A FIELD SURVEY CONDUCTED BY CW DESIGN GROUP, LLC UNDER IN SEPTEMBER 2025.

CW Design Group
OF ENGINEERING & ARCHITECTURE
PHONE: 614-845-8279
972 Linkfield Drive
Worthington, Ohio 43085

Call 811
before you dig



EXHIBIT

7896 PETER HOOVER RD
NEW ALBANY, OH

$$\frac{1}{1}$$

PRELIMINARY APPROVAL
ADAM W FOWLER, P.E., P.S.
Issued
05/03/2012 11:52:06 AM
PENDING ORIGINALS
"Submitted via digital format"



Please return this approval, along with the original description and plot of record, as requested by the

	MONUMENT BOX
	OWNERSHIP HOOK
	PK NAIL SET
	IRON PIPE FOUND
	IRON PIN FOUND
	IRON PIN SET

_____ CENTERLINE
_____ F&L _____ PROPERTY LINE
_____ R/W _____ RIGHT OF WAY LINE

THIS PLAT WAS BASED ON A FIELD SURVEY CONDUCTED BY CW DESIGN GROUP, LLC UNDER MY GUIDANCE IN SEPTEMBER 2025.

CHARLES A. WAGNER, S-8091
CW DESIGN GROUP, LLC
PROJECT # 25-0031

CHARLES A. WAGNER, S-8091
CW DESIGN GROUP, LLC
PROJECT # 25-0031




1" = 100'
U.S. SURVEY FEET

PLAT OF SURVEY

7896 PETER HOOVER RD
NEW ALBANY, OH



Call 811 before you dig

Tract 1
Exhibit A - Description

Situated in the State of Ohio, County of Franklin, Township of Plain, being in Section 1, Township 2 North, Range 16 West, United States Military District, and being part of a 10.296 acre tract and a 12.584 acre tract conveyed as Parcel One and Two to Robert J. Riddle and Johnna M. Evans by Instrument Number 202508250091983, all records herein are from the Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

Beginning for Reference at FCGS 2278, an aluminum disk in a concrete monument set over a found stone, at an angle point in the centerline of Peter Hoover Road (Width Varies), 0.5 miles north of Walnut Street, on a P/L east and west, access through a F.C. road monument box. Monument is the east 1/4 corner of Section 2 and the west 1/4 corner of Section 1, Township 2, Range, 16 United State Military District;

Thence, **South 03° 28' 19" West**, for a distance of **1078.22 feet** along the centerline of said Peter Hoover Road and along the common line of said Section 1 and 2, to a PK nail set in the centerline of Peter Hoover Road, a northwest corner of said 10.296 acre tract, and the southwest corner of a 5.998 acre tract conveyed to Karen P. Johnston in Instrument Number 202008150120084, said point being the **True Point of Beginning**;

Thence, **South 86° 39' 41" East**, for a distance of **808.50 feet** across said Peter Hoover Road, in the common line of said 10.296 acre tract and said 5.998 acre tract to a 5/8" diameter pin with a cap that reads "A Hargett PS" found in the northerly corner of said 10.296 acre tract and the southeast corner of said 5.998 acre tract;

Thence, **South 03° 26' 20" West**, for a distance of **111.71 feet** crossing said 10.296 acre tract and said 12.584 acre tract to an iron pin set;

Thence, **North 86° 32' 24" West**, for a distance of **808.57 feet** crossing said 12.584 acre tract and said Peter Hoover Road to a PK nail set in the centerline of said Peter Hoover Road and the west line of said 12.584 acre tract;

Thence, **North 03° 28' 19" East**, for a distance of **110.00 feet** in the common lines of said Section 1 and 2, said centerline of Peter Hoover Road and the west lines of said 10.296 acre tract and said 12.584 acre tract to the **Point of Beginning** containing **2.058 acres** more or less, subject to legal highways and other easements of records.

Iron pins set are a 5/8" diameter by 30" long rebar with a cap the reads "CW Design Group".

The bearings listed in this description are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (2011) EPOCH 2010.00. Said bearings originated from a field traverse which was referenced to said coordinate system by GNSS observations and observations of selected stations in the Ohio Department of Transportation Real-Time-Network. The portion of the centerline of Peter Hoover Road, having a bearing of North 03°28'19" East and monumented as shown on the plat, is designated the "Basis of Bearings" for this description.

The described tract is a part of Auditor's Tax Parcel Number 220-000039-00 and is based on Instrument Number 202508250091983 with a Present Roadway Occupied of 0.076 acres.

A plat of survey is attached hereto and made a part of.

I hereby certify this description was based field survey conducted by CW Design Group, LLC under my guidance in September 2025 and to the best of my knowledge depicts the boundary lines.


Charles A. Wagner, P.S. S-8091

05/20/2026
Date



PRELIMINARY APPROVAL

ADAM W. FOWLER, P.E., P.S.

fasante

05/20/2026 11:52:30 AM

PENDING ORIGINALS

*Submitted via digital format



Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed, and dated in blue ink.

Tract 2
Exhibit A - Description

Situated in the State of Ohio, County of Franklin, Township of Plain, being in Section 1, Township 2 North, Range 16 West, United States Military District, and being part of a 10.296 acre tract and a 12.584 acre tract conveyed as Parcel One and Two, to Robert J. Riddle and Johnna M. Evans by Instrument Number 202508250091983, all records herein are from the Recorder's Office, Franklin County, Ohio and being more particularly described as follows:

Beginning for Reference at FCGS 2278, an aluminum disk in a concrete monument set over a found stone, at an angle point in the centerline of Peter Hoover Road (Width Varies), 0.5 miles north of Walnut Street, on a P/L east and west, access through a F.C. road monument box. Monument is the east 1/4 corner of Section 2 and the west 1/4 corner of Section 1, Township 2, Range, 16 United State Military District;

Thence, **South 03° 28' 19" West**, for a distance of **1188.22 feet** along the common line of section 1 and 2, and the centerline of said Peter Hoover Road to a PK nail set in the centerline of said Peter Hoover Road, said point being in the westerly line of said 12.584 acre tract; said point being the **True Point of Beginning**;

Thence, **South 86° 32' 24" East**, for a distance of **808.57 feet** crossing said Peter Hoover Road and said 12.584 acre tract to an iron pin set;

Thence, **North 03° 26' 20" East**, for a distance of **1189.98 feet** (passing an 5/8" diameter iron pin with a cap that reads "A Hargett PS" at 111.71 feet, a 3/4" inner diameter iron pipe at 435.00 feet, a 3/4" inner diameter iron pipe that reads "P&L Systems" at 812.52 feet, and a 3/4" inner diameter iron pipe with an unreadable cap at 920.32 feet) crossing said 12.584 acre tract and said 10.296 acre tract, and in the common lines of said 10.296 acre tract, a 5.998 acre tract conveyed to Karen P. Johnston in Instrument Number 202008150120084, a 6.999 acre tract conveyed to John D. Andres and Annette M. Andres in Instrument Number 201606020069072, and a 7.001 acre tract conveyed to Shane T. Clapham and Michelle M. Clapham in Instrument Numbers 200407230170782 and 200504050062872 and to a 3/4" inner diameter iron pipe found in the northwesterly corner of said 10.296 acre tract, the northeast corner of said 7.001 acre tract, and the southerly line of a 8.994 acre tract conveyed to Matthew D. Dickson and Molly S. Dickson in Instrument Number 201501080002710;

Thence, **South 86° 41' 05" East**, for a distance of **701.43 feet** (passing a 3/4" inner diameter iron pipe at 546.41 feet) in the common line of said 10.296 acre tract, said 12.584 acre tract, said 8.994 acre tract, and a 44.949 acre tract conveyed to Camillo Properties LLC in Instrument Number 200012200256458 to an 3/4" inner diameter iron pipe found in the northeast corner of said 12.584 acre tract, the southerly line of said 44.949 acre tract, and the northwesterly corner of a 24.621 acre tract conveyed to NMP 13 LLC in Instrument Number 201309190160163;

Thence, **South 03° 39' 19" West**, for a distance of **1241.76 feet** (passing a 3/4" inner iron pipe with a cap that reads "Turner PS" at 1205.44 feet) in the common line of said 12.584 acre tract, said 24.621 acre tract, and a 24.100 acre tract conveyed to Rocky Fork Partners LLC in Instrument Number 199712090163160 to a 3/4" inner diameter pipe found in the southeast corner of said 12.584 acre tract, the westerly line of said 24.100 acre tract, and the northeast corner of a 5.182 acre tract conveyed to William F. Creadon and Pamela B. Creadon in Official Record 17495117;

Thence, **North 86° 32' 24" West**, for a distance of **1505.34 feet** crossing said Peter Hoover Road and in the common line of said 12.584 acre tract and said 5.182 acre tract to a PK nail set in the centerline of said Peter Hoover Road, the southwest corner of said 12.584 acre tract, and the northwest corner of said 5.182 acre tract;

Thence, **North 03° 28' 19" East**, for a distance of **50.00 feet** in the common lines of said Section 1 and 2, said centerline of Peter Hoover Road and the west line of said 12.584 acre tract to the **Point of Beginning** containing **20.842 acres** more or less, subject to legal highways and other easements of records.

Iron pins set are a 5/8" diameter by 30" long rebar with a cap the reads "CW Design Group".

The bearings listed in this description are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (2011) EPOCH 2010.00. Said bearings originated from a field traverse which was referenced to said coordinate system by GNSS observations and observations of selected stations in the Ohio Department of Transportation Real-Time-Network. The portion of the centerline of Peter Hoover Road, having a bearing of North 03°28'19" East and monumented as shown on the plat, is designated the "Basis of Bearings" for this description.

The described tract is a part of Auditor's Tax Parcel Number 220-000039-00 and is based on Instrument Number 202508250091983 with a Present Roadway Occupied of 0.034 acres.

A plat of survey is attached hereto and made a part of.

I hereby certify this description was based field survey conducted by CW Design Group, LLC under my guidance in September 2025 and to the best of my knowledge depicts the boundary lines.


Charles A. Wagner, P.S. S-8091

05/20/2026
Date



PRELIMINARY APPROVAL

ADAM W. FOWLER, P.E., P.S.

fasante

05/20/2026 11:52:41 AM

PENDING ORIGINALS

*Submitted via digital format



Please return this approval, along with the original description and plat of survey, as prepared by the surveyor, signed, sealed, and dated in blue ink.



**BEFORE THE BOARD OF ZONING APPEALS
PLAIN TOWNSHIP, FRANKLIN COUNTY, OHIO**

**IN THE MATTER OF THE APPLICATION FOR
VARIANCES**

CASE NO. 02-10-2026-01

Rob Riddle
(Name)

220-002107-00
(Parcel Identification Number)

7896 Peter Hoover Road
(Address)

7896 Peter Hoover Road
(Address of subject property)

New Albany, OH 43054

New Albany, OH 43054

ORDER APPROVING VARIANCE

This matter came before the Board of Zoning Appeals seeking Variances under Section 206.04.1 and 206.01.2 of the Plain Township Zoning Resolution, Case Number 02-10-2026-01. The Variances, if approved, would allow the owner, Rob Riddle, to reduce the required lot size to 1.98 acres instead of the required 2.5 acres; and to reduce the required 200' of ROW to 50' and 110' to allow for a lot split at 7896 Peter Hoover Road.

Upon the conclusion of the hearing and following the presentation of the facts and testimony, **Val Jorgensen** made a Motion to Approve Variance Application 02-10-2026-03 – 7896 Peter Hoover Road – requesting variances under Section 206.04.1 and 206.01.2 to reduce the required lot size to 1.98 acres instead of the required 2.5 acres; and to reduce the required 200' of ROW to 50' and 110' to allow for a lot split at 7896 Peter Hoover Road.

Brad Martin seconded the motion; a roll call vote was taken:

Brad Martin	Yes
Valerie Jorgensen	Yes
Shane Clapham	Abstain
John Andres	Abstain
Richard Martin	Yes

The motion to approve the application as stated above has Passed.

March 10, 2026

Date of Action

Brad Martin

Board of Zoning Appeals Chair, Brad Martin



Application for
Zoning Variance
Pursuant to Section 810 of the Zoning Resolution
Page 1 of 7



Property Information

Site Address: 0000 E. Aberdeen Ave

Parcel ID: 191-000388-00

Zoning District: R12

Lot Acreage: 0.172

Township: Mifflin

Property Owner Information

Name: P. Frederick Kenimer

Address: P. O. Box 30361
Gahanna, OH 43230-0361

Phone # 614-599-7266

Fax #

Email: pfkenimer@gmail.com

Applicant Information

☒ Same as property owner

Name:

Address:

Phone #

Fax #

Email:

Agent Information

Name:

Address:

Phone #

Fax #

Email:

Staff Use Only

Case # VA-~~4169~~ 4169

Date Filed: 7/10/26

Received By: Kapa

Fee Paid: \$300

Receipt Number: 26-02192

Hearing Date: 8/17/26

Technical Review: 7/21/26

Zoning Compliance #:

27-26-101

Checklist

- ☐ Completed Application
- ☐ Fee Payment (checks only)
- ☐ Auditor's Map (8.5"x11")
- ☐ Site Map (max 11"x17")
- ☐ Covenants and deed
- ☐ Notarized signatures
- ☐ Proof of water/wastewater supply
- ☐ Copy of denied Zoning Certificate
- ☐ Copy of denial letter

Water & Wastewater

Water Supply

☒ Public (Central)

☐ Private (On-site)

☐ Other

Wastewater Treatment

☒ Public (Central)

☐ Private (On-site)

☐ Other



Zoning Variance



Case# VA-

Variance(s) Requested:

Section:

655.142

Description:

RESIDENTIAL RIPARIAN SETBACK

Section:

Description:

Section:

Description:

Describe the project:

This variance is requested due to applicant discovering that the building parcel falls within a riparian setback. This was discovered when visiting the Franklin County Economic Development & Planning Dept to discuss the normal procedures of acquiring a Certificate of Zoning Compliance. Applicant was informed that a variance was required in order to build on said parcel. Applicant wishes to build a single family dwelling of approx size of 2048 SF of living space. The parcel is zoned correctly for this use and the intent is to position the home as far away from Mason Run as possible for the least impact on the buffer area.

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The variance request is necessitated by the unique natural topography and the specific path of the riparian buffer crossing the parcel, which leaves an extraordinarily narrow, buildable footprint outside the setback. The major portion of Mason Run runs in a generally straight course north to south and mainly follows Mifflin Blvd. However, at this point in it's meandering course, it begins a southwesterly direction which then encompasses a large portion of the applicant's building lot.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 3 of 7



Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

Correct, if the literal interpretation of Section 650.04-a, (Applicability & Compliance), this small building parcel would be forced to remain in it's "natural state". There is already a single family residence on the parcel immediately to the west and there is another single family residence on the parcel immediately to the east, which is across Mason Run from the parcel in question.

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The physical constraints are entirely natural features of the watershed and the preexisting platting of the parcel, not the result of actions taken by the applicant

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

The proposed residential structure is designed with strict low-impact development standards. It will not alter the essential character of the neighborhood or cause substantial detriment to adjoining properties.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No, the variance will not impair the delivery of public services, safety utilities, or infrastructure delivery to the site or surrounding parcels.

6. Can there be any beneficial use of the property without the variance?

No, without this variance to allow a residence to be built, the parcel would be useless for any other ordinary property enjoyment. In fact, it is being taxed at the same rate as nearby parcels that have full right for being built upon.

Zoning Variance



Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Due to the orientation of the parcel, as well as the course that Mason Run takes at this point, a very significant portion of the parcel is within the setback. However, no portion of the parcel actually touches Mason Run. Please refer to the map generated on Franklin County's GIS system within this application to view the estimated ~~86~~⁹⁶% overlay of the setback.

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No, the applicant has minimized the footprint and maximized front/side yard reductions to stay as far out of the buffer as mathematically possible. The requested variance represents the bare minimum relief required to allow a reasonable residential use.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities - i.e. fire might be required)

No, city water service is on the same side of the street and available to tap into. Likewise, city sanitary sewer in on the opposite side of the road. Other governmental services have current and full access to the adjacent residence immediately to the west of subject parcel.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

No, and applicant was advised when in discussions with zoning personnel when visiting in person during the week of June 22nd, that alternate means of mitigation would involve costly engineering efforts and that the variance process was the best way to proceed.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

Yes, the spirit of the zoning resolution is preserved by incorporating comprehensive stormwater management and a native planting mitigation plan to offset any localized buffer reduction. Granting the variance delivers substantial justice to the property owner, allowing a standard residential use consistent with zoning allowances given to nearby unconstrained lots.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

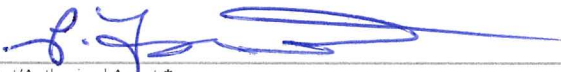
Page 5 of 7



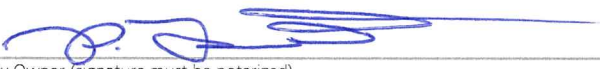
Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.


Applicant/Authorized Agent *

7-2-26
Date


Property Owner (signature must be notarized)

7-2-26
Date

Property Owner (signature must be notarized)

Date

***Agent must provide documentation that they are legally representing the property owner.**

****Approval does not invalidate any restrictions and/or covenants that are on the property.**



Brian Mcallister
Notary Public, State of Ohio
My Commission Expires:
April 13, 2030

"see Attached Notary"

State of Ohio)

)ss

County of Franklin)

The foregoing instrument was acknowledged before me this 07/26/26 (date) by P. Fred Kenimer
(name of person acknowledged.)

Signed

Name (printed)

Resident Fairfield County

Notary Public, State of Ohio

My commission Expires



(Seal)



Application Instructions

Please submit the following:

1. Application Form
Completed application form with notarized signatures
2. Fee - non refundable *Please refer to our most current fee schedule by visiting www.franklincountyohio.gov/edp
Checks only payable to *Franklin County Treasurer*
3. Covenants or deed restrictions
Provide a copy of your deed with any deed restrictions
You can access and print a copy by visiting: www.franklincountyohio.gov/recorder
4. Auditor's Tax Map
Provide a map showing the subject property and all land within 500 feet of the property.
You can access and print a copy of the map by visiting: www.franklincountyohio.gov/auditor
5. Site Map - Refer to Page 7
6. Proof of utility service
Provide proof from the provider of your water and wastewater services

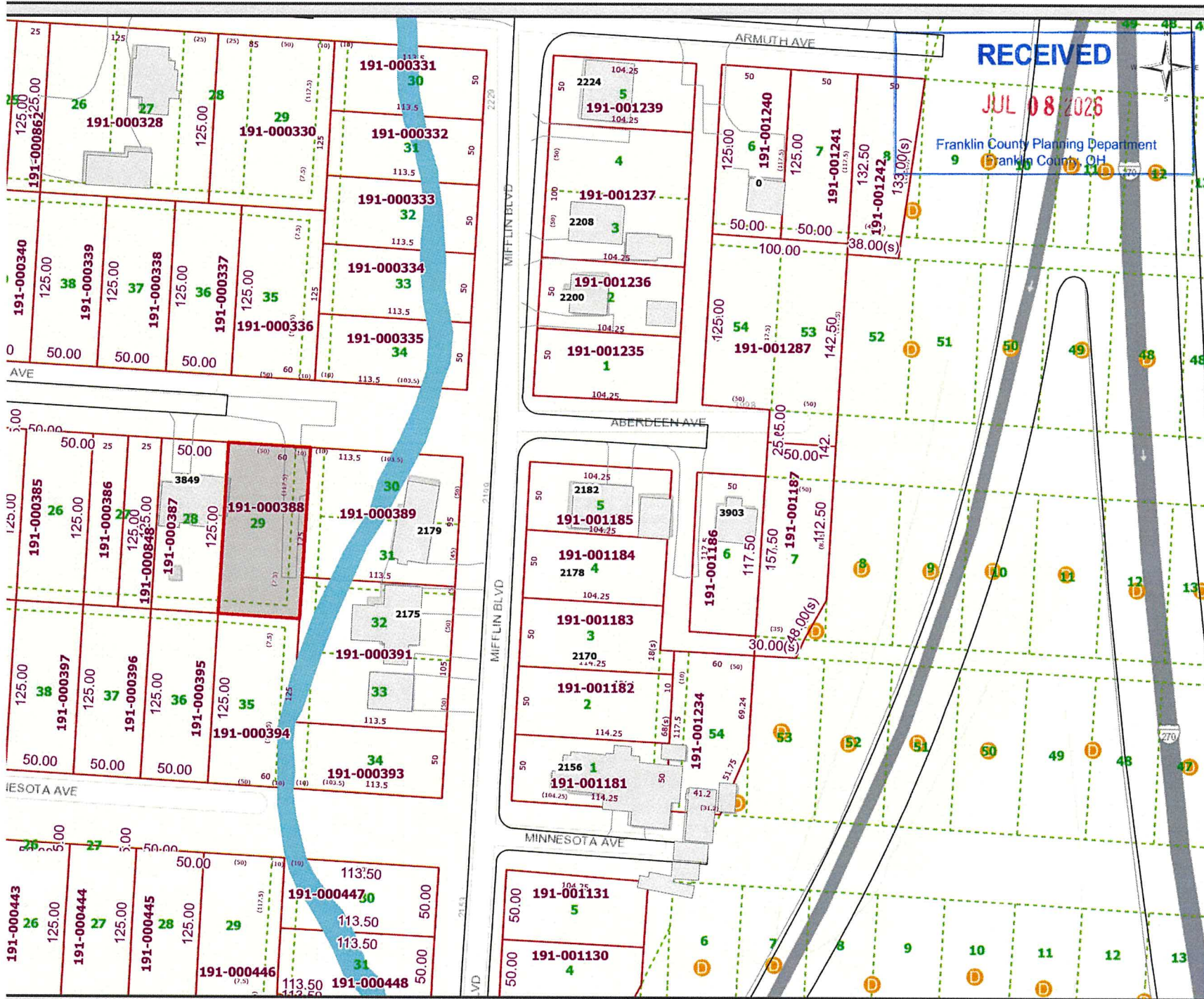
Note: If centralized water and/or sewer services are provided by a private/public entity, you must provide a letter or current bill verifying that services are provided or access is available. If you're proposing an on-lot septic system or well, please provide information from the Franklin County Board of Health (or appropriate agency).





Site Plan Requirements

- The site plan must be prepared by a design professional (i.e. registered surveyor, engineer and/or architect) and include all items required under Sections 705.022 and 810.022 of the Franklin County Zoning Resolution
 - *Site plans which are incomplete and/or not drawn to scale will not be accepted.*
 - Two (2) copies - minimum size of 8.5"x11" paper, maximum size of 11"x17" paper *Larger size copies are acceptable in addition to the min./max. sizes required
 - North arrow and appropriate scale (i.e. 1 inch = 20 feet)
 - Property lines, with the exact dimensions of the lot labeled
 - Street right-of-way boundaries including street centerline
 - The exact dimensions and location of all existing buildings (principal and accessory), structures (decks, patios, pools, paved parking areas, courtyards, etc.) and driveways/access points, indicating setbacks of each from property lines with measurements/distances labeled
 - The exact dimensions, height and location of all proposed buildings, structures, additions, or modifications to the property, indicating setbacks from property lines with measurements/distances labeled
 - Landscaping details - provide the quantity, location, size and plant species (Ohio Native Non-Invasive Only) used
 - All open space areas including calculations (percentage) of impervious vs. pervious surface
 - Building elevations and/or architectural renderings
 - Parking layout with required parking calculations provided
 - Lighting details - location, type of fixture (illustration), height and strength (footcandles/lumens)
 - Existing and intended uses of all buildings and structures
 - *If multiple uses are being conducted within one building, the site plan must reflect the area of the building being occupied by each individual use*
 - All easements and above/below ground utilities
 - Regulatory floodplain (Floodway and Floodway Fringe) and riparian setback boundaries, when applicable
 - All existing and proposed above and below ground drainage and stormwater features
 - *Refer to the Franklin County Stormwater Drainage Manual*
 - Site topography (two (2) ft. contour intervals)
 - Details regarding the location, height, maintenance and screening for any existing or proposed trash dumpster
 - Screening details - *Refer to Section 521 of the Franklin County Zoning Resolution*
 - Provisions for water and sanitary services including the the exact location, dimensions and setbacks from property lines and structures of all private/public water and wastewater treatment facilities
 - *If public water and sewer services are provided, proof of services must be submitted*
-
- All areas of disturbance, including grading, filling, clearing, excavating, etc.
 - Erosion and sediment control plan
 - All fence locations, indicating height and material(s) used
 - Any other information with regard to the lot or neighboring lots which may be necessary to determine and provide for the enforcement of the Franklin County Zoning Resolution
 - *Please note that the requirements mentioned above, or portions of, may be waived by the Administrative Officer when, in his/her opinion, the applicant has satisfactorily demonstrated that all aspects relative to the above have been suitably addressed*



Planimetric Legend

Source: 2021 Aerial Photography

- Edge of Pavement
- Roadway Centerlines
- Railroad Centerlines
- Building Footprints
- Building Under Constr.
- Creeks, Streams, Ditch
- Rivers & Ponds

Topographic Legend

Source: OSIP - 2019 LiDAR Collection

- Spot Elevation
- Index Contour
- Intermediate Contour

Appraisal Legend

Source: Franklin County Auditor & Engineer

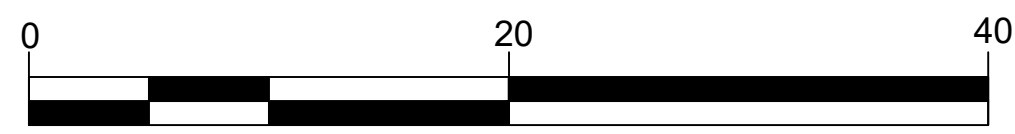
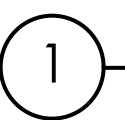
- Parcel IDs
- Parcel Dimensions
- Lot Numbers
- Site Address
- Parcel Boundary
- Subdivision Boundary
- Condominium Boundar
- County Boundary
- City or Village Boundar
- Tax District Boundary
- School District Bounda
- Zip Code Boundary

This map is prepared for the real property inventory within Franklin County, Ohio. It is compiled from record deeds, survey plat, and other sources and data. Users of this map are notified that the public print sources should be considered for verification of the information on this map. The county and the mapping companies assume responsibility for the information contained on this map. Franklin County Auditor's GIS Department of any discrepancy.

The data on this map was originally compiled by the Franklin County Auditor's Office. It is based on the Ohio State Plane South Co System, North American Datum 1983 with 2' contour lines based on the North American Vertical Datum 1988 (NAVD83).



Franklin County Auditor's Office
Auditor
Michael Stinzian
Map Produced June 29, 2023



LEGEND	
CONTOUR LINES	
CENTER LINE OF ROAD	_____
3/4 H2O SERVICE	
SEWER LATERAL	=====

DOWNSPOUT CONDUCTORS TO BE 3" PVC BOTH SIDES OF HOUSE
TO FRONT DITCH

COPYRIGHT, 2022
SE-BA ARCHITECTURE, LLC

DESIGNER

L U M B U S Y , O H . 4 3 2 1 3

IENT:
AN NGUYEN

GENERAL CONTRACTOR
AN NGUYEN

STRUCTURAL ENGINEER

P E N G I N E E R :

RADEJ THIMDI

CONSULTANT:

PROJECT TEAM

No.	Date	Issue/Revision
	05/08/26	PERMIT



DATE AND ISSUES

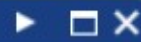
TE PLAN

SHEET TITLE

SHEET NO: _____

Aberdeen Ave

(1 of 4)



E ABERDEEN AVE

Parcel ID: 191-000388

[More information](#)



191-000388 07/25/2022

[Zoom to](#)

