



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Technical Review Committee Agenda

Zoom Conference Meeting

(To participate: (929) 436-2866; Meeting ID: 911 3401 0004; Password: 471510)

November 19, 2025

i. JACK-25-05

Owner/Applicant:	Claudia Realty LLC/Spartak Selmiaj
Township:	Jackson Township
Site:	1696 Dyer Rd (PID #160-000860)
Acreage:	10.5-acres
Utilities:	Public water private wastewater
Zoning:	Exceptional Use (EU)
Request:	Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to amend a rezoning to the Exceptional Use (EU) district for soccer fields.

ii. JEFF-25-06

Owner/Applicant:	Knights Protective Services/Bryan Knights
Township:	Jefferson Township
Site:	916 Reynoldsburg-New Albany Rd (PID #170-000733)
Acreage:	1.003-acres
Utilities:	Private water and wastewater
Zoning:	Planned Commercial (PC)
Request:	Request to rezone 1.003 acres from Planned Commercial (PC) to Restricted Suburban Residential (RSR) in Jefferson Township.



ECONOMIC DEVELOPMENT & PLANNING

iii. ZON-25-13

Owner/Applicant:	Silk Enterprise LLC
Township:	Clinton Township
Site:	3620 Brandon Street (PID #130-002465)
Acreage:	0.34-acres
Utilities:	Public water and wastewater
Zoning:	Limited Industrial (LI)
Request:	Request to rezone 0.34 acres from the Limited Industrial (LI) district to the Community Service (CS) district for a car repair business.

iv. ZON-25-14

Owner/Applicant:	Gregorio Rios/Midway Rent A Fence
Township:	Madison Township
Site:	3501 Rohr (PID #180-001051)
Acreage:	5.07-acres
Utilities:	Private water and wastewater
Zoning:	Rural (R)
Request:	Request to rezone 5.07 acres from the Rural (R) district to the Select Commercial Planned District (SCPD) for outdoor storage of commercial fencing.

v. 794-V

Owner/Applicant:	Jon Knitter
Township:	Jackson Township
Site:	7635 Borror Rd (PID #160-000337)
Acreage:	5.676-acres
Utilities:	Private water and wastewater
Zoning:	Agricultural, Conservation, and Open Space District (ACOS)
Request:	Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations for a proposed lot split that will exceed the lot to depth to width ratio of 4:1.

vi. 792-SUB-V-Replat

Owner/Applicant:	Craig and Amy Widtfeldt
Township:	Jefferson Township
Site:	2498 Reynoldsburg-New Albany Rd (PID #170-001635 & #170-001975)
Acreage:	2.94-acres and 7.46-acres
Utilities:	Private water and wastewater
Zoning:	Restricted Suburban Residential (RSR)
Request:	Requesting a replat of pt lots 5-6 of the re-subdivision of Colts Neck Phase 1 and lot #17 of Havens Farm to transfer approximately 1.04 acres from 2389 Colts Neck Rd (170-001975) to 2498 Reynoldsburg-New Albany Rd (170-001635). Requesting a Variance from Section 501.05 of the Franklin County Subdivision Regulations for lot lines that are not within five (5) degrees of perpendicular of the right of way.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

vii. VA-4154

Owner/Applicant:	Glenn & Annettes Ammerman/Jonny Strangis
Township:	Sharon Township
Site:	363 Kanawha Ave (PID #254-151445)
Acreage:	0.13-acres
Utilities:	Public water and private wastewater
Zoning:	Rural (R)
Request:	Requesting Variances from Sections 302.041, 302.045, and 302.043 to construct an addition in the rear and front porch that exceeds lot coverage, front yard setback and side yard setback in an area zoned Rural (R).

Fee Paid by Cash / Check # _____, \$ _____ Application # _____ -ZC-20 _____

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: CLAUDIA REALTY LLC Applicant: SPARTAK SELMIAJAddress: 1696 DYER RD Zoned: EUProperty Location: 1696 DYER RDPID: 160- 160-000860-00 Area/Acres: 10.05 Floodplain: _____(Home): _____ (Work): _____ (Cell): 614-634-3304Email Address: ALBAUTO@SBCGLOBAL.NET

Summary of Zoning Commission: It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.

To the Township Zoning Commission, the applicant requests the following:

☒ Re-Zoning / PUD☐ Map/Text Amendment☐ Exceptional Use

A change in zoning from the existing _____ District to the proposed _____ District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

Exceptional Use approval would need to be amended to reflect the addition of (2) turf fields and additional parking

- Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

Proposed plan includes the addition of (2) turf fields and additional parking

SUBMITTAL CHECKLIST

- | | |
|---|---|
| <input type="checkbox"/> Legal Description/ Deed | <input type="checkbox"/> Photos Documenting Requested Use |
| <input type="checkbox"/> Plot Plan / Site Plan | <input type="checkbox"/> Date Filed _____ |
| <input type="checkbox"/> Detailed Building Plan | <input type="checkbox"/> FCDD Date _____ |
| <input type="checkbox"/> Tax Parcel Listing of All Property
Owners within 500' | <input type="checkbox"/> Legal Ad _____ |
| <input type="checkbox"/> Application Fee | <input type="checkbox"/> Notices Sent _____ |
| | <input type="checkbox"/> Tech Review Date _____ |
| | <input type="checkbox"/> Plan.Comm. Hrg _____ |
| | <input type="checkbox"/> Twp. ZC Hrg _____ |

APPLICANT'S AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

I/We SPARTAN SOCIETY
(Name)

1999 ARLINGTON AVE COL OH 43212 Home: _____
(Address) (City, State, Zip Code) (Phone)

Cell: 6146343304 Business: _____
(Phone) (Phone)

"the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

[Signature]
(Owner Signature)

(Co-Owner Signature)

Subscribed and sworn before me this NOV 3 day of NOV 2025
(Day) (Month) (Year)



JOSEFINAY SURIEL-PEREZ
NOTARY PUBLIC
STATE OF OHIO
My Commission Expires
08-25-2030

[Signature]
(Notary Signature)

Stamp or Seal

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio



PROJECT STATUS

CONCEPT PLAN UPDATE

CURRENT ISSUE DATE

10.30.2025

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



ELEVATION
STUDIO

SHEET NAME

Concept Site
Plan

SHEET NUMBER

A100

GENERAL NOTES - SITE PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.
- C. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

PARKING CALCULATIONS

EXISTING: 59 SPACES

PROPOSED: 60 SPACES

TOTAL: 119 SPACES

ZONING - EXCEPTIONAL USE DISTRICT

BACKGROUND:

The subject site is located on the north side of Dyer Road west of Brown Road. The site is surrounded by single-family residential land uses. The site incorporates approximately 10 acres and has one owner. The site has an existing 12,800 square foot building which houses indoor recreation activities. The site is zoned Exceptional Use. The applicant is requesting to amend the approved Exception Use zoning to permit expanded outdoor recreational activities on the site. Two new 70,000sf square foot outdoor fields will be constructed on the property to provide for outdoor recreation activities.

PERMITTED USES:

Activities include: workout facilities or sports training, including but not limited to soccer training and practice, a clubhouse with retail space, indoor and outdoor seating with televisions and beverage service.

Food trucks shall be permitted on the parking lots as a temporary activity. Indoor activities shall operate seven (7) days a week starting at 7a.m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 10p.m. on the other nights.

DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted drawing or in the written text, the applicable standards for the site shall be those standards contained in Section 203 General Provisions of the Jackson Township Zoning Code.

LIGHTING:

All new lighting on the subject property shall be cut-off type fixtures (down lighting) and limited to the building, soccer fields, patio, and parking area unless located for landscaping and security purposes.

All types of parking, building, and other exterior lighting to be on poles shall be from the same "family" from the same manufacturer's type and style.

All lighting poles shall be either of wood or dark or bronze metal construction.

Parking lot lighting shall not exceed twelve (12) feet in height.

The exterior lighting for the site shall minimize off-site glare and reflection by utilizing screening, direction of lighting, height of lighting, wattage, and type of lighting.

SIGNAGE AND GRAPHICS

One freestanding graphic shall be allowed along the Dyer Road frontage. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet.

One building-mounted illuminated graphic shall be permitted on the existing structure. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet.

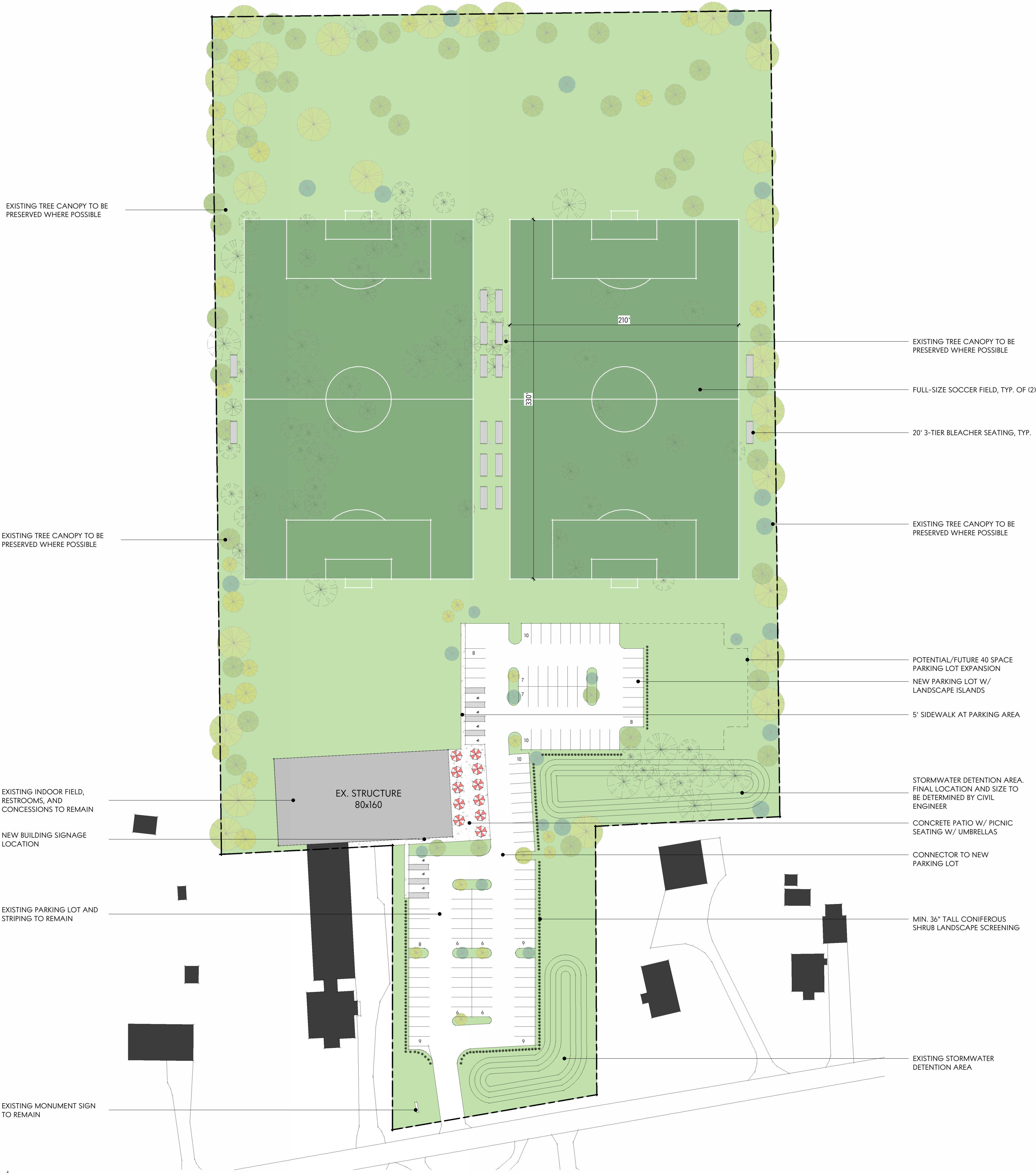
Directional signs for ingress and egress shall be permitted at the curb cuts on Dyer Road to direct traffic in and out of the site.

No off-premise graphic shall be permitted on site nor any illumination which flashes, travels, animates, or intermittently illuminates shall be allowed.

ENVIRONMENTAL TREATMENT:

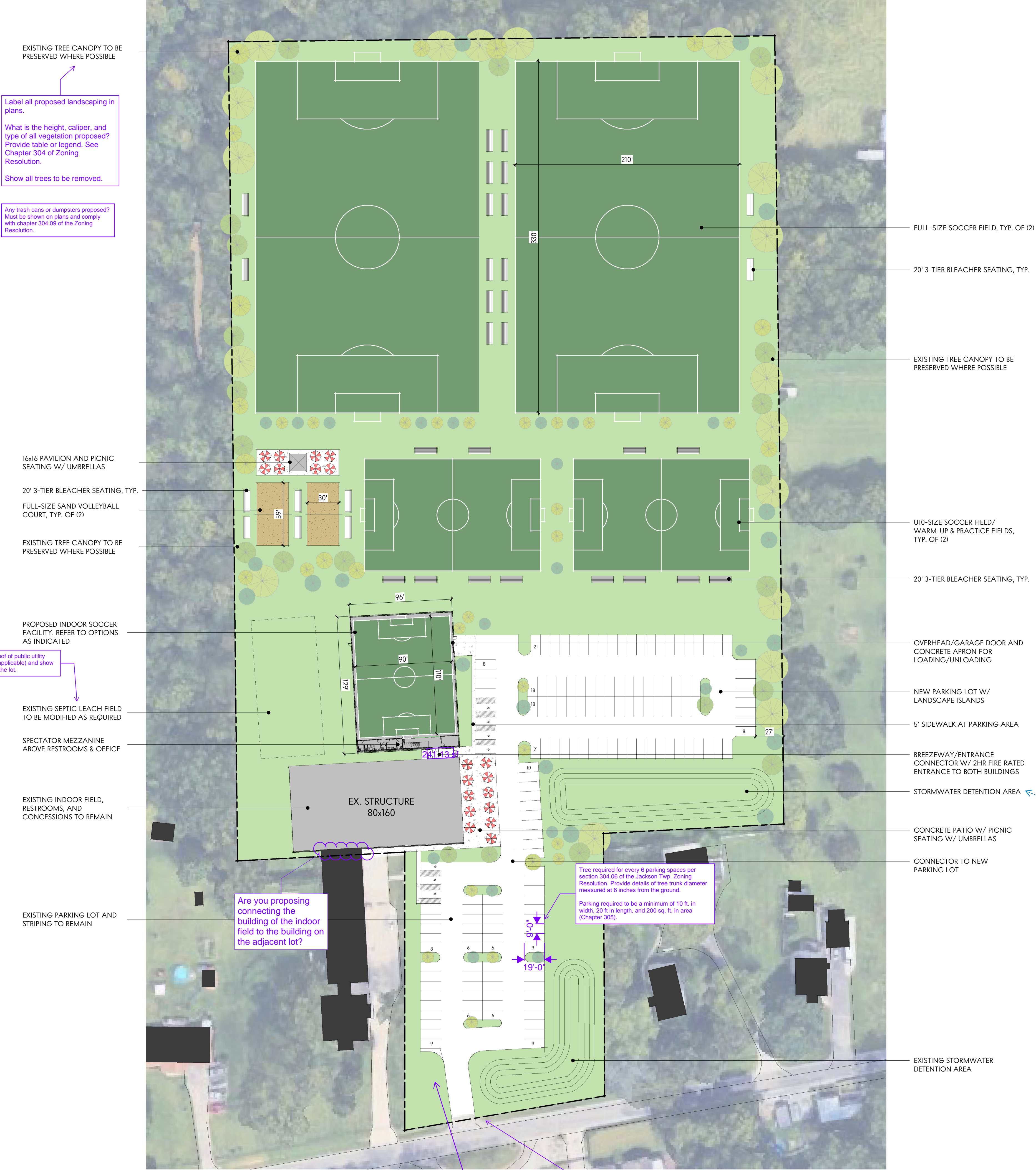
The parking lot shall be landscaped along the eastern and southern edge with a variety of shrubs and other landscaping materials to produce a height of three (3) feet with a 60% opacity within two (2) years.

The screening and landscaping plan for the development of the site shall conform to the submitted drawings and such screening shall provide a buffer to the areas to the west, south, and east. All screen plantings shall be maintained permanently and any plant which does not survive shall be replaced within one year with material meeting the specifications of the original planting. Maintenance of the screening materials shall be the responsibility of the property owner and failure to replace and maintain the screening materials shall be a violation of the Jackson Township Zoning Code.



SITE PLAN

Scale: 1" = 50'-0"



GENERAL NOTES - SITE PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
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- C. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

PARKING CALCULATIONS

EXISTING: 59 SPACES

PROPOSED: 104 SPACES

TOTAL: 163

ZONING NOTES

- Site Zoning: R: Exceptional Use District (EU)
1. Permitted Uses. Arboreta and botanical or zoological gardens Cemeteries Other Uses Not Provided For - Other legal uses of unique or exceptional requirements or circumstances that are otherwise not permitted by this Zoning Resolution. Recreation and Amusement - Amusement center, amusement park, skating rink, miniature golf, swimming pool, drive-in theater (except adults only entertainment establishments as defined in Ch. 102 and Ch. 204. Athletic field, stadium, race track or other similar sports facility not otherwise allowed by the provisions of this Zoning Resolution. Golf club, country club, fishing club or lake, gun club, riding stable, including boarding of animals, or similar recreational facility operated on an admission fee or membership basis. Resort establishment, park, camping or boating facilities, picnic grounds or similar recreational facility operated on an admission fee or membership basis.

Please include design details for all new fields. Will new fields be natural turf or artificial turf? Will grading be changed from existing? Any subsurface drainage systems installed? etc.

Office + retail sales + recreational uses (place of intense public activity) require 238 parking spaces (Chapter 305.03). Only 163 parking spaces provided. At least 75 more parking spaces required to meet the minimum or applicant must obtain approval of a variance.

Were preliminary stormwater calculations performed to ensure that this detention area is large enough?

BUILDING CODE NOTES

- Occupancy Classification:**
A-3 (includes assembly uses intended for worship, recreation or amusement).
- **New Structure:**
- Construction Type: I-B
 - Primary structural frame: 2hr rated (intumescent paint or fireproofing)
 - Max. Height: 160'
 - Max Stories: 11
 - Max Area: 12,000 (NS - Not Sprinklered per 903.2.1.3)
 - Max. field size: 95x120
- Existing Structural shall be separated by 2hr fire wall
- Fire protection shall not be required (pending construction type) below 12,000sf.
- Occupancy: 50sf/person
- Restroom Fixture Requirements:
- Existing WC: 3
 - Existing LAV: 2
 - New WC: 2
 - New LAV: 1



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



ELEVATION
STUDIO

SHEET NAME

Concept Site
Plan

SHEET NUMBER

A100

Fee Paid by Cash / Check # _____, \$ _____

Application # 2-ZC-2024

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: CLAUDIA REALTY LLC Applicant: SPARTAK SELMIAJ

Address: 1696 DYER RD Zoned: EU

Property Location: 1696 DYER RD

PID: 160-160-000860-00 Area/Acres: 10.05 Floodplain: _____

(Home): _____ (Work): _____ (Cell): 614-634-3304

Email Address: ALBAUTO@SBCGLOBAL.NET

Summary of Zoning Commission: It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.

To the Township Zoning Commission, the applicant requests the following:

☒ Re-Zoning / PUD

☐ Map/Text Amendment

☒ Exceptional Use

A change in zoning from the existing Exceptional Use District to the proposed Exceptional Use District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

Exceptional Use approval would need to be amended to reflect the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

1. Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

Proposed plan includes the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

Plans identify the structure as 129x96 foot structure. Any landscaping, lighting, or signs proposed?

How does this meet the comprehensive plan for the township (proposed use, goals identified in plan, etc.)?



GENERAL NOTES - SITE PLAN

1. Refer to the zoning map for the site location.
2. All grading plans should be submitted for review.
3. All grading plans should be submitted for review.

PARKING CALCULATIONS

EXISTING	59 SPACES
PROPOSED	104 SPACES
TOTAL:	163

ZONING NOTES

Site Zoning: R-Exceptional Use District (EU)
 Permitted Uses: Agriculture and botanical or ecological garden, Cemetery, Other Uses Not Permitted for -
 1. Any use that is not specifically permitted by the Zoning Ordinance.
 2. Any use that is not specifically permitted by the Zoning Ordinance.
 3. Any use that is not specifically permitted by the Zoning Ordinance.
 4. Any use that is not specifically permitted by the Zoning Ordinance.
 5. Any use that is not specifically permitted by the Zoning Ordinance.
 6. Any use that is not specifically permitted by the Zoning Ordinance.
 7. Any use that is not specifically permitted by the Zoning Ordinance.
 8. Any use that is not specifically permitted by the Zoning Ordinance.
 9. Any use that is not specifically permitted by the Zoning Ordinance.
 10. Any use that is not specifically permitted by the Zoning Ordinance.

Electronic files need to be submitted for review. These are illegible.

Full grading plans should also be created/submitted, as there is a lot of off-site drainage that travels through this parcel that will need accommodated.

BUILDING CODE NOTES

Occupancy Classification:
 A-1 Includes assembly uses intended for working, recreation or entertainment.

1. Construction Type I-II
2. Max Height 100'
3. Max Height 100'
4. Max Height 100'
5. Max Height 100'
6. Max Height 100'



REZONING SITE PLAN

PROJECT INFORMATION

PROJECT NAME

PROJECT NUMBER

PROJECT LOCATION

PROJECT DESCRIPTION

PROJECT OWNER

PROJECT ADDRESS

PROJECT PHONE

PROJECT FAX

PROJECT EMAIL

PROJECT WEBSITE

PROJECT CONTACT

PROJECT DATE

PROJECT TIME

PROJECT LOCATION

PROJECT DESCRIPTION

PROJECT OWNER

PROJECT ADDRESS

PROJECT PHONE

PROJECT FAX

PROJECT EMAIL

PROJECT WEBSITE

PROJECT CONTACT

PROJECT DATE

PROJECT TIME

PROJECT LOCATION

PROJECT DESCRIPTION

PROJECT OWNER

PROJECT ADDRESS

PROJECT PHONE

PROJECT FAX

SITE PLAN

Scale: 1" = 100'

North Arrow

Legend

Notes

References

Revisions

Approval

Signature

Date

Project

Location

Description

Owner

Address

Phone

Fax

Email

Website

Contact

Date

Time

Location

Description

Owner

Address

Phone

Fax

Email

Website

Contact

Date

Time

Location

Description

Owner

Internal: This development text is for reference of the prior rezoning and use of the site.

Ok, what text will govern the modified EU district then?

EXCEPTIONAL USE DISTRICT
JACKSON TOWNSHIP
1700 DYER ROAD
JACKSON TOWNSHIP, FRANKLIN COUNTY, OHIO
KICKMASTER FOOTGOLF
NO. #1-RZ-15

Wasn't the residential building split from the footgolf facility?

BACKGROUND:

The subject site is located on the north side of Dyer Road east of Brown Road. The site is surrounded by single-family residential land uses. The site incorporates approximately 12± acres and has one owner. The site has an existing 2,161 square foot residential building and a detached garage; both of which were constructed in 1947. The site is zoned Suburban Residential District. The applicant is requesting to rezone the property to the Exceptional Use District to permit recreational and amusement activities both indoors and outdoors on the site. A new 12,800 square foot building will be erected on the property to provide for indoor activities.

It is?

New or existing? Because the one that is shown on the aerial was built in 2017.

Isn't it already EU?

PERMITTED USES:

The following shall be permitted:

- Single family residence.
- Exterior:

Based on the development plan, it looks like the site is going to be used primarily for soccer.

Year-round foot golf, weather permitting; Friday night glow-in-the-dark foot golf with balls that glow, t-markers that glow, reflective vests, holes that have LED beams of light shining up from the cup; Pro-Am tournaments, corporate sponsored outings/events, charitable functions/outings. Food trucks shall be permitted on the parking lot as a temporary activity. The outdoor activities will operate seven (7) days a week starting at 6 a.m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 8 p.m. on the other nights.

- Interior – Within the 12,800 sq. ft. building

Activities include: workout facilities or sports training, including but not limited to, soccer and baseball training and practice, a clubhouse with retail space indoor/outdoor seating with televisions and vending machines. The indoor activities will operate seven days a week starting at 6 a.m. and on certain nights of the week will continue until midnight.

Internal - Bill, any need for a traffic impact study? Seems like the proposal would have a significant increase in activity.

Without any trip generation provided, it is hard to tell, but I would assume with the proposed uses that at a minimum they need to look at an access study to review sight distance and if turn lanes are needed at their access point.

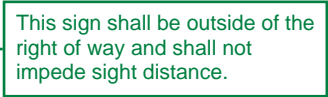
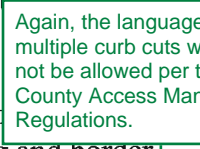
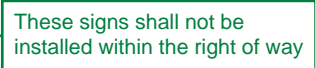
DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted drawing or in the written text, the applicable standards for the site shall be those standards contained in Section 203 General Provisions of the Jackson County Zoning Code.

LIGHTING:

- a. All lighting on the subject property shall be cut-off type fixtures (down lighting) and limited to the building, golf course area, patio and parking areas unless located for landscaping and security purposes.
- b. All types of parking, building and other exterior lighting to be on poles shall be from the same "family" from the same manufacturer's type and style.
- c. All lighting poles will be either of wood or bronzed colored metal construction.
- d. Parking lot lighting shall not exceed twelve (12) feet in height.
- e. The exterior lighting for the site shall minimize off-site glare and reflection by utilizing screening, direction of lighting, height of lighting, wattage and type of lighting.

SIGNAGE AND GRAPHICS:

- a. One freestanding graphic shall be allowed along the Dyer Road frontage. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet. The sign design is included in the Exceptional Use application. 
- b. Black, dark walnut, dark charcoal, dark rust, dark green or dark brown sign frame shall be utilized for the sign with cream colored lettering and border. The signage may be internally or external illuminated. The sign will have a stone base. 
- c. Directional signs for ingress and egress shall be permitted at the curbcuts on Dyer Road to direct traffic in and out of the site. 
- d. No off-premise graphic shall be permitted on site nor any illumination which flashes, travels, animates or intermittently illuminates shall be allowed.
- e. Signage will be permitted throughout the course and placards will be located around the outer perimeters of the course area.

ENVIRONMENTAL TREATMENT:

- a. The parking lot shall be landscaped along the eastern and southern edge with a variety of shrubs and other landscaping materials to produce a height of three (3) feet with a 60% opacity within two (2) years.
- b. An earthen berm and an eight (8) foot tall white board on board fence shall be erected around the rear play area as shown on the site plan.
- c. There shall be only two (2) curbcuts allowed for along Dyer Road, one for the house and one to serve the proposed parking lot and that curb cut shall have a maximum width of thirty-five (35) feet. The parking area and access lanes will be paved and maintained in order to prevent any dust problems.
- e. The screening and landscaping plan for the development of the site shall conform to the submitted drawings and such screening shall provide a buffer to the areas to the west, south and east. All screen plantings shall be maintained permanently and any plant which does not survive shall be replaced within one year with material meeting the specifications of the original planting. Maintenance of the screening materials shall be the responsibility of the owner of the property and failure to replace and maintain the screening materials shall be a violation of the Jackson County Zoning Code.

If this development proposal is only for the one parcel at 1696 Dyer Rd, then why is the curb cut for a residential property on a different parcel included here? I think this should be removed so that there isn't confusion on how many curb cuts would be allowed for the parking lot access.

Maximum width for a two-way commercial driveway is 32'.

SITE PLAN:

- a. The property shall be used in accordance with the submitted site plan. The attached site plan illustrates the area where the building and parking areas will be located. This site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time final development and engineering plans are completed. Any slight adjustment to the site plan shall be reviewed and approved by the Zoning Officer or his/her designee, upon submission of the appropriate data regarding the proposed adjustment. The general layout and site concept shall, however, conform to the site plan.
- b. Parking requirements shall conform to those found in Section 531 of the Jackson County Zoning Code.

BUILDING ELEVATIONS:

- a. The new building shall conform to the submitted elevations.

STORMWATER DRAINAGE:

Please provide the
stormwater report and a
new post-construction
O&M Plan that includes all
SCPs (existing and
proposed).

Franklin County
Stormwater Drainage
Manual

- a. Drainage and run-off from the proposed development shall not cause property damage to off-site areas. All drainage improvements shall be designed in conformance with the requirements for the Franklin County development regulations. The new building will be guttered and the down spouts will tie into a drainage system that routes the surface drainage into the catch basins located on the site. If necessary, additional catch basin will be located on the parking lot and sized to permit on-site detention in the parking areas and then provide for a gradual release of surface water into the existing catch basin. EP Ferris and Associates confirms the ability of the detention pond to handle proposed stormwater run-offs as it is the consulting engineer for the project.
- b. The building will also conform to the requirements of the Franklin County development regulations and will utilize the detention basin used for stormwater drainage. The stormwater detention plan will accompany the site plan for detailing the methods to be used to handle stormwater drainage off the site.

Was this confirmation
based on the prior
rezoning or of the
current proposed
change?

SEWAGE DISPOSAL AND WATER SUPPLY:

Stormwater Drainage
Manual

Centralized water is available to serve the site and new onsite septic system is proposed to serve the various utilities that are permitted on the property.

POLLUTION:

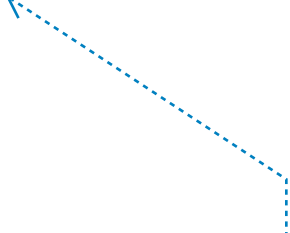
- a. Smoke: No smoke shall be emitted from any structure in the Exceptional Use District.
- b. Noise: The noise level shall be no greater than sixty (60) decibels at the lot line.
- c. Odor: No odorous gases or other odorous matter in any quantities as to be offensive at any point on or beyond the Exceptional Use District boundary.

ARCHITECTURAL DESIGN:

- a. The building lot coverage shall not exceed 35% of the lot and parking lot coverage (excluding access drives to the storage units) shall not exceed an additional 30% coverage for a total of 65% lot coverage of the site.
- b. No outside storage shall be permitted on the lot. No rubbish or debris of any kind shall be placed or permitted to accumulate on any portion of the lot.

- c. All utilities shall be placed underground.
- d. The 80' x 160' new building will be constructed of steel and have a roof pitch of 3/12.

guzzo-dyerrd.txt (nct)
2/27/15 S:Docs/s&htxts/2015



Internal comment: This appears to be the development text from the prior rezoning. The current approved development text and plan should be provided as reference documents so that reviewers can determine what the proposed changes are from the existing zoning to the proposed zoning.

**JEFFERSON TOWNSHIP
ZONING COMMISSION**



TEL: (614) 855-4265
www.jeffersontownship.org
Email: cmccroskey@jeffersontownship.org

APPLICATION FOR ZONING CHANGE

Case Number: **RZ25-000004** Date: 11.6.25

Applicant: Bryan K Knights Property Owner: Knights Protective Service

Street Address: 171 Old Bay Dr Street Address: 916 Reynoldsburg-New Albany Rd

City: Pataskala State: Oh Zip: 43062 City: Jefferson Twp State: Ohio Zip: 44047

Phone Number: (216) 203-8903 Phone Number: (216) 203-8903

E-Mail Address: b.knights@yahoo.com E-Mail Address: b.knights@yahoo.com

*In accordance with the provisions of Article IX, Section 920 of the Jefferson Township Zoning Resolution,
I hereby apply to the Zoning Commission and the Township Trustees for a rezoning from the
Commercial Zoning District to the Residential Zoning District for property located at:*

Street Address: 916 Reynoldsburg-New Albany Rd Parcel #: 170-000733-00

Acreage to be rezoned: 1.003

---- Please type or print information ---
--- Please answer the following questions thoroughly and completely ---
--- If additional space is needed, attach extra sheets ---

1. The proposed use of the property is: Residential

2. The property is currently being used for: Commercial land

3. The legal description of the property for which the rezoning is requested:

916 NEW ALBANY RD

R16 T1 1/4T4

1.003 ACRES

4. The property is outlined on the attached Franklin County Auditor map.
Type of Official Map

5. Statement of the relation of the proposed zoning change to the general health, safety and welfare in terms of need or appropriateness within the area, by reason of changed or changing conditions; and the relation to changing conditions and the relation to appropriate plans of the area. Also approval by the controlling health agency and where applicable the Franklin County Engineer:

6. Attachments and additional information required:

- A. Complete and sign application
- B. One (1) copies of the legal description of the property. Current property survey to include acreage, and all bearings and distances, referencing an establishing beginning point.
- C. One (1) list of property owners within two hundred and fifty (250) feet of subject property, the address of the property and the mailing address of the property owners. This list must be obtained from the Franklin County Auditors Office located at 373 South High Street, Columbus, Ohio 43215 on the 19th floor.
- D. One (1) set of mailing labels for property owners within two hundred and fifty (250) feet of subject property.
- E. One (1) A-size map showing properties within two hundred and fifty (250) feet of subject property. This map must be obtained from the Franklin County Auditors Office located at 373 South High Street, Columbus, Ohio 43215 on the 19th floor.
- F. A recent photograph of the property to be rezoned must accompany the application.
- G. All information that pertains to sanitary services and water supply must be provided. This includes the location of any on-lot septic system(s) and/or well(s). If services are to be provided by a private or public entity, a letter must be provided verifying that the services exists *and* that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or the appropriate agency) must be provided.
- H. Any other information that may be deemed reasonably necessary by the Jefferson Township Zoning Department.
- I. Application filing fee payable to Jefferson Township. (*Fee \$500 + \$25 per acre/Residential; \$1,000 + \$50 per acre/Planned District, Commercial or Industrial*)

Fee to request a modification to an Approved Development Plan

\$500 + 50 Notice

If request is to rezone to a Planned District, please refer to the Jefferson Township Zoning Resolution for additional development plan submission requirements. Eight (8) copies of all required information must be submitted with this application.

7. Statement of Understanding:

I, Bryan K Knights (applicant / owner / agent) understand that this application must be filed with all pertinent information, as required by the Jefferson Township Zoning Resolution and any other information by Jefferson Township Zoning Department. I understand that my application will not be filed until all information has been received and that the Jefferson Township Zoning Department reserves the right to delay any request until such information has been received. I have been informed of my right to meet with staff prior to the submission of my application and have

either met with staff, through a scheduled appointment, or have waived my right to do so.

Applicant / Agent Signature:

Date: 116.25

8. Certification:

Before completing this application and executing the following cortication, it is recommended that the application be discussed with the Staff of the Jefferson Township Zoning Department.

APPLICANT'S CERTIFICATION

I / WE Bryan K Knights certify that I am / We are the owner(s) of land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly to the best of my / our ability present the arguments in behalf of the application herewith submitted and that the statements and attached exhibits above referred to are in all respects true and correct to the best of my / our knowledge and belief.

Signature of Property Owner:

Please Print: Bryan K Knights

Mailing Address: 171 Old Bay Drive

City, State, and Zip: Pataskala Ohio 43062

Phone Number: (216) 203-8903

Cell #: ()

E-Mail Address: b.knights@yahoo.com

Signature of Applicant:

Please Print:

(If different than property owner)

Mailing Address:

City, State, and Zip:

Phone Number: ()

Cell #: ()

E-Mail Address:

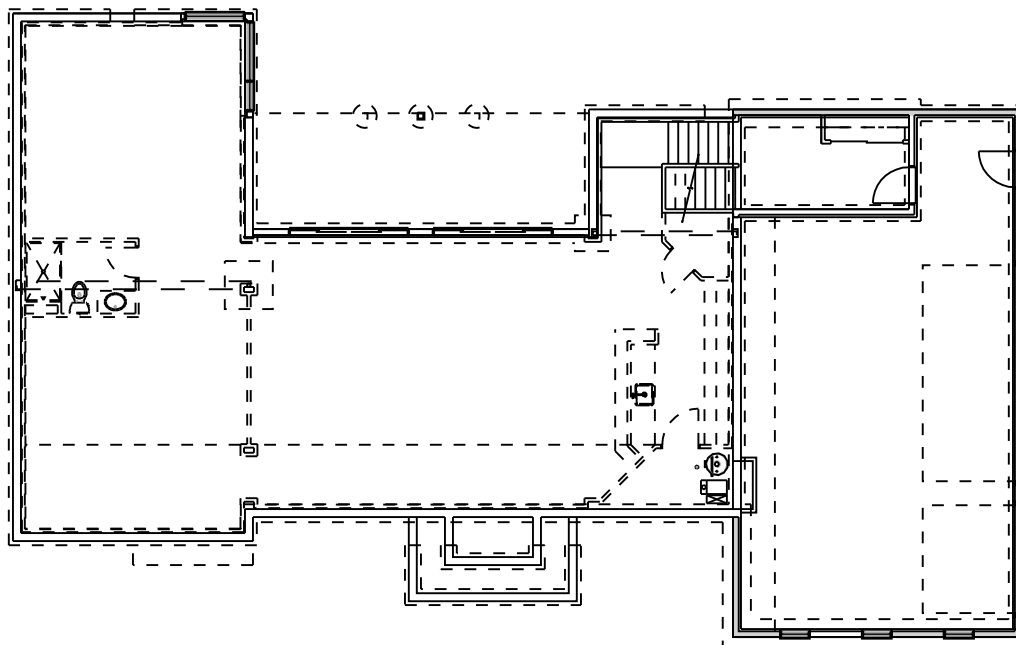
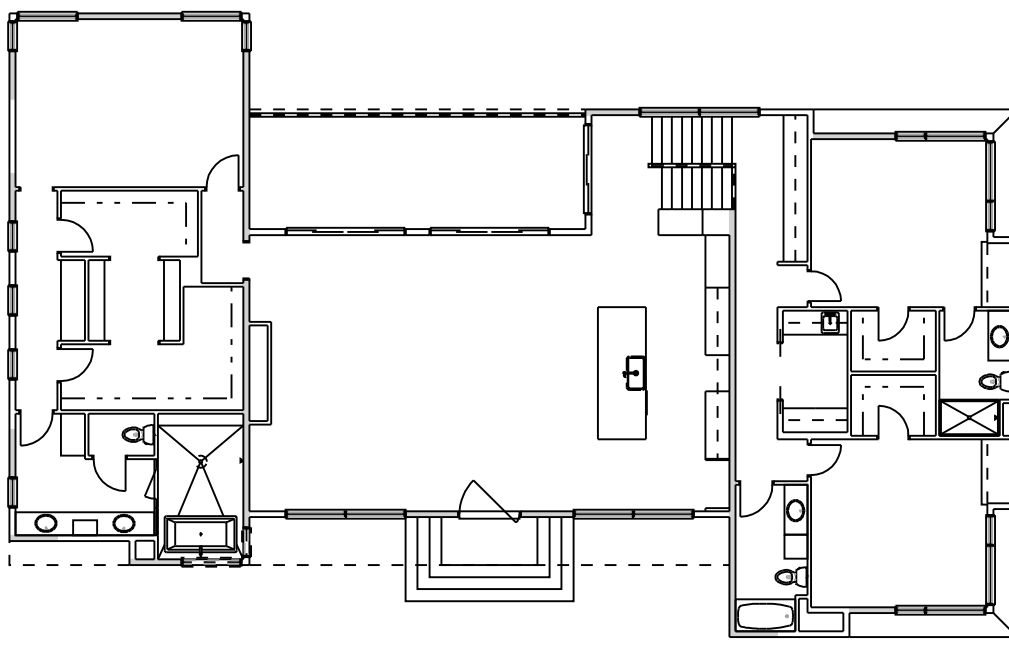
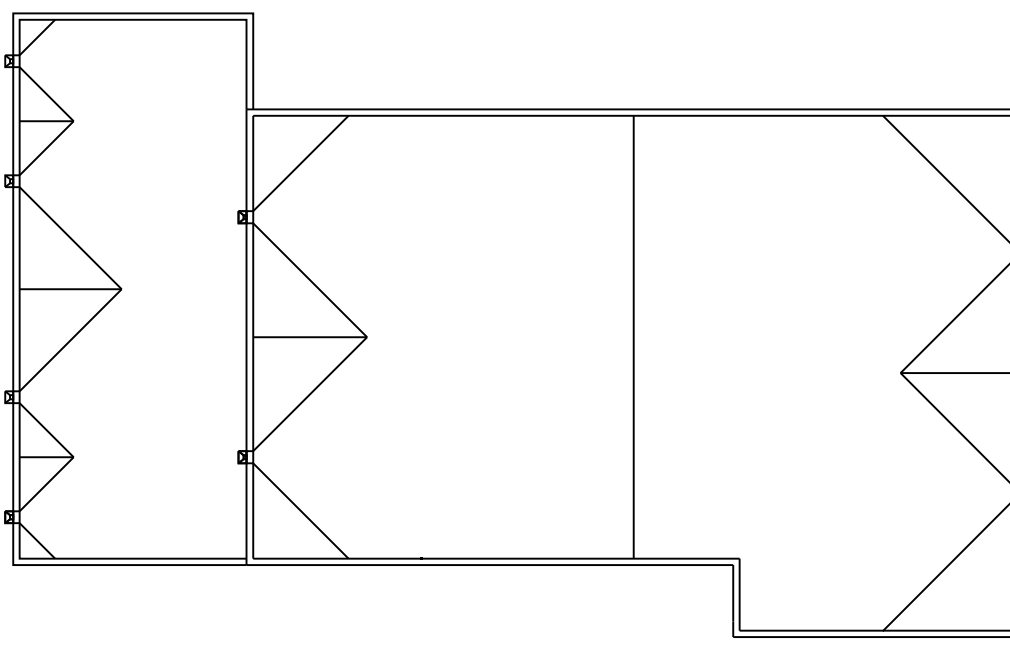
KEISER DESIGN GROUP PROJECT # 2025-113

KNIGHTS RESIDENCE

916 REYNOLDSBURG - NEW ALBANY ROAD
BLACKLICK, OHIO 43004

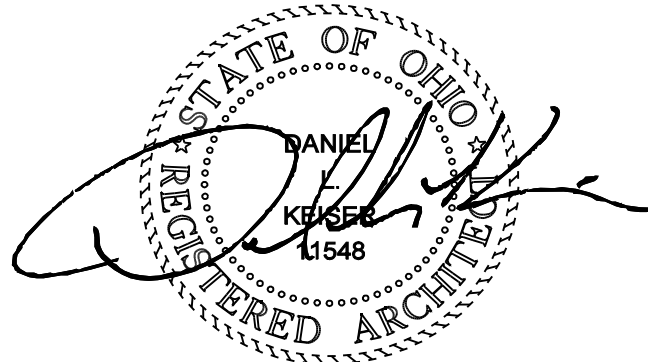


ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING. KEISER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR CHANGES TO THE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

LOWER LEVEL PLAN		FIRST FLOOR PLAN		ROOF PLAN		DRAWING INDEX									
						A0-0 COVER SHEET									
						A0-1 ARCHITECTURAL SITE PLAN									
						A1-0.1 LOWER LEVEL PLAN - FOUNDATION									
						A1-0.2 LOWER LEVEL PLAN - FUTURE FINISHED									
						A1-1 FIRST FLOOR PLAN									
						A1-2 ROOF PLAN									
						A2-1 EXTERIOR ELEVATIONS									
						A2-2 EXTERIOR ELEVATIONS									
						A3-1 WALL SECTIONS									
						A3-2 WALL SECTIONS									
<table><tr><th colspan="2">SQUARE FOOTAGE TABLE</th></tr><tr><td>LOWER LEVEL - FINISHED</td><td>223 S.F.</td></tr><tr><td>LOWER LEVEL - UNFINISHED</td><td>1,761 S.F.</td></tr><tr><td>FIRST FLOOR</td><td>2,939 S.F.</td></tr><tr><td>GARAGE</td><td>921 S.F.</td></tr><tr><td>DECK</td><td>271 S.F.</td></tr></table>		SQUARE FOOTAGE TABLE		LOWER LEVEL - FINISHED	223 S.F.	LOWER LEVEL - UNFINISHED	1,761 S.F.	FIRST FLOOR	2,939 S.F.	GARAGE	921 S.F.	DECK	271 S.F.	A3-3 STAIR SECTION / LIGHT AND VENT	
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		SCHEDULE / WALL BRACING METHODS /													
		OHBA ALTERNATIVE ENERGY CODE													
		A4-1 GENERAL NOTES / STRUCTURAL NOTES													
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A0-1 ARCHITECTURAL SITE PLAN															
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A4-1 GENERAL NOTES / STRUCTURAL NOTES															

KDGKEISER DESIGN GROUP

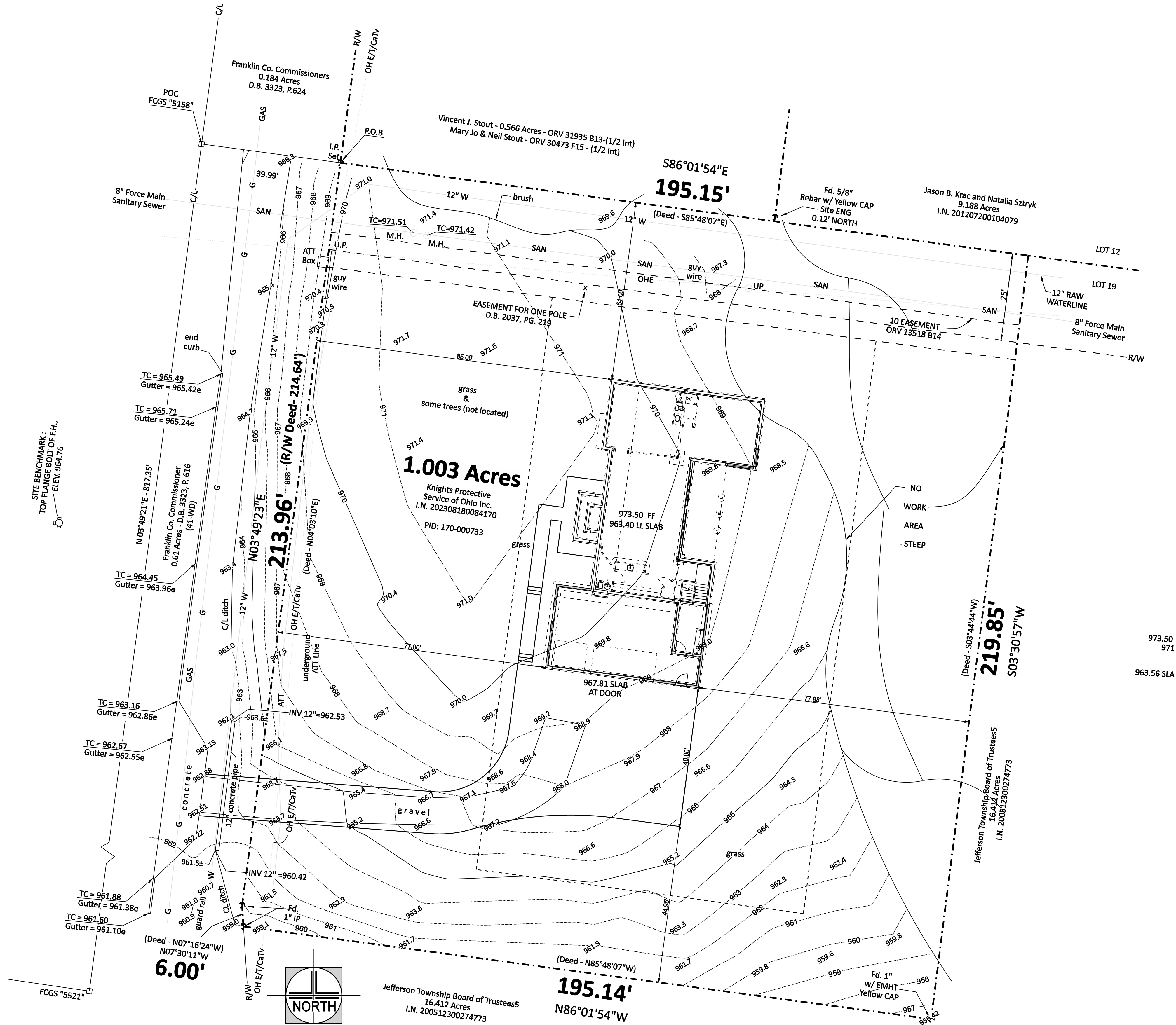
800 Cross Pointe Road, Suite M I Gahanna, OH 43230
Phone: 614.884.9999
www.keiserdesigngroup.com



DANIEL L. KEISER, LICENSE #11548 EXPIRATION DATE: 12/31/2025

KDG PROJECT # 2025-113	SHEET NUMBER
COVER SHEET	A0-0
SCALE: N.T.S.	
CONSTRUCTION DOCUMENTS	07.03.2025

KNIGHTS RESIDENCE
916 REYNOLDSBURG - NEW ALBANY ROAD
BLACKLICK, OHIO 43004



NOTE: THE DRAWING HAS BEEN PREPARED FROM SURVEY PREPARED BY MYERS SURVEYING COMPANY AND IS BEING USED BY THE ARCHITECT, (WHO IS NOT A REGISTERED SURVEYOR OR ENGINEER), IN GOOD FAITH. ANY DISCREPANCIES BETWEEN THE ACTUAL PROJECT CONDITIONS AND THE INFORMATION PROVIDED ARE NOT THE RESPONSIBILITY OF THE ARCHITECT. THIS DRAWING IS ONLY A SCHEMATIC SITE PLAN, INDICATING THE PROPOSED LOCATION OF THE STRUCTURE. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR.

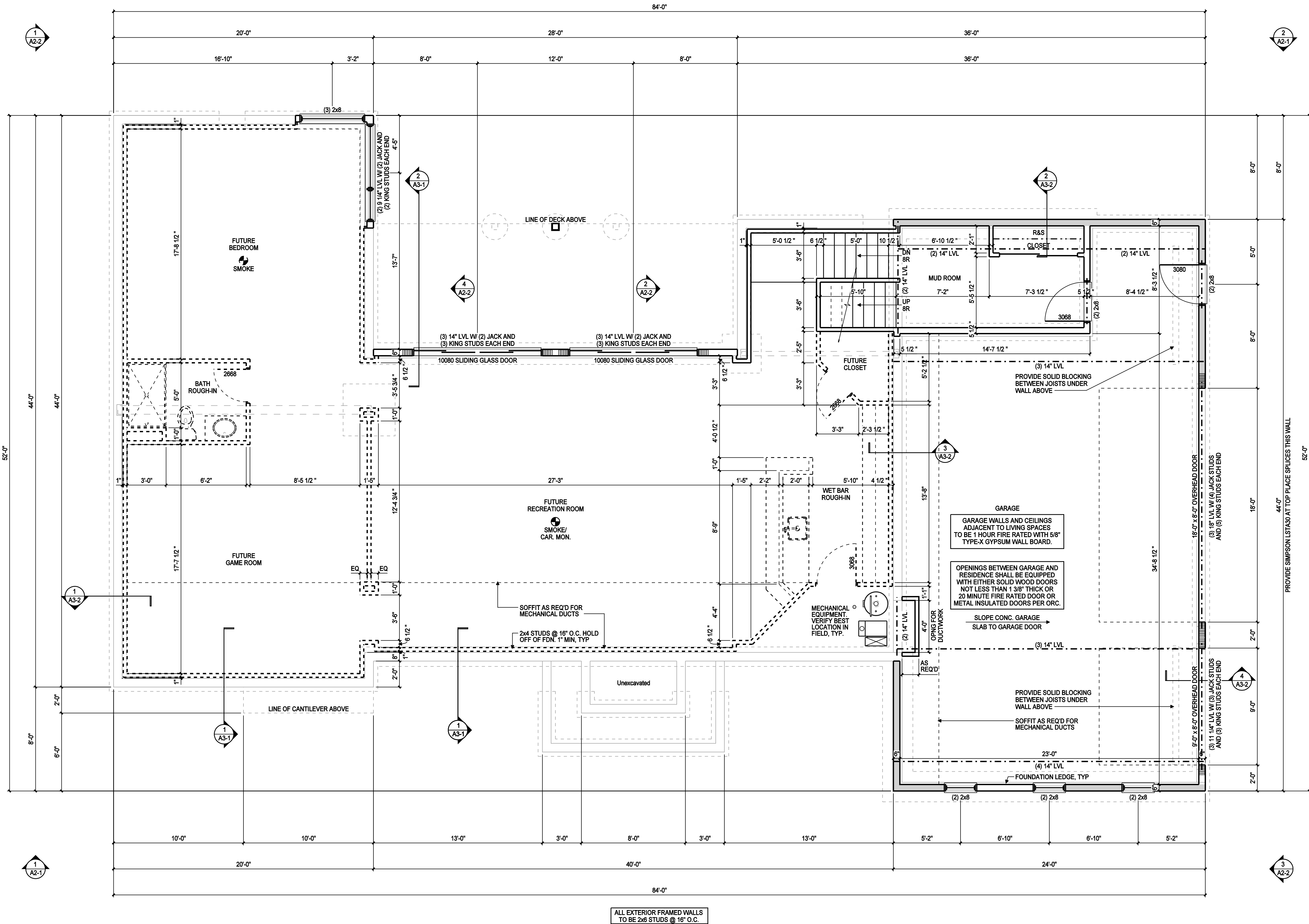
KNIGHTS RESIDENCE
916 REYNOLDSBURG -
NEW ALBANY ROAD
BLACKLICK, OHIO 43004

DANIEL
L.
KEISER
11548

**KEISER
DESIGN
GROUP**

800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230
Phone: 614.864.9999
www.keiserdesigngroup.com

KDG PROJECT # 2025-113	SHEET NUMBER
ARCHITECTURAL SITE PLAN SCALE: 1/16" = 1'-0"	A0-1
CONSTRUCTION DOCUMENTS	07.03.2025



FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
2. ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING
3. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
4. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO KEISER DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
6. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
7. ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
8. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
9. WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
10. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
11. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
12. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.

STRUCTURAL LEGEND

- TRUSS / JOIST / RAFTER INDICATOR
 - HEADER / BEAM / DBL JOIST (SEE PLAN FOR SIZE)
 - GIRDER TRUSS / SITE BUILT TRUSS (SEE PLAN)
 - CONCRETE FOOTER, 12" DEEP (SEE PLAN FOR SIZE)
 - STEEL COLUMN
 - STEEL BEAM
 - POINT LOAD LOCATION
 - LOAD BEARING WALL
 - DIRECTION OF ROOF PITCH
 - WALL BRACING METHOD CS-PF
 - WALL BRACING METHOD CS-WSP
- SEE SHEET A4-1 FOR STRUCTURAL NOTES

#	DATE	ISSUED WITH / CHANGE DESCRIPTION

KNIGHTS
RESIDENCE

918 REYNOLDSBURG -
NEW ALBANY ROAD
BLACKLICK, OHIO 43004

STATE OF OHIO
REGISTERED ARCHITECT

DANIEL
L.
KEISER
11548

800 Cross Pointe Road, Suite M 1, Gahanna, OH 43230
Phone: 614.984.9999
www.keiserdesigngroup.com

KDG PROJECT # 2025-113	SHEET NUMBER
LOWER LEVEL PLAN - FIN SCALE: 1/4" = 1'-0"	A1-0.2
CONSTRUCTION DOCUMENTS	07.03.2025

1

LOWER LEVEL PLAN - FUTURE FINISHED

BLOCK ALL BEARING POINTS
TO BEAM OR FOUNDATION

LVL DATA SHEETS MUST BE PROVIDED AT
FRAMING INSPECTION.

O.S.B. ROOF, WALL AND FLOOR SHEATHING:
LEAVE 1/8" MINIMUM GAP ON EDGES AND
AROUND OPENINGS TO ALLOW FOR EXPANSION
AND CONTRACTION OF SHEATHING

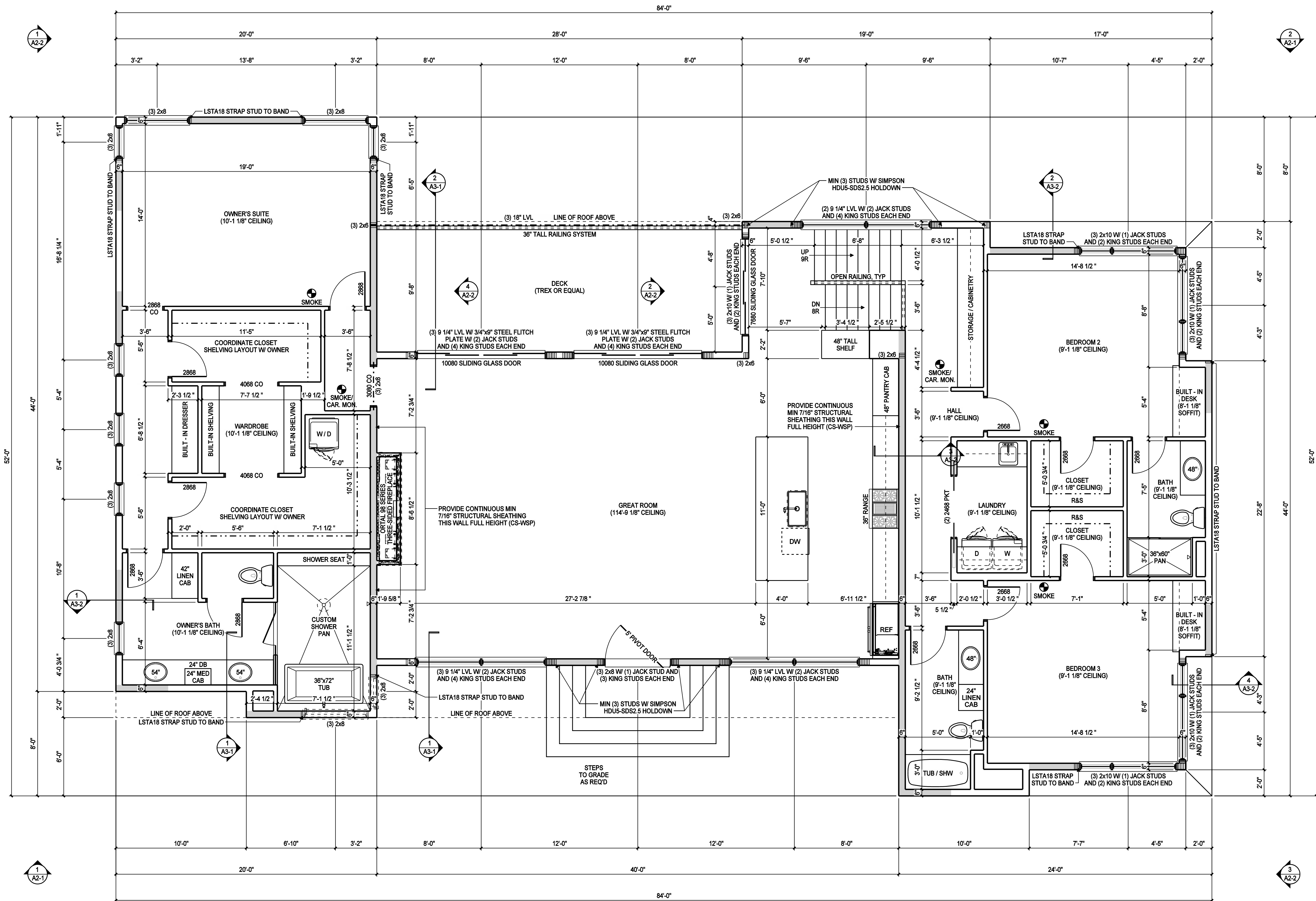
FIRE STOPPING SHALL BE PROVIDED TO
CUT OFF ALL CONCEALED DRAFT OPENINGS
(VERTICAL AND HORIZONTAL) AND TO FORM
AN EFFECTIVE FIRE BARRIER BETWEEN
STORIES AND BETWEEN STORIES AND ROOF

PROVIDE PANEL TO ACCESS
WHIRLPOOL TUB PLATFORM
FOR THE SERVICING, MAINT.
AND/OR REMOVAL OF MOTOR
AND PUMP

INSTALL PRE-FAB FIREPLACES
PER MFR'S RECOMMENDATIONS.
CONTRACTOR TO PROVIDE MFR.
INSTALLATION SHEETS AT
INSPECTION

SMOKE DETECTORS SHALL BE INSTALLED
INSIDE EACH BEDROOM, OUTSIDE EACH
SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS AND ON EACH
FLOOR, INCLUDING THE BASEMENT. THE
SMOKE DETECTORS SHALL BE HARDWIRED
WITH BATTERY BACKUP AND CONNECTED
TOGETHER

ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED.
A. GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED
PANELS AND SIDE LIGHTS.
B. GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND
SHOWERS
C. GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
D. GLAZING WITHIN 18" OF THE FINISH FLOOR
E. GLAZING IN RAILINGS
F. GLAZING IN WALLS AND FENCES ENCLOSING A SWIMMING POOL WITH
THE BOTTOM EDGE WITHIN 6" OF THE FLOOR.
G. GLAZING ADJACENT TO TUBS & SHOWERS



**ALL EXTERIOR FRAMED WALLS
TO BE 2x6 STUDS @ 16" O.C.**

**BLOCK ALL BEARING POINTS
TO BEAM OR FOUNDATION**

LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.

**O.S.B. ROOF, WALL AND FLOOR SHEATHING:
LEAVE 1/8" MINIMUM GAP ON EDGES AND
AROUND OPENINGS TO ALLOW FOR EXPANSION
AND CONTRACTION OF SHEATHING**

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF

**PROVIDE PANEL TO ACCESS
WHIRLPOOL TUB PLATFORM
FOR THE SERVICING, MAINT.
AND/OR REMOVAL OF MOTOR
AND PUMP**

**INSTALL PRE-FAB FIREPLACES
PER MFR.'S RECOMMENDATIONS.
CONTRACTOR TO PROVIDE MFR.
INSTALLATION SHEETS AT
INSPECTION**

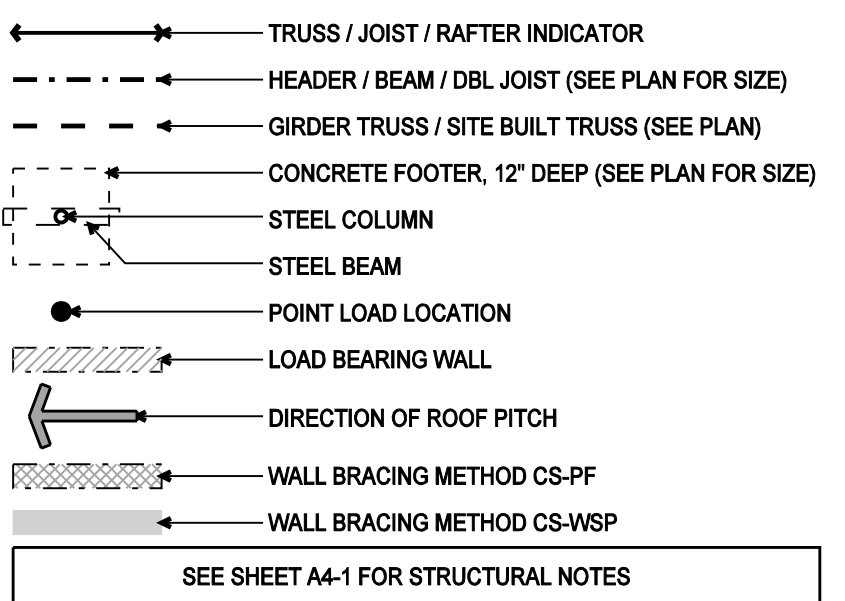
SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER

- A. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:
- F. GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LIGHTS.
- B. GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS
- C. GLAZES WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
- D. GLAZING WITHIN 18" OF THE FINISH FLOOR
- E. GLAZING IN RAILINGS
- F. GLAZING IN WALLS AND FENCES ENCLOSING A SWIMMING POOL WITH THE BOTTOM EDGE WITHIN 60" OF THE FLOOR.
- G. GLAZING ADJACENT TO TUBS & SHOWERS

FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6'0" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
2. EXTERIOR WALLS TO BE FINISHED WITH SILLIS TO BE 2-4" STAYS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING
3. A READILY ACCESSIBLE ATTY ACCESS FRAMED OPENING NOT LESS THAN 22" X 30" SHALL BE PROVIDED TO ANY ATTY AREA HAVING A CLEAR HEIGHT OVER 30".
4. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
6. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
7. ALL DRAWINGS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
8. ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA OR BE OF AN APPROVED DECAY RESISTANT PRODUCT) INCLUDING ALL BUTT JOINTS, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
10. WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 16 STUDS AT EACH START AND END OF OPENING.
11. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
12. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.

STRUCTURAL LEGEND



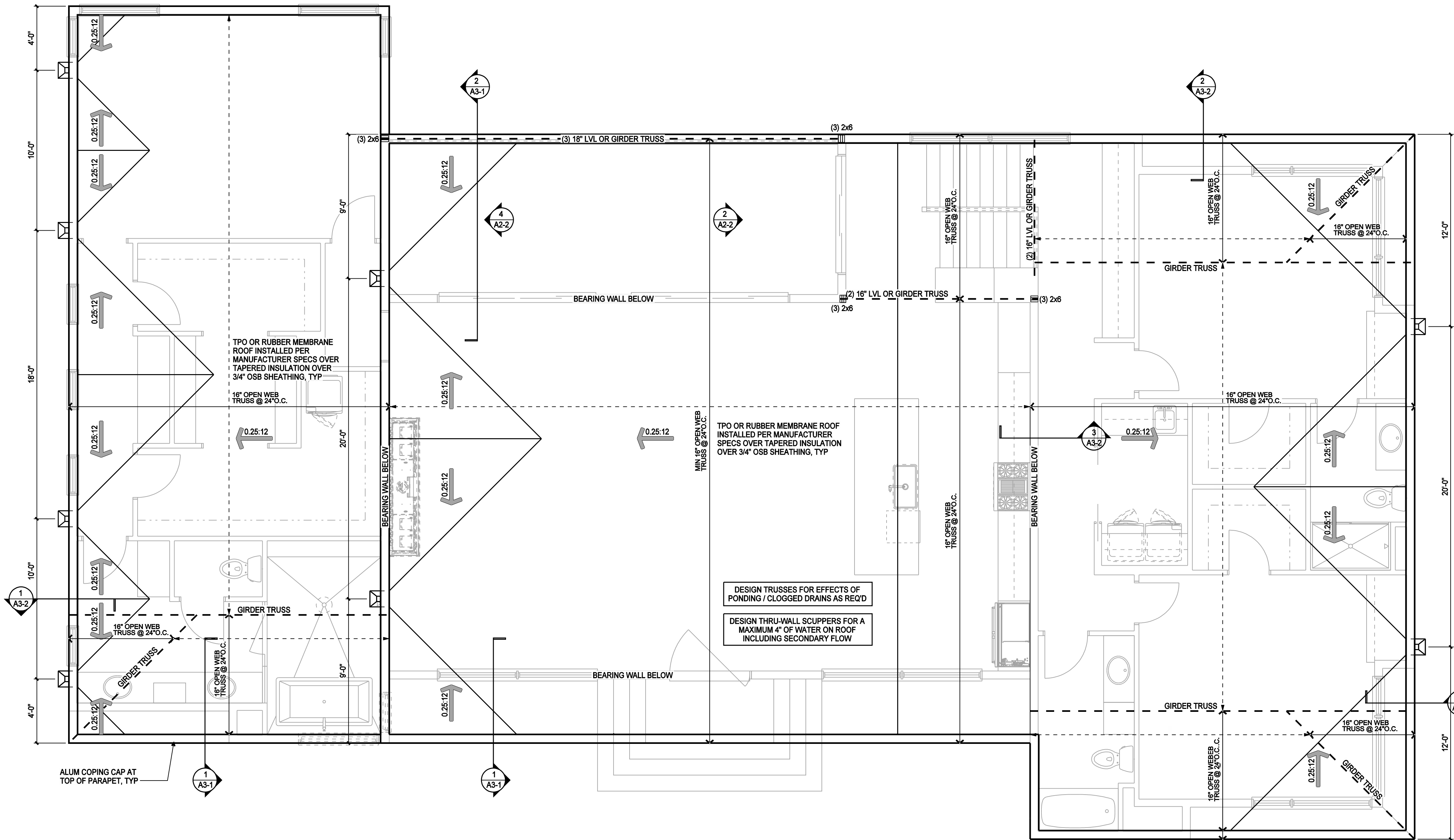
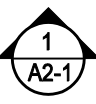
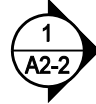
#	DATE	ISSUED WITH / CHANGE DESCRIPTION

The image contains two distinct logos. On the left is the logo for 'Knights Residence', featuring a stylized knight chess piece above the text 'KNIGHTS RESIDENCE' in a bold, serif font, with the address '916 REYNOLDSBURG - NEW ALBANY ROAD BLACKLICK, OHIO 43004' below it. On the right is a circular professional seal for 'DANIEL L. KEISER', a 'REGISTERED ARCHITECT' in the 'STATE OF OHIO'.



800 Cross Pointe Road, Suite M I Gahanna, OH 43230
Phone: 614.864.9999
www.keiserdesigngroup.com

KDG PROJECT # 2025-113	SHEET NUMBER
FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"	A1-1
CONSTRUCTION DOCUMENTS	07.03.2025



BLOCK ALL BEARING POINTS
TO BEAM OR FOUNDATION

PROVIDE SOLID BLOCKING BETWEEN HEELS OF
TRUSSES AT TOP OF BRACED WALL PANELS PER
RCO FIGURE R602.10.8.2(1-3).

CONTRACTOR TO PROVIDE
TRUSS DATA AND TRUSS
LAYOUT ON SITE AT FRAMING
INSPECTION

ROOF SHEATHING SHALL BE
SUPPORTED WITH BLOCKING
OR EDGE CLIPPING WHEN
RAFTERS OR TRUSSES ARE
24\"/>

OVERLAY FRAMING: @ 24\"/>

PROVIDE ICE AND WATER SHIELD AT:
1. ALL VALLEYS AND ROOF PENETRATIONS.
2. 3\"/>

ROOF VENT NFVA CALCULATION:
CONTINUOUS RIDGE VENT ASSUMED TO BE 18\"/>

THE THICKNESS OF BLOWN OR SPRAYED ROOF / CEILING INSULATION
(FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES (MM) ON
MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300
SQUARE FEET (28 M²) THROUGHOUT THE ATTIC SPACE. THE MARKERS
SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH
THE MIN. INITIAL INSTALLED THICKNESS WITH NUMBERS A MIN. OF 1
INCH (25MM) IN HEIGHT. EACH MARKER SHALL FACE THE ATTIC
ACCESS OPENING. SPRAY POLYURETHANE FOAM THICKNESS AND
INSTALLED R-VALUE SHALL BE LISTED ON CERTIFICATION PROVIDED
BY THE INSULATION INSTALLER.

ATTIC VENTILATION:
WHEN DETERMINED NECESSARY BY THE BUILDING OFFICIAL DUE
TO ATMOSPHERIC OR CLIMATIC CONDITIONS, ENCLOSED ATTICS
AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE
APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL
HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY
VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN
OR SNOW. THE NET FREE VENTILATING AREA SHALL NOT BE LESS
THAN 1 TO 150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT
THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50% OF THE
REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS
LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED
AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS. THE NET FREE
CROSS-VENTILATION AREA MAY BE NOT LESS THAN 1 TO 300 OF THE
AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER
HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED
ON THE WARM SIDE OF THE CEILING.

MAIN HOUSE (UPPER ROOF)
2,597 S.F. / 150 = 17.31 SF OF FREE FLOW REQUIRED OR INSULATE ROOF
CAVITY FULL OR TO UNDERSIDE OF ROOF SHEATHING TO PROVIDE
CONDITIONED ATTIC SPACE

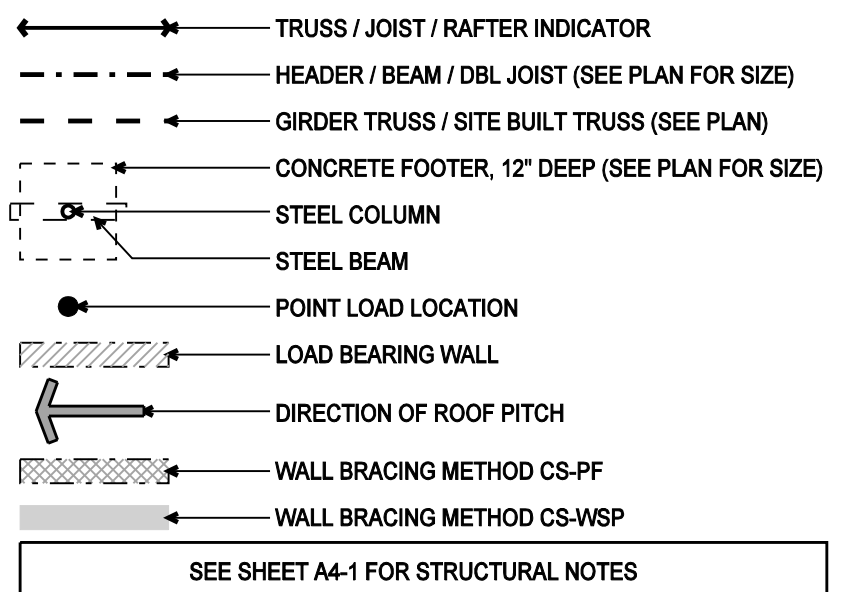
MAIN HOUSE (LOWER ROOF)
920 S.F. / 150 = 6.14 SF OF FREE FLOW REQUIRED OR INSULATE ROOF
CAVITY FULL OR TO UNDERSIDE OF ROOF SHEATHING TO PROVIDE
CONDITIONED ATTIC SPACE

GARAGE ROOF
800 S.F. / 150 = 5.34 SF OF FREE FLOW REQUIRED IF GYPSUM BOARD
CEILING IS PROVIDED OR INSULATE ROOF CAVITY FULL OR TO UNDER-
SIDE OF ROOF SHEATHING TO PROVIDE CONDITIONED ATTIC SPACE

ROOF PLAN NOTES

- CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF
DOWNSPOUTS PER APPLICABLE CODE(S) FOR PROPER ROOF DRAINAGE.
- PROVIDE CRICKETS AS NECESSARY FOR PROPER WATER DRAINAGE
- REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE
INFORMATION
- ROOF TRUSS PROFILES ARE SHOWN FOR CONFIGURATION ONLY. TRUSS
MANUFACTURER AND CONTRACTOR TO COORDINATE ALL DIMENSIONAL
RELATIONSHIPS. ALL ROOF TRUSSES AND GIRDERS TO BE ENGINEERED
BY TRUSS SUPPLIER AND MANUFACTURER. IT IS THE RESPONSIBILITY OF
THE CONTRACTOR TO PROVIDE TRUSS SHOP DRAWINGS TO ARCHITECT
FOR REVIEW OF ARCHITECTURAL CONFIGURATION PRIOR TO START OF
CONSTRUCTION. ALL TRUSSES TO BE ENGINEERED BY TRUSS MFR.
ACCORDING TO THE LOADING INDICATED IN THESE DOCUMENTS.
- TRUSS MANUFACTURER TO INSURE TRUSSES ARE DESIGNED SO THAT
FASCIA'S ALIGN PER EXTERIOR ELEVATIONS.
- ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A
CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE
PARALLEL TO THE RAFTERS. WHERE NOT PARALLEL, RAFTERS SHALL
BE TIED WITH A RAFTER TIE, LOCATED AS NEAR THE PLATE AS PRACTICAL
RAFTER TIES SHALL NOT BE SPACED MORE THAN 4'-0" O.C.. RAFTERS
SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET
PLATES AS A TIE.
- RIDGE BOARDS SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS
IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF
THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED
OF A SOLID 2x12 WITH AN ADDITIONAL 2x (AS REQ'D) FURRED TO THE
BOTTOM EDGE OF THE 2x12.
- VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL
THICKNESS AND NOT LESS IN DEPTH THAN THE CUT ENDS OF THE
RAFTERS.
- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A
BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY/
DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.
- FALSE CHIMNEYS, DORMERS, CUPOLAS, AND OTHER SIMILAR FEATURES,
SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE
FRAMED DOWN INTO THE ROOF TO CEILING JOIST LEVEL AND
STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS,
OR TRUSSES. THE EXTERIOR SHEATHING SHOULD EXTEND DOWN TO THIS
LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM
THE FIREBOX.

STRUCTURAL LEGEND



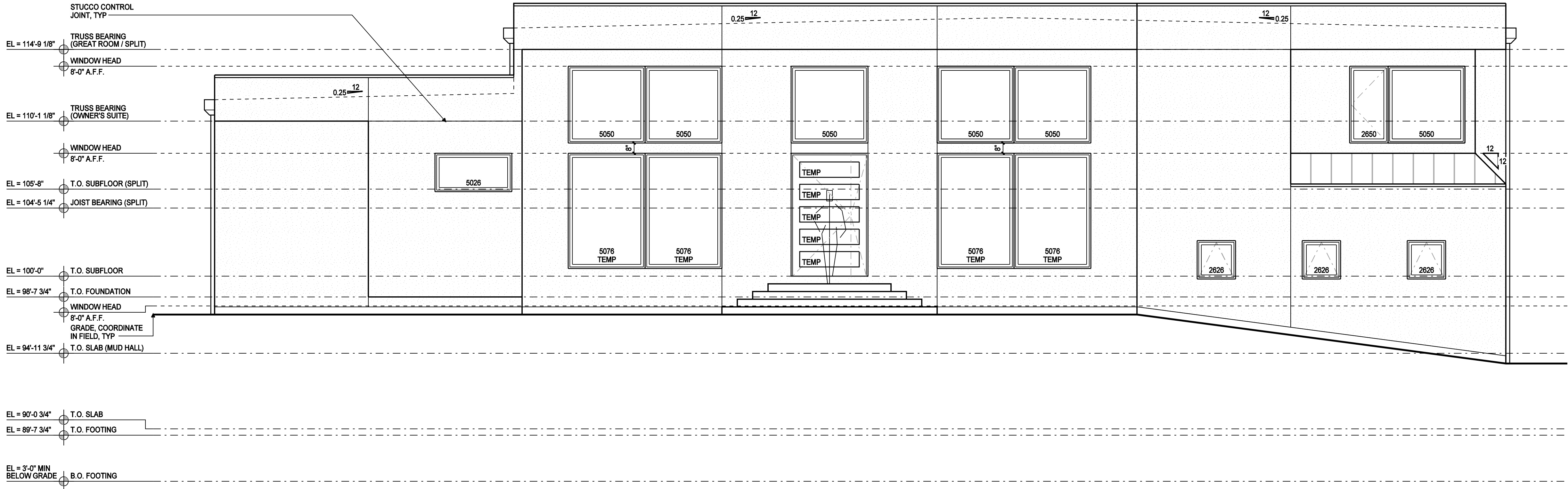
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BLACKLICK, OHIO 43004

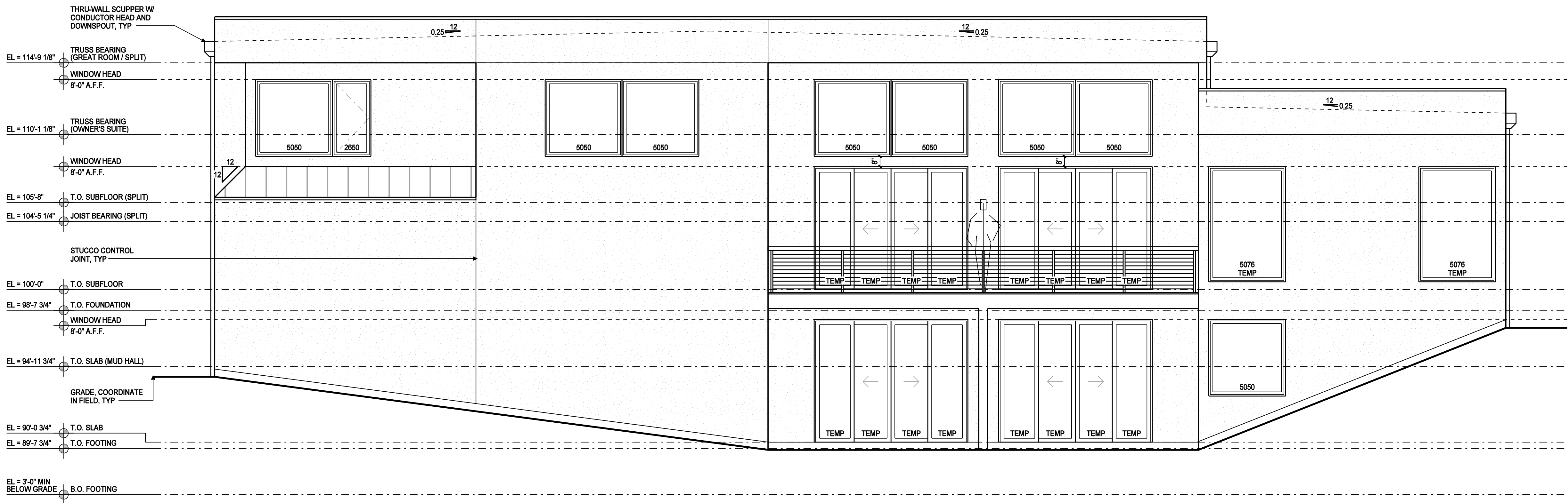


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ROOF PLAN SCALE: 1/4" = 1'-0"	A1-2
CONSTRUCTION DOCUMENTS	07.03.2025

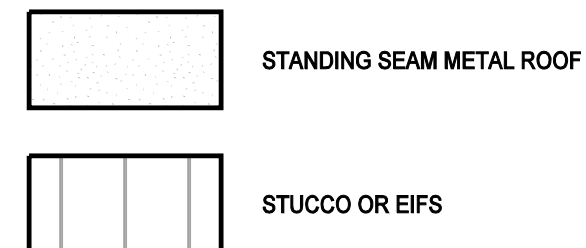


1 FRONT ELEVATION



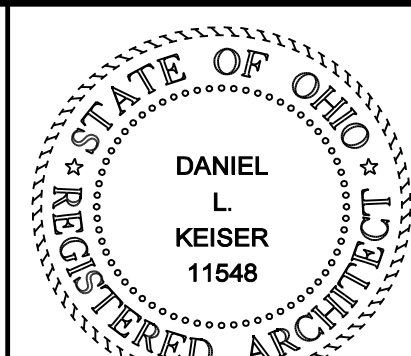
2 REAR ELEVATION

ELEVATION LEGEND



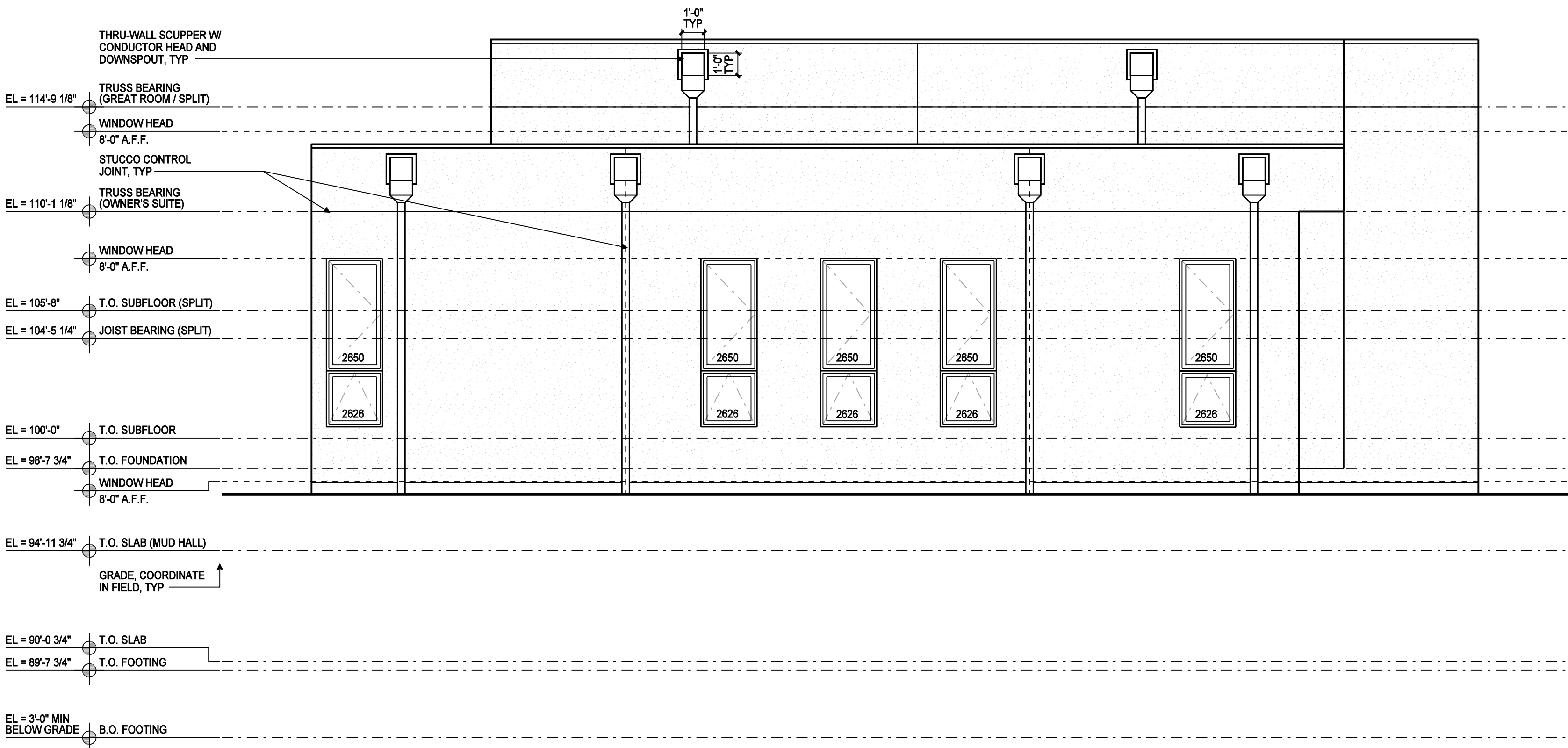
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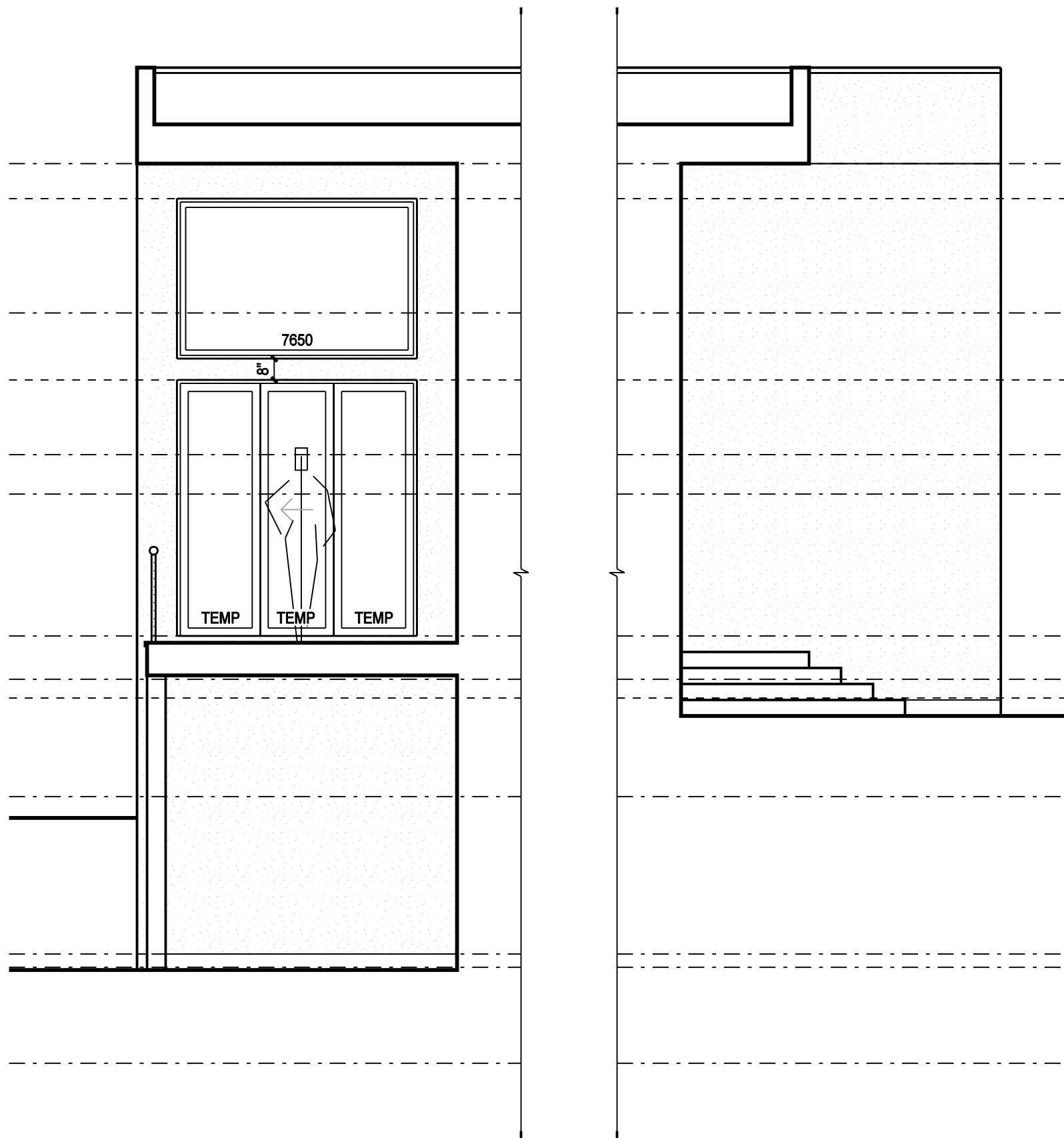


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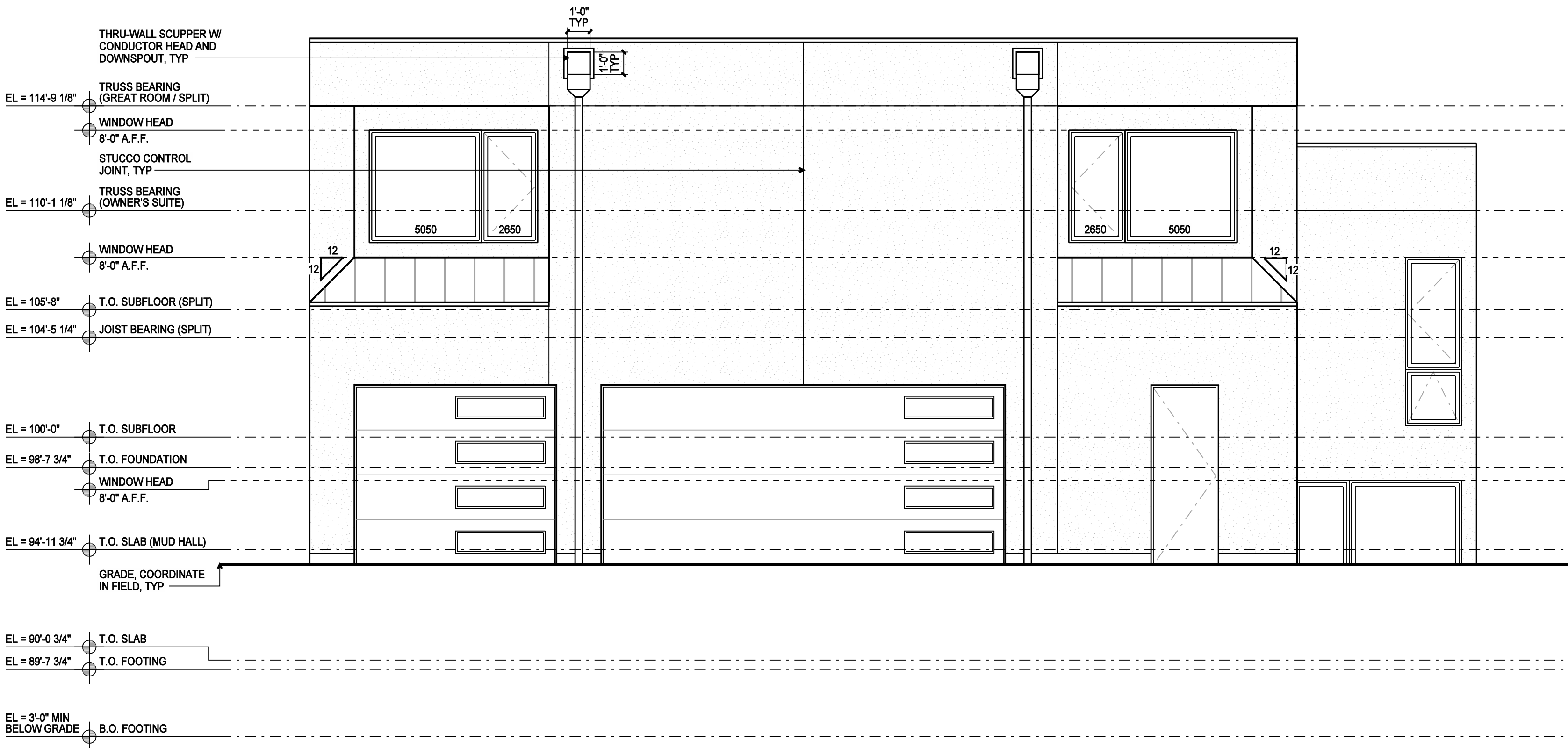
KDG PROJECT # 2025-113	SHEET NUMBER
EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"	A2-1
CONSTRUCTION DOCUMENTS	07.03.2025



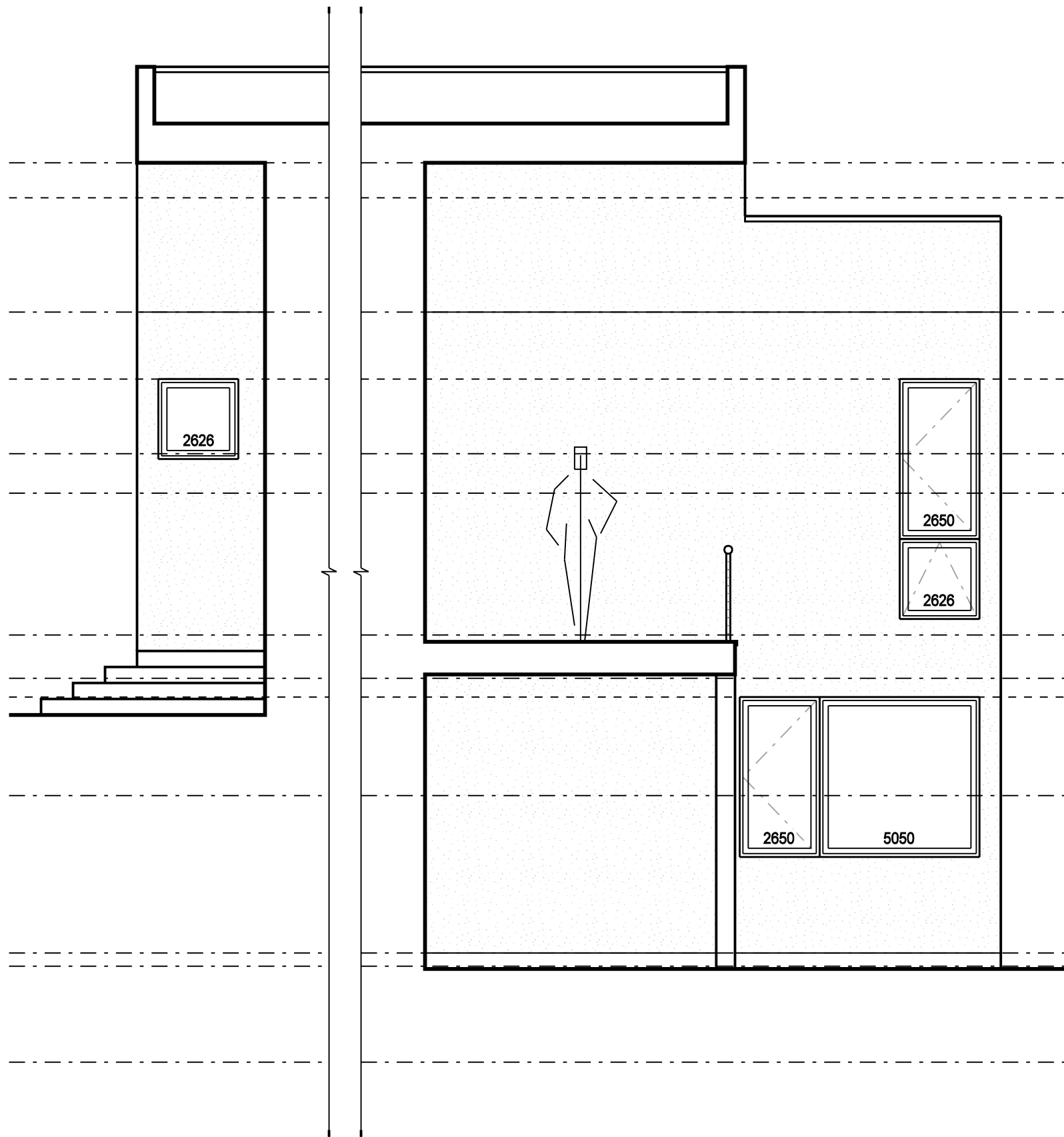
1 LEFT ELEVATION



2 LEFT ELEVATION / SECTION

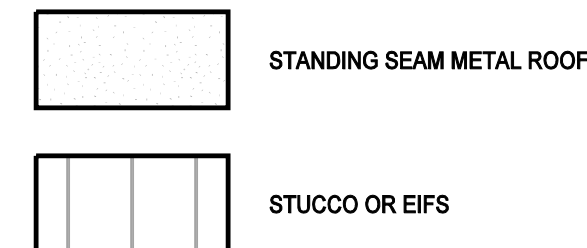


3 RIGHT ELEVATION



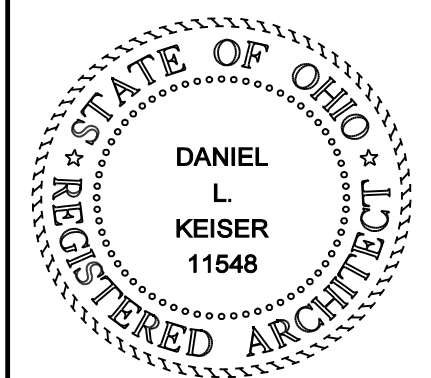
4 RIGHT ELEVATION / SECTION

ELEVATION LEGEND



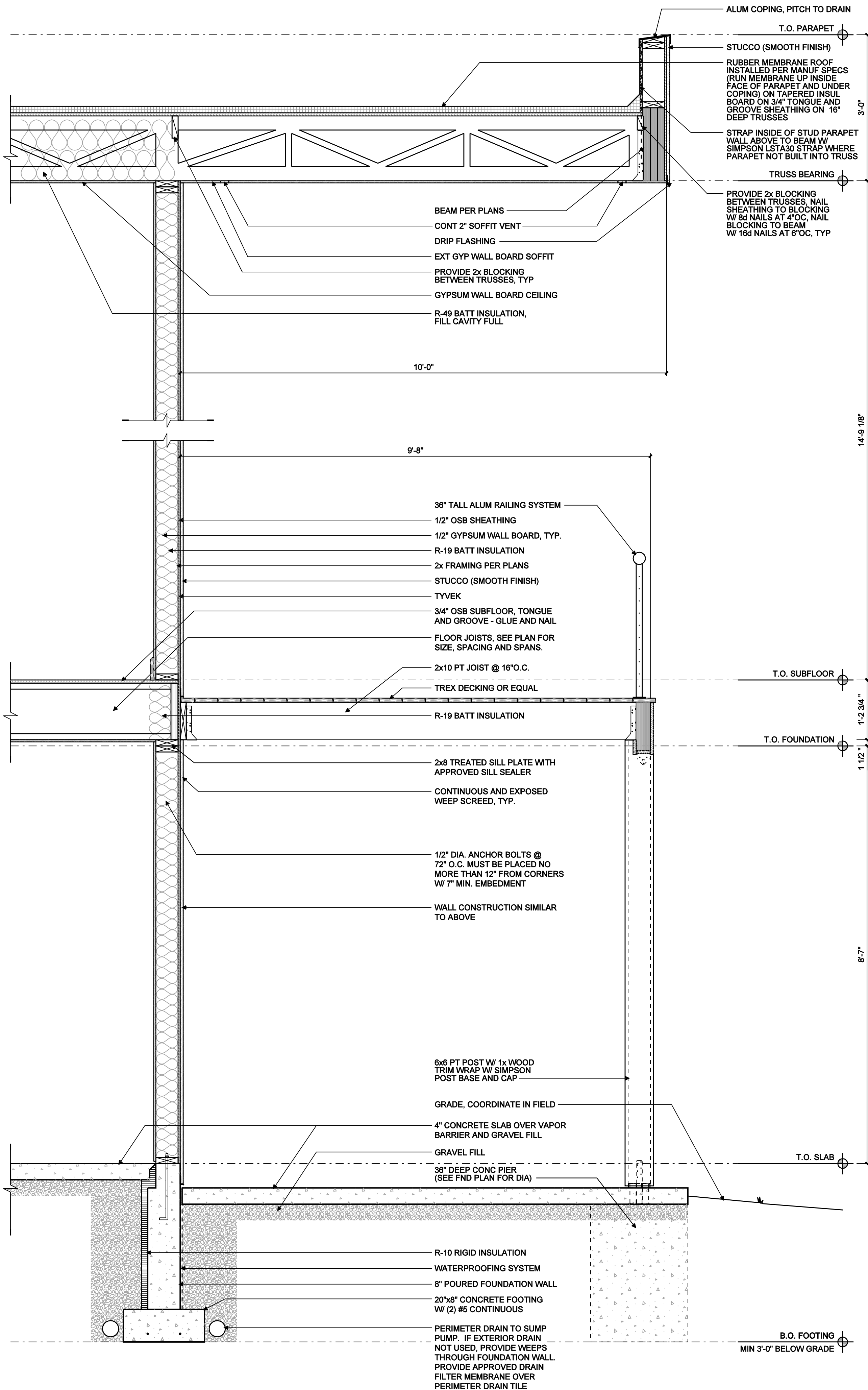
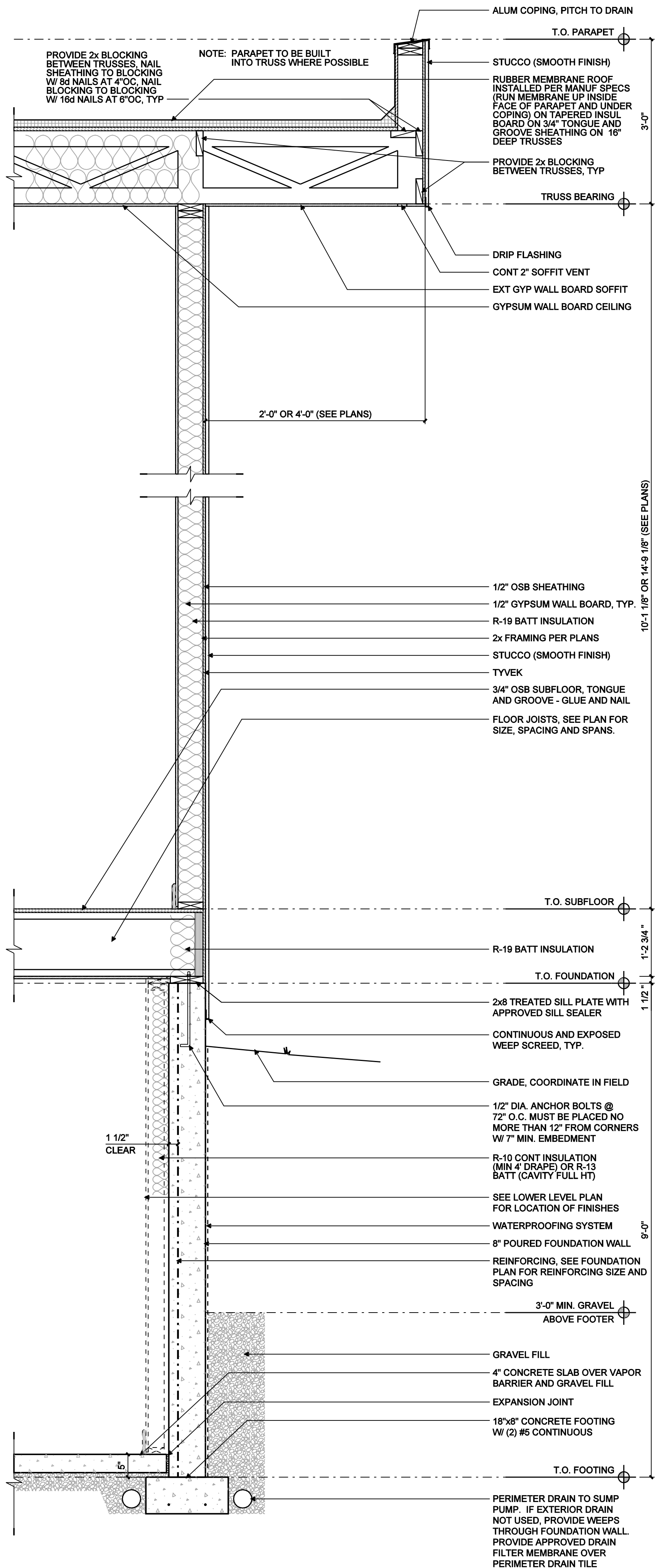
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EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"	A2-2
CONSTRUCTION DOCUMENTS	07.03.2025



WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES.
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO SLOPE 8' MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - A. AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - C. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - D. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OF FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - E. AT ALL WALL AND ROOF INTERSECTIONS.
- WEEP SCREEDS - A MINIMUM 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

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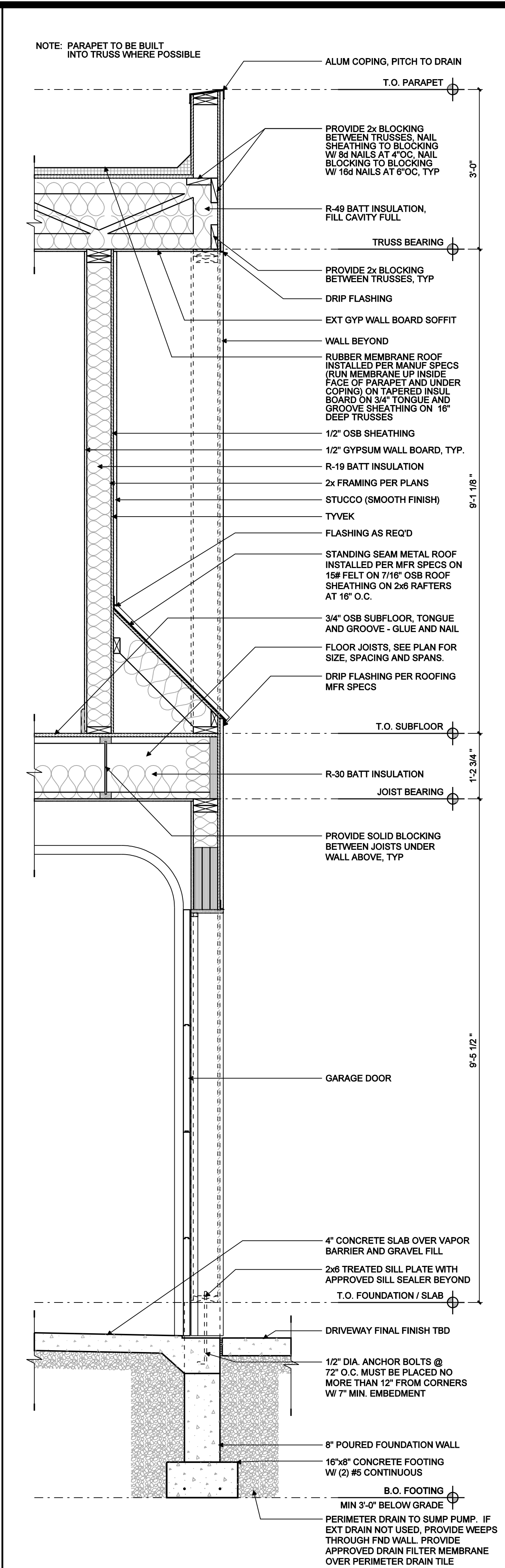
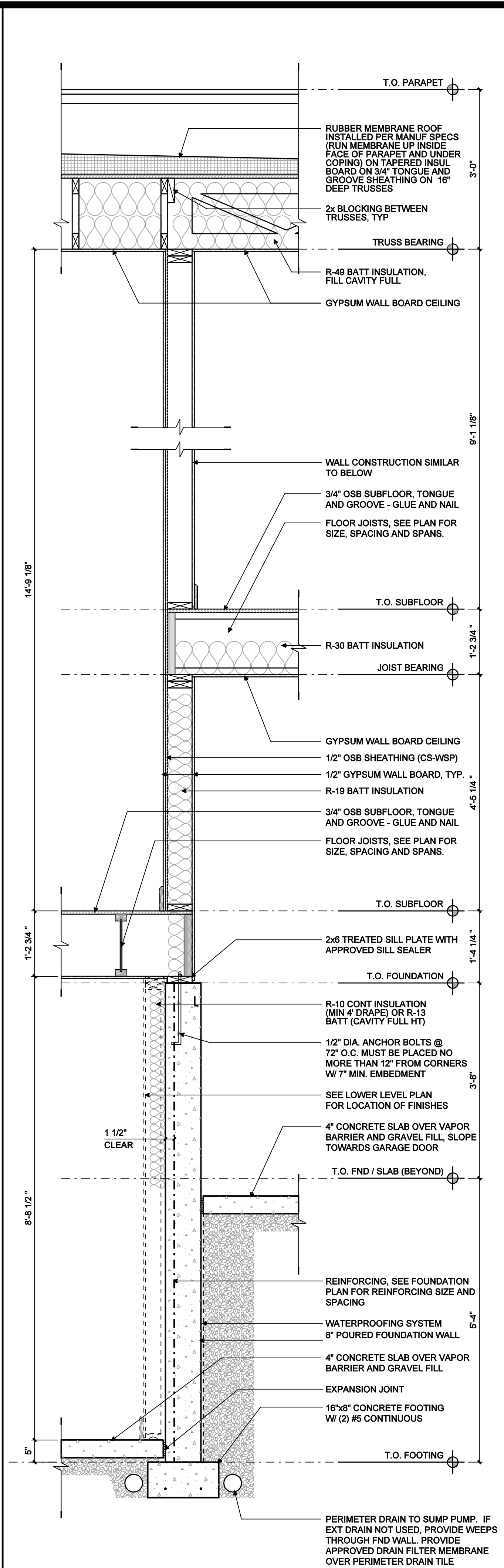
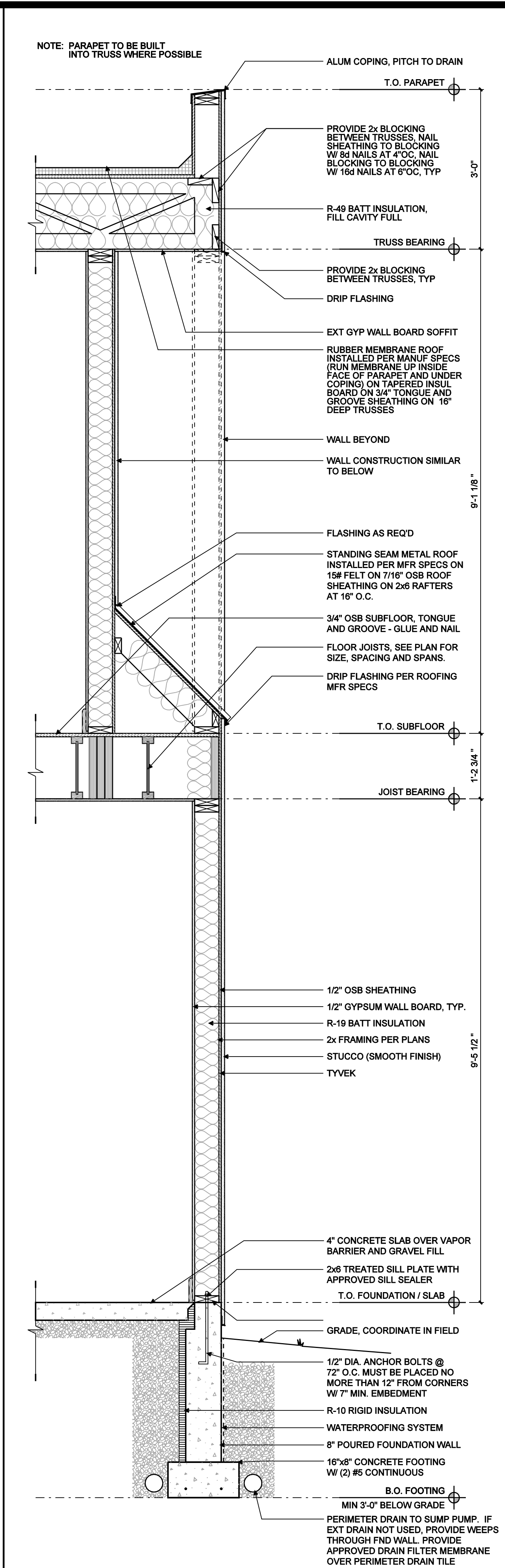
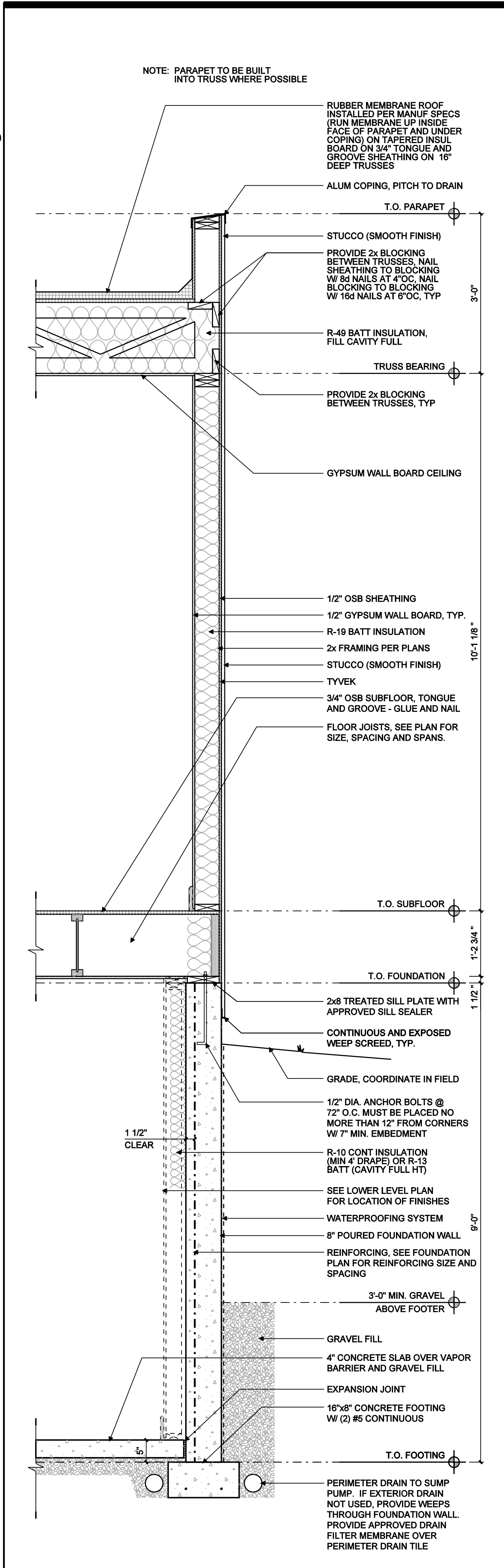
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KDG PROJECT # 2025-113	SHEET NUMBER
WALL SECTIONS SCALE: 3/4" = 1'-0"	A3-1
CONSTRUCTION DOCUMENTS	07.03.2025



WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES.
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
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- GRADE TO SLOPE 8' MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OF FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT ALL WALL AND ROOF INTERSECTIONS
- WEEP SCREEDS - A MINIMUM 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

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WALL SECTIONS SCALE: 3/4" = 1'-0"	A3-2
CONSTRUCTION DOCUMENTS	07.03.2025

LIGHT AND VENTILATION REQUIREMENTS FOR HABITABLE SPACES

HABITABLE ROOMS	ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.
	THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BE VENTILATED.
EXCEPTION #1	THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION 310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) (78L/s) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
EXCEPTION #2	THE GLAZING AREAS NEED NOT BE INSTALLED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (65 lux) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762 mm) ABOVE THE FLOOR LEVEL.
EXCEPTION #3	USE OF SUNROOM ADDITIONS AND PATIO COVERS, AS DEFINED IN SECTION 202, SHALL BE PERMITTED FOR NATURAL VENTILATION IF IN EXCESS OF 40% OF THE EXTERIOR SUNROOM WALLS ARE OPEN, OR ARE ENCLOSED ONLY BY INSECT SCREENING.

ROOM NAME	ROOM S.F.	WINDOW TYPE	REQUIRED GLAZING S.F.	ACTUAL GLAZING S.F.	REQUIRED VENT. S.F.	ACTUAL VENT. S.F.	TEMPERED GLAZING	BEDROOM EGRESS S.F.
LOWER LEVEL								
UNFINISHED	1,761 SF	CSMT / FIX / DR	140.88	182.50	70.44	92.50	YES	N/A
FIRST FLOOR								
GREAT ROOM	922 SF	FIX / DOOR	73.76	495.00	36.88	120.00	YES	N/A
OWNER'S SUITE	266 SF	AWN / CSMT / FIX	21.28	112.50	10.64	37.50	YES	5.0 SF REQ'D
BEDROOM 2	217 SF	CSMT / FIX	17.36	75.00	8.68	25.00	NO	5.7 SF REQ'D
BEDROOM 3	217 SF	CSMT / FIX	17.36	75.00	8.68	25.00	NO	5.7 SF REQ'D

NOTE: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" A.F.F. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE FLOOR OR BELOW GRADE FLOOR OPENINGS SHALL HAVE A NET FREE AREA NOT LESS THAN 5.0 SQ. FT.) THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". THE MINIMUM GLAZING AREA SHALL BE 8% OF THE HABITABLE FLOOR AREA AND THE MINIMUM VENTILATION SHALL BE 4 % OF THE HABITABLE FLOOR AREA.

*NOTE: THE GLAZED AREAS MAY BE OMITTED IN ROOMS WHERE THE OPENING IS NOT REQUIRED BY AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTSIDE VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM, AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (64lx) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762mm) ABOVE THE FLOOR LEVEL.

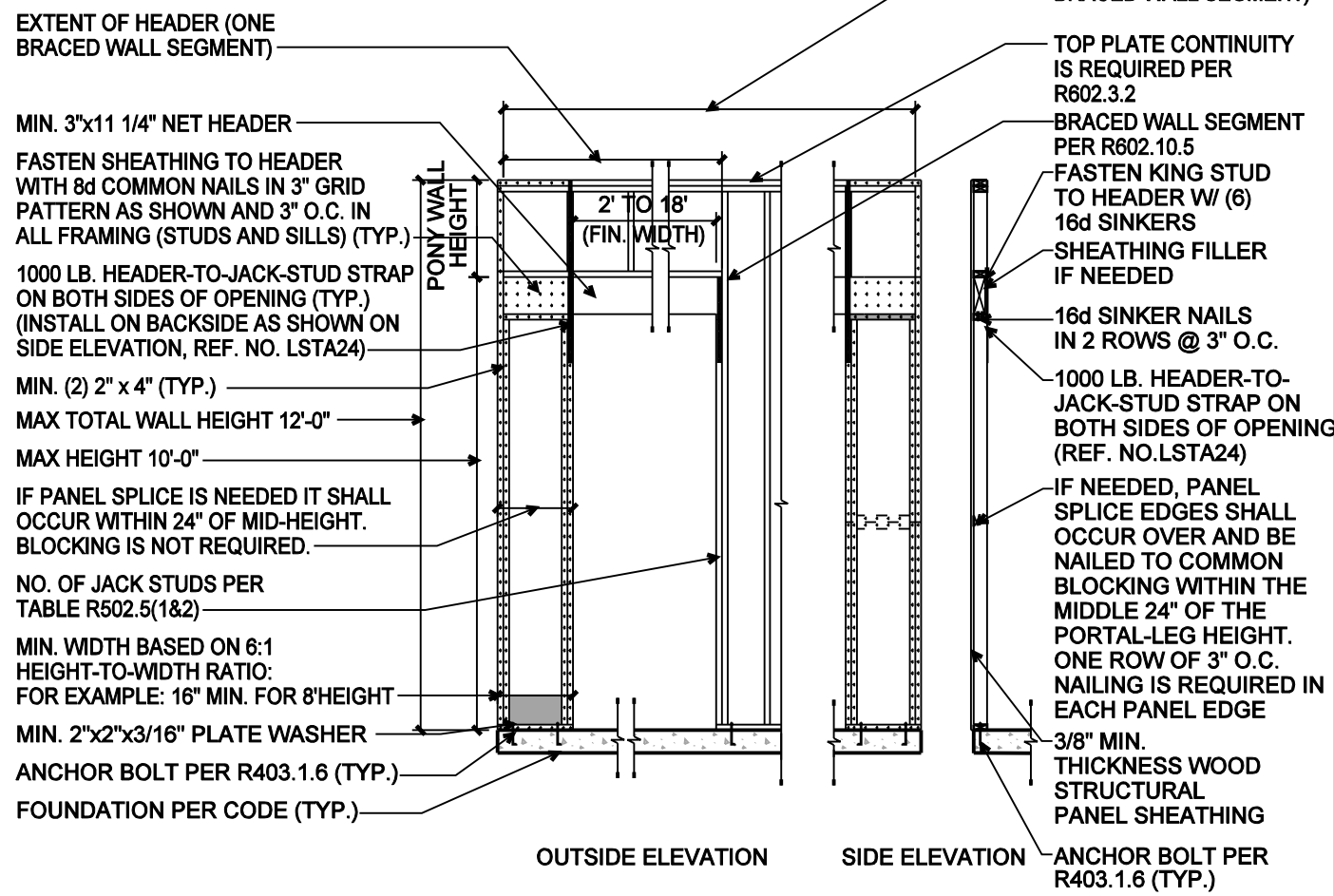
*NOTE: BATHROOMS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE AND A MECHANICAL VENTILATION SYSTEM. THE MINIMUM VENTILATION RATES SHALL BE 50 CFM (23.5 L/s) FOR INTERMITTENT VENTILATION OR 20 CFM (9.4 L/s) FOR CONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.

*NOTE: LOWER LEVEL ROOMS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE PER EXCEPTION #2 AND A MECHANICAL VENTILATION SYSTEM PER EXCEPTION #1

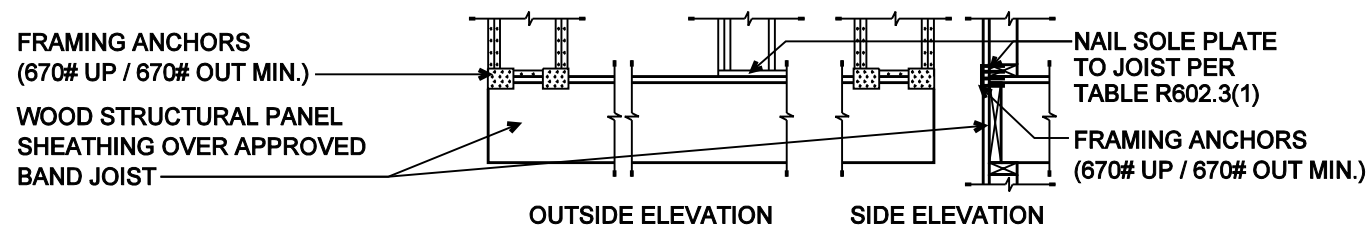
*NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL WINDOWS INSTALLED MEET THE REQ'D. GLAZING AND VENT AREAS OR THAT EXCEPTIONS 1, 2 OR 3 ARE COMPLIED WITH IF APPLICABLE AND EGRESS SIZE IS COMPLIANT.

LIGHT AND VENT SCHEDULE

OVER FOUNDATION:



OVER RAISED WOOD FLOORS OR SECOND FLOOR FRAMING ANCHOR OPTION:



OVER RAISED WOOD FLOORS OR SECOND FLOOR PANEL OVERLAP OPTION:

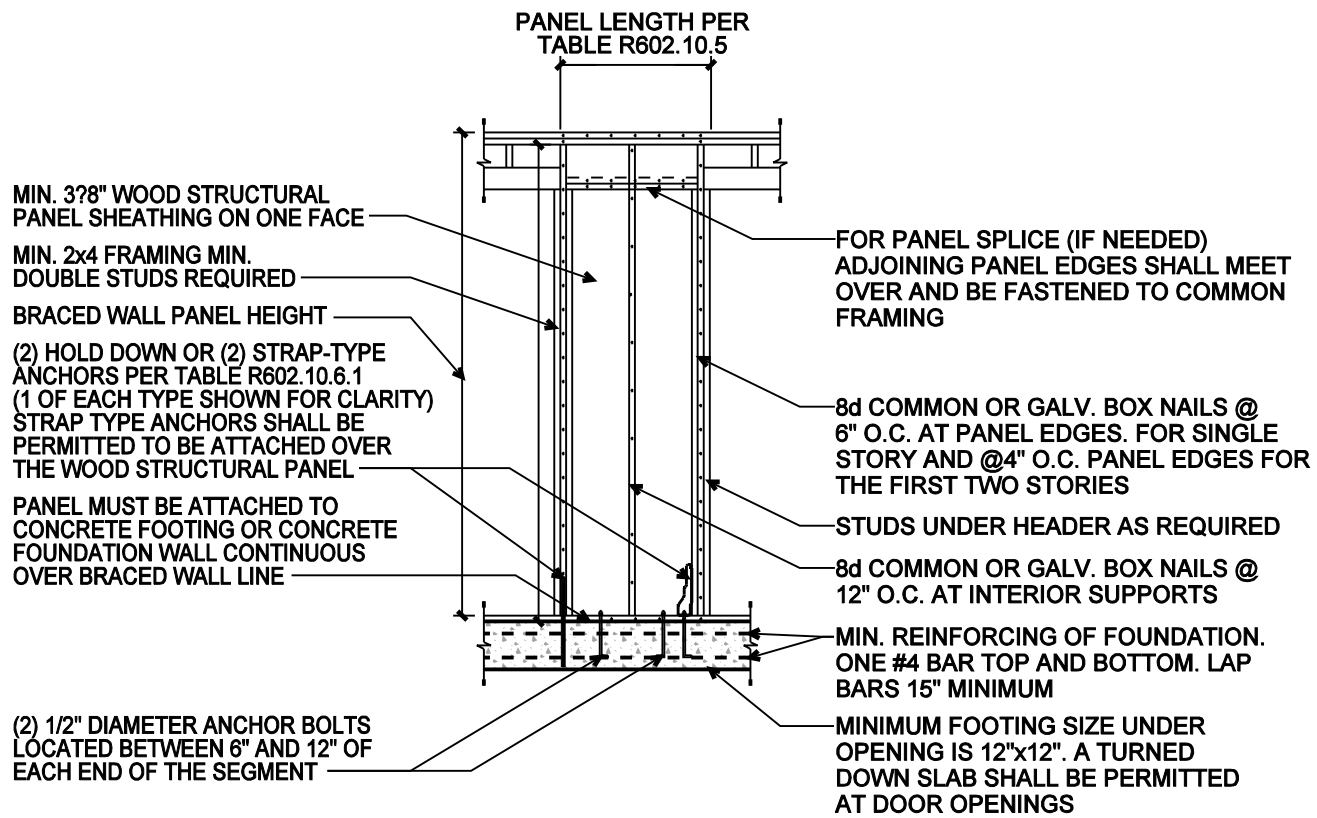
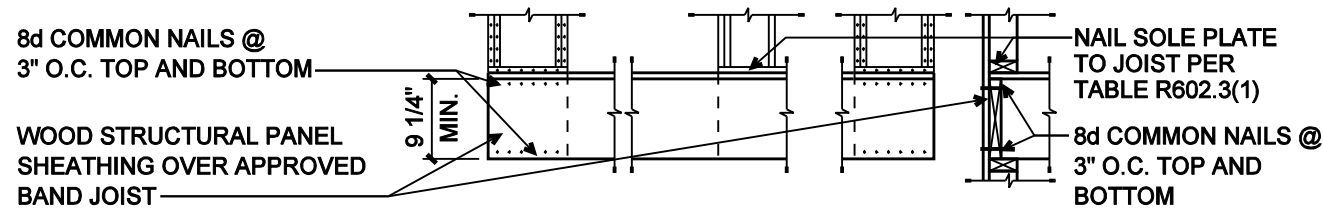


FIGURE 602.10.6.1
METHOD ABW-ALTERNATE BRACED WALL PANEL

TABLE 1112.2.1 INSULATION AND FENSTRATION REQUIREMENTS BY COMPONENT ^a										
	FENESTRATION U-FACTOR ^b	SKYLIGHT U-FACTOR ^b	GLAZED FENESTRATION SHGC ^c	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^g WALL R-VALUE	SLAB ^h R-VALUE AND DEPTH	CRAWL SPACE ⁱ WALL R-VALUE
COMPLIANCE PATH #1	0.32	0.60	NR	49	15 OR 13 + 3 ^b	13 / 17	30 ^d	10 / 13 (MINIMUM 4 FEET)	10, 2 FT	10 / 13

a. R-VALUES ARE MINIMUMS. U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT (SHGC) ARE MAXIMUMS. R-19 BATS COMPRESSED INTO NOMINAL 2x6 FRAMING CAVITY SUCH THAT THE R-VALUE IS REDUCED BY R-1 OR MORE SHALL BE MARKED WITH THE COMPRESSED BATT R-VALUE IN ADDITION TO THE FULL THICKNESS R-VALUE.

b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.

c. *10 / 13* MEANS R-10 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASMENT WALL.

d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.

e. DELETED.

f. DELETED.

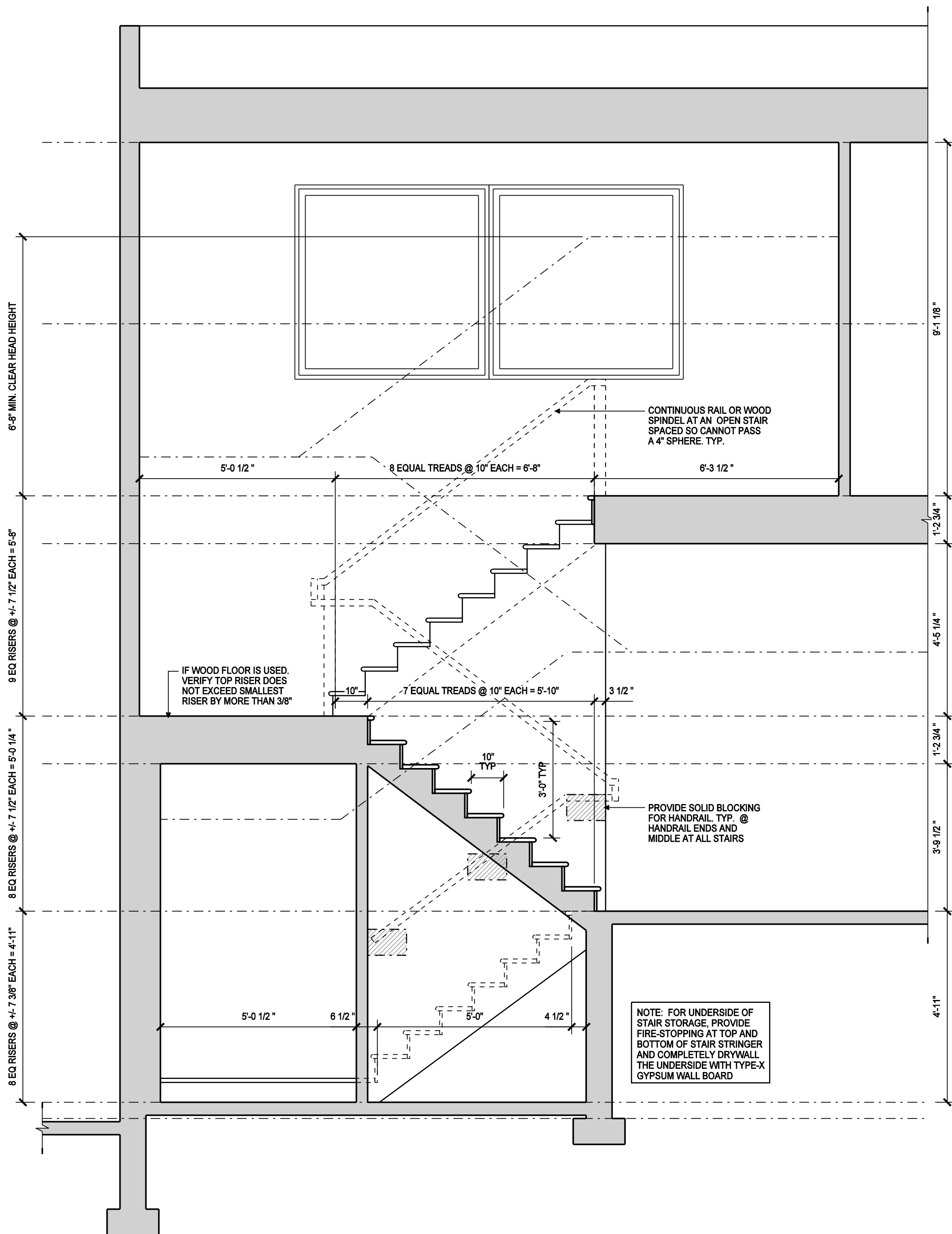
g. OR INSULATION SUFFICIENT TO FILL FRAMING CAVITY. R-19 MINIMUM.

h. *13 + 3* MEANS R-13 CAVITY INSULATION PLUS R-3 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25% OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED.

i. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

j. DELETED.

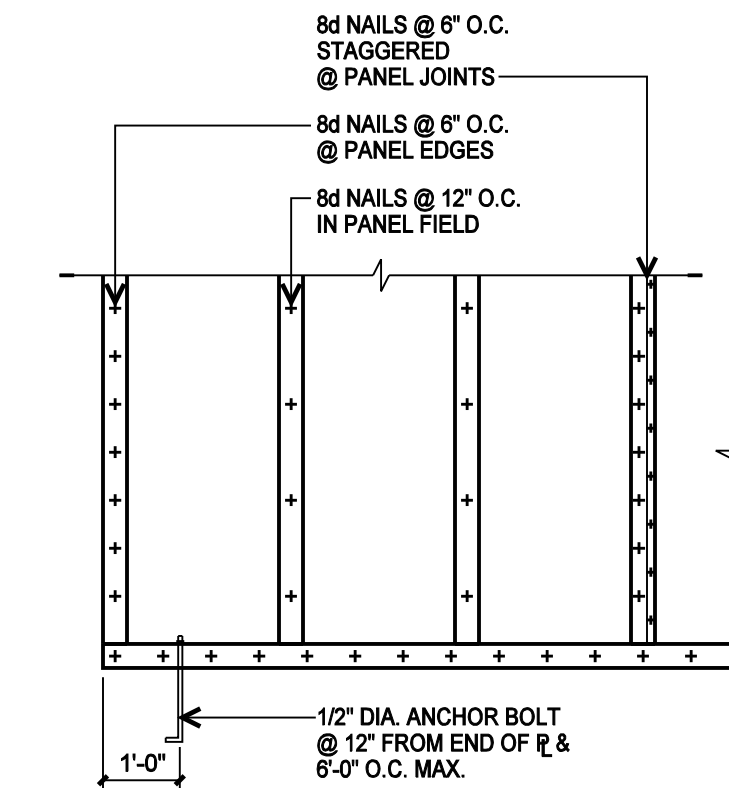
OHIO HOME BUILDERS ASSOCIATION (OHBA) ALTERNATIVE ENERGY CODE OPTION



STAIR SECTION NOTES

- HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38", AND SHALL RUN CONTINUOUS THE FULL LENGTH OF THE STAIRS, AND SHALL EXTEND 6" BEYOND THE TOP AND BOTTOM RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN A NEVEL POST. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ANY OPEN SIDES SHALL HAVE BALLUSTERS WITH LESS THAN 4" CLEAR BETWEEN.
- MAXIMUM RISER HEIGHT TO BE 8 1/4".
- MINIMUM TREAD DEPTH TO BE 9".
- NOSING TO BE 1" PROTRUSION
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. THE CONTROL FOR ARTIFICIAL LIGHT SOURCE(S) FOR AN INTERIOR STAIRWAY SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIR WITHOUT TRAVERSING ANY STEP OF THE STAIR. THE ILLUMINATION OF EXTERIOR STAIRS SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT UNLESS CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY ACTIVATED.

BRACED WALL DETAIL



TYPICAL BRACED WALL SHEATHING ATTACHMENT

WALL BRACING DESIGN CRITERIA

EXTERIOR BRACED WALL PANEL (ALL EXTERIOR WALLS)
CONTINUOUS SHEATHING, MINIMUM 7/16" OSB OR PLYWOOD PER CODE:
METHOD CS-WSP PER TABLE 602.10.4 ATTACHED PER TABLE 602.3(3) WITH 1/2" GYPSUM BOARD ON OPPOSITE SIDE OF WALL ATTACHED PER TABLE 702.3.5.
TABLE 602.10.1.3 - BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO
SECTION 602.10.4.2 - CONTINUOUS SHEATHING METHODS
TABLE 602.10.5 - MINIMUM LENGTH OF BRACED WALL PANELS

INTERIOR BRACED WALL PANEL (IF NOTED ON PLANS)
GYPSUM WALL BOARD FASTENED BOTH SIDES PER CODE:
METHOD GB PER TABLE 602.10.4 - 1/2" GYPSUM BOARD WITH 7" O.C. FIELD AND EDGE NAILING
TABLE 602.10.4 - MINIMUM 48" LENGTHS OF PANELS

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KDG PROJECT #25-113	SHEET NUMBER
STAIR SECTIONS / MISC SCHEDULES / DETAILS	A3-3
CONSTRUCTION DOCUMENTS	07.03.2025

WALL BRACING METHOD CS-PF (IF NOTED ON PLANS)

WALL BRACING METHOD ABW (IF NOTED ON PLANS)

STAIR SECTION

DOCUMENT OWNERSHIP:
ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF KEISER DESIGN GROUP, INC. AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.

GENERAL REQUIREMENTS:

WORK PERFORMANCE SHALL COMPLY WITH THE FOLLOWING:

- 1) PACKAGE CONTAINING BOTH SPECIFICATIONS (IF PROVIDED) AND DRAWINGS.
- 2) APPLICABLE STATE AND LOCAL BUILDING CODES AND THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE WORK.

INTENT OF CONTRACT DOCUMENTS:

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AND SUBCONTRACTOR.

WORKMANSHIP:

ALL THE WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS. THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.

ON-SITE & EXISTING CONDITIONS VERIFICATION:

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO REVIEW THE PROJECT WITH THE OWNER AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING THE WORK. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

COORDINATION OF THE WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK AND METHODS OF CONSTRUCTION.

INTERPRETATION OF CONTRACT DOCUMENTS:

SHOULD DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATION BE FOUND, OR INQUIRES RELATIVE TO THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS ARISE, THEY SHALL BE SUBMITTED TO THE ARCHITECT AND WILL BE ANSWERED BY ADDENDA. SUCH INSTRUCTIONS AND OTHER ADDENDA ISSUED PRIOR TO DATE OF THE SIGNING OF THE AGREEMENT WILL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND BE BINDING TO THE CONTRACT AND SUBCONTRACTOR.

MANUFACTURERS PRODUCTS AND FABRICATIONS:

ALL MANUFACTURERS AND FABRICATORS PRINTED WARNING FOR HANDLING OF HIS PRODUCTS MUST BE STRICTLY OBSERVED. ALSO AS PER LOCAL CODES AND OTHER REQUIREMENTS.

ALL PRODUCTS AND MATERIALS MUST BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS OR THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

FIREPLACE NOTES:

CHIMNEY OUTLETS SHALL BE LOCATED A MINIMUM OF 3-0 ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY PENETRATES THE ROOF. CHIMNEY OUTLETS SHALL BE A MINIMUM OF 2-0 HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10-0.

CONSTRUCTION DEBRIS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DIRT AND DEBRIS FROM THE EXCAVATION, DEMOLITION AND CONSTRUCTION AS REQUIRED.

PROPERTY PROTECTION:

PRECAUTIONS SHALL BE TAKEN TO PROTECT THE GROUNDS, PLANTINGS, DRIVE, ETC. FROM ANY DAMAGE. DAMAGE INCURRED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST PROOF BARRIERS AT AREAS WHICH ARE UNDER CONSTRUCTION.

CONSTRUCTION MATERIALS:

ALL MATERIALS SHALL BE STORED ON THE SITE AS DIRECTED BY THE OWNER OR GENERAL CONTRACTOR.

MISCELLANEOUS NOTES:

ROOF TRUSS PROFILES ARE SHOWN FOR CONFIGURATION ONLY. TRUSS MANUFACTURER AND CONTRACTOR TO COORDINATE ALL DIMENSIONAL RELATIONSHIPS. ALL ROOF TRUSSES AND GIRDERS TO BE ENGINEERED BY TRUSS SUPPLIER AND MANUFACTURER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TRUSS SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF ARCHITECTURAL CONFIGURATION PRIOR TO START OF CONSTRUCTION. ALL TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED IN THESE DOCUMENTS.

THE BUILDING IS NOT STRUCTURALLY STABLE UNTIL ALL CONNECTIONS, FRAMING, SHEAR WALLS, X BRACING, AND EXTERIOR LOAD BEARING MASONRY WALLS ARE COMPLETE AND HAVE ACHIEVED DESIGN STRENGTH. CONTRACTOR IS SOLELY RESPONSIBLE TO MAINTAIN STRUCTURAL STABILITY DURING ERECTION AND CONSTRUCTION. TEMPORARY BRACING SYSTEMS ARE NOT TO BE REMOVED UNTIL STRUCTURAL WORK IS COMPLETED.

CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL ANGLED WALLS ARE A 45 OR 90 DEGREE ANGLE, UNLESS OTHERWISE NOTED.

ADJUST OVERHANGS TO MAINTAIN CONSISTENT LEVEL WHEN THE PLANS CALL FOR (2) DIFFERENT PITCHES AT A HIP.

FINISHED SQUARE FOOTAGES ARE MEASURED TO THE OUTSIDE OF ALL WALLS THEY INCLUDE INTERIOR FIREPLACES AND EVERY LOCATION IN WHICH THE FLOOR JOISTS PROJECT FROM THE FOUNDATION.

NOT INCLUDED IN SQUARE FOOTAGES: WINDOW BOXES WHERE THE FLOOR JOISTS DO NOT PROJECT FROM THE FOUNDATION, 2-STORY ENTRIES, GARAGES, DECKS, PATIOS, PORCHES, UNFINISHED STORAGE AREAS, BASEMENTS OR ANY OTHER UNFINISHED STORAGE AREAS.

OWNERS PERSONAL PROPERTY:

THE OWNER SHALL BE RESPONSIBLE FOR REMOVING PERSONAL PROPERTY AS REQUIRED BY THE CONTRACTOR TO PROVIDE CLEAR AND EASY ACCESS TO ALL AREAS UNDER CONSTRUCTION.

POST CONSTRUCTION NOTES:

AT THE COMPLETION OF THE PROJECT AND DURING THE PROJECT AS NECESSARY, CONTRACTOR SHALL THOROUGHLY CLEAN ALL WORK, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- 1) REMOVAL OF MORTAR SPLATTERS OR STRAINS FROM ALL INTERIOR AND EXTERIOR FINISHES.
- 2) REMOVAL OF MASONRY WATERPROOFING ABOVE FINISH GRADE.
- 3) REMOVAL OF ANY SPLATTERS OR STAINS FROM EXTERIOR SIDING, ROOFING, OR OTHER EXTERIOR MATERIALS.
- 4) REMOVAL OF ALL STAINS FROM ALL EXPOSED CONCRETE WORK, WITH EXCEPTION OF CRAWL SPACE CONCRETE.
- 5) REMOVAL OF STAINS AND CLEANING OF ALL INTERIOR FINISHES (COUNTERTOPS, PLUMBING FIXTURES, FLOORING, ETC.). THOROUGH CLEANING OF FAUCET SCREENS AND PLUMBING TRAPS.
- 6) VACUUMING OF ALL FLOORS, FOLLOWED BY WET MOPPING OF ALL HARD SURFACE FLOORS.
- 7) DUSTING OF ALL WALLS, CEILINGS, TRIM, DOORS, WINDOWS, CABINETS, ETC., INCLUDING THE INTERIOR SURFACES OF ALL CABINETS.
- 8) REMOVAL OF ALL WINDOWS AND DOORS STICKERS, INCLUDING GLUE RESIDUE, PAINT OR STAIN OVERLAPPING ON GLASS AND OTHER GLASS SPLATTERS.
- 9) POLISHING OF ALL WINDOWS, MIRRORS OR SURFACES WITH REFLECTIVE OR TRANSPARENT QUALITIES.
- 10) ADDITIONALLY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL GROUT, MORTAR, OR ALL CONSTRUCTION, OR OTHER DEBRIS, FROM JOIST, RAFTER, STUD OR OTHER CAVITIES, PRIOR TO GYPSUM BOARD, INSULATION, FINISHED FLOORING OR SURFACING.

DEMOLITION NOTES: (IF APPLICABLE)

WHERE EXISTING STRUCTURE IS TO BE REMOVED, REMAINING STRUCTURE SHALL BE ADEQUATELY SUPPORTED USING TEMPORARY BRACING, UNDERPINNING, OR OTHER SHORING, AS NECESSARY, PRIOR TO THE BEGINNING OF DEMOLITION. TEMPORARY SUPPORT TO REMAIN IN PLACE AND UNDISTURBED TILL FINAL CONSTRUCTION OR PERMANENT STRUCTURE COMPLETED.

DISMANTLE ALL STRUCTURES, FLOORS, FLOORING, WALLS, WINDOWS, DOORS, CABINETS, SHELVING, ETC. AS SHOWN OR REQUIRED. SALVAGE OF MATERIALS TO BE DICTATED BY OWNER. REMOVE, TERMINATE OR RELOCATED ALL EXISTING ELECTRICAL, PLUMBING, HVAC, IT, STEREO WIRING, CENTRAL VACUUM, IRRIGATION SYSTEMS, OR OTHER DEVICES AS REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION. ALL WASTE AND DEBRIS FROM DEMOLITION WORK SHALL PROMPTLY BE REMOVED FROM THE SITE.

CONTRACTOR SHALL UTILIZE ALL MEANS NECESSARY DURING DEMOLITION AND NEW CONSTRUCTION TO INSURE THAT ALL NEW CONSTRUCTION AND EXISTING FINISHED SPACES ARE THOROUGHLY PROTECTED FROM WATER, THERMAL AND WIND DAMAGE, AND SHALL REMEDY, AT THE CONTRACTORS EXPENSE, ANY SUCH DAMAGE THAT MAY OCCUR.

STRUCTURE SHALL BE PROTECTED, AS NECESSARY, WITH TEMPORARY ENCLOSURES FOR WEATHER RELATED PROTECTION AND SECURITY PURPOSES. CONSTRUCTION MATERIALS STORED OUTSIDE SHALL BE COVERED AND PROTECTED WITH WATERPROOF TARPS AND ADEQUATELY SECURED FROM NATURAL AND INDUCED MOVEMENT. WOOD AND SIMILAR MATERIALS SHALL NOT BE STORED IN CONTACT WITH THE GROUND.

BARRIERS, BARRICADES, SIGNS, WARNING LIGHTS OR OTHER SAFETY DEVICES SHALL BE PROVIDED TO INSURE SAFETY TO THE OWNER, WORKERS AND THE GENERAL PUBLIC FROM HAZARDOUS CONDITIONS WHICH MAY ARISE AS A RESULT OF THE WORK. TO MINIMIZE INTRUSION OF DUST AND OTHER DEBRIS, CONSTRUCTION AREAS SHALL BE SEALED-OFF FROM INTERIOR SPACES WITH PLASTIC ENCLOSURES WITH ZIPPED DOORWAY, OR SIMILAR. DUST, DEBRIS, AIRBORNE PAINTS, DISTURBING OR TOXIC FUMES OR OTHERS, ARE TO BE ISOLATED FROM EXISTING FINISH SPACES, AS WELL AS FROM THE GENERAL PUBLIC. DAMAGE RESULTING FROM THE PREVIOUSLY MENTIONED TO BE REMEDIED BY THE CONTRACTOR.

WHERE DEMOLITION, CONSTRUCTION, OR RELATED ACTIVITIES ARE TO OCCUR IN AREAS WITH EXISTING CARPET, HARDWOOD, VINYL OR CERAMIC FLOOR FINISH, ADEQUATE PROTECTIVE COVERINGS SHALL BE TEMPORARILY INSTALLED, BY THE CONTRACTOR, TO PROTECT FINISHES FROM DAMAGE. HVAC LOWERS AND DIFFUSERS SHALL BE COVERED WITH TEMPORARY FILTERS DURING THE DEMOLITION AND CONSTRUCTION PHASE.

WHERE NECESSARY, CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR USE BY ALL PERSONNEL, LOCATED WHERE DIRECTED BY OWNER, WHICH SHALL BE CLEANED AND SERVICED ON A REGULAR BASIS. CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND ZONING ORDINANCES AFFILIATED WITH PORTABLE TOILETS, WHERE APPLICABLE.

A. GENERAL:

1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLEY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE-DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REQUIRED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTORS PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
2. IT IS SOLEY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE, CONSTRUCTION.
3. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
4. GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO
5. DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER ASCE 7. GROUND SNOW LOAD (Pg) = 25 PSF | FLAT ROOF SNOW LOAD = 20 PSF SNOW EXPOSURE FACTOR (Ce) = 1.0 | SNOW LOAD IMPORTANCE FACTOR (I) = 1.0
6. DESIGN LIVE LOADS: FIRST FLOOR = 40 PSF + 15 PSF DEAD LOAD | SECOND FLOOR = 40 PSF + 15 PSF DEAD LOAD | ATTIC = 20 PSF (AREAS WHERE HEIGHT IS 30' OR GREATER) | EXTERIOR BALCONIES AND DECKS = 40 PSF OR OCCUPANCY SERVED | ROOF = 25 PSF + 20 PSF DEAD LOAD
7. WIND DESIGN PARAMETERS: BASIC WIND SPEED = 115 MPH | WIND LOAD IMPORTANCE FACTOR = 1.0 | WIND EXPOSURE = EXPOSURE B
8. SEISMIC DESIGN PARAMETERS: OCCUPANCY CATEGORY = II | SITE CLASS = D
9. SOIL DESIGN CONDITIONS a. DESIGN ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1500 PSF BASED ON ORC TABLE 401.4.1 b. EQUIVALENT FLUID PRESSURE FOR WALL LOADING = 65 PCF c. THE WATER TABLE SHALL BE BELOW THE LOWEST FLOOR LEVEL OF THE STRUCTURE. d. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE PRESUMPTIVE WALL LOADING IS CORRECT. NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY IF THE SOIL DOES NOT CONFORM TO THESE CONDITIONS.

B. REINFORCED CONCRETE

1. MATERIALS: a. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301-14 "SPECIFICATIONS FOR STRUCTURAL CONCRETE," ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE," AND ACI 332-14 "RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." b. STRUCTURAL CONCRETE CLASS LOCATION F'C I FOOTINGS, PIERS AND UNDERPINNING 3000 II INTERIOR SLABS ON GRADE, WALLS, AND ALL INTERIOR CONCRETE NOT OTHERWISE IDENTIFIED. 3500 (AIR-ENTRAINED 5%-7% IF SUBJECT TO FREEZE / THAW DURING CONSTRUCTION) III GARAGE SLABS, EXTERIOR SLAB ON GRADE, RETAINING WALLS, BASEMENT WALLS, PIERS AND COLUMNS PLACED INTEGRALLY WITH BASEMENT WALLS AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED 4000 (AIR-ENTRAINED 5%-7%) c. ALL DEFORMED REINFORCING BARS: FY = 60,000 d. ALL WELDED WIRE MESH: ASTM A-185 MINIMUM 8" LAPS
2. DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BOTH THE SLAB-ON-GRADE AND THE FLOOR ABOVE ARE IN PLACE AND CURED OR THE BASEMENT WALLS HAVE BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY BACKFILL.
3. ALL ALL OPENINGS AND REENTRANT CORNERS IN FOUNDATION WALLS, PROVIDE MINIMUM ONE #4 REBAR x 24" LONG DIAGONALLY AT EACH CORNER.
4. PROVIDE CONTROL JOINTS IN SLAB-ON-GRADE AT 10' O.C. MAXIMUM SPACING EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1:5.1.

C. MASONRY

1. SPECIFICATIONS: MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602-16)," PUBLISHED BY THE MASONRY SOCIETY, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
2. MATERIALS: a. CONCRETE BLOCK: ASTM C90. MINIMUM NET AREA COMPRESSIVE STRENGTH OF C.M.U. = 1900 PSI. b. MORTAR: ASTM C270 (USING THE PROPERTY SPECIFICATION METHOD, PARAGRAPH 3.2), TYPE S, MINIMUM COMPRESSIVE STRENGTH = 1800 PSI. c. BOND BEAM AND CORE FILL: ASTM C478, COARSE OR FINE TYPE, PLACED PER TMS 602-16. d. JOINT REINFORCING: HOT-DIPPED GALVANIZED FINISH, 9 GAGE MINIMUM SIDE WIRES AND CROSS WIRES, EXCEPT USE 3/16 INCH DIAMETER SIDE WIRES WHERE "HEAVY WEIGHT" IS REQUIRED. PROVIDE STANDARD WEIGHT AT EVERY OTHER COURSE MINIMUM U.N.O. e. BAR REINFORCING: ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE f. WIRE TIES AND ANCHORS: RECTANGULAR TYPE, 3/16" DIAMETER WIRE TIES (HOT DIPPED GALVANIZED). g. PROVIDE 100% SOLID BEARING, MINIMUM THREE COURSES UNDER BEAMS, TWO COURSES UNDER LINTELS. h. FILL CORE SOLID AROUND ANCHOR BOLTS. i. PROVIDE 100% SOLID BLOCKS OR SOLIDLY-FILLED HOLLOW BLOCKS FOR AT LEAST 4" ALL AROUND ALL EXPANSION BOLTS.
3. LINTELS PROVIDE LINTELS OVER ALL MASONRY OPENINGS AS INDICATED ON THE DRAWINGS OR WHERE NOT NOTED, PROVIDE THE FOLLOWING FOR EACH 4 INCHES OF WALL THICKNESS. USE 6 INCHES MINIMUM BEARING EACH END. MASONRY OPENINGS SECTION | TO 4'-0" L 3 1/2 x 3 1/2 x 5/16 | 4'-1" TO 5'-0" L 4 x 3 1/2 x 5/16 LLV | 5'-7" TO 6'-0" L 5 x 3 1/2 x 5/16 LLV 6'-1" TO 8'-0" L 6 x 3 1/2 x 5/16 LLV

D. STRUCTURAL STEEL

1. MATERIALS: a. STRUCTURAL STEEL CHANNEL, ANGLES, PLATES, ETC.: ASTM A36, FY = 36 KSI; STRUCTURAL STEEL WIDE FLANGES: ASTM A572 OR ASTM A582, FY = 50 KSI; HIGH STRENGTH BOLTS: ASTM A325 OR A490; ANCHOR BOLTS: ASTM A307 OR A308; ELECTRODES: SERIES E70; STRUCTURAL PIPES: ASTM A63 OR A501; FY = 35 KSI MIN. SQUARE AND RECTANGULAR TUBING: ASTM A500, FY = 48 KSI; EXPANSION BOLTS: HILTI "KMK-BOLT TZ," SIMPSON STRONG-TIE "STRONG BOLT" OR APPROVED ALIKE. ADHESIVE ANCHORS: HILTI "HIT-CEHIT HY 150," SIMPSON STRONG-TIE "ACRYLIC-TIE," ITW RED-HEAD "AT ACRYLIC."
2. SPECIFICATIONS: WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS D1.1, UNLESS SPECIFICALLY SHOWN OTHERWISE. DESIGN, FABRICATION AND ERECTION TO BE GOVERNED BY: a. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS b. AISC 303-10 CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES c. STRUCTURAL WELDING CODE, AWS D1.1 / D11.1 M2010 OF THE AMERICAN WELDING SOCIETY. d. SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS (AUGUST 1, 2014)
3. CONNECTIONS: a. WOOD NAILERS SHALL BE PROVIDED AND ATTACHED TO THE TOP FLANGE OF STEEL BEAMS PER THE FOLLOWING OR ANOTHER APPROVED METHOD: FLANGE WIDTH BOLTS POWDER ACTUATED FASTENERS 4" 3/8" DIA. @ 30" O.C. 1/4" DIA. @ 18" O.C. 5" OR GREATER 1/2" DIA. @ 42" O.C. 1/4" DIA. @ 18" O.C. b. BEAM TO COLUMN CONNECTIONS TO BE BOLTED SHEAR TAB OR CAP PLATE TYPE CONNECTIONS, WHERE A CONTINUOUS BEAM WITH A CAP PLATE IS USED, PROVIDE MIN. 3/8" STIFFENER PLATES EACH SIDE OF BEAM WEB CENTERED OVER COLUMN. c. CONNECTIONS TO BE SELECTED BY THE FABRICATOR TO DEVELOP THE FULL UNIFORM LOAD CAPACITY OF THE MEMBER OR FORCES SHOWN ON PLANS, WHICHEVER IS GREATER. d. BEAM CONNECTIONS AT OPEN POCKETS IN A FOUNDATION, BEAM CONNECTIONS TO COLUMNS, AND COLUMN CONNECTIONS TO FOUNDATIONS SHALL COMPLY WITH RCO SECTIONS 502.6.3 AND 502.9.1 MINIMUM UNLESS MORE STRICT PROVISIONS ARE SPECIFIED OR REQUIRED BY DESIGN.
4. PAINT: a. DO NOT PAINT STEEL OR ANCHOR BOLTS WHICH WILL BE GALVANIZED OR ENCASED IN CONCRETE OR MASONRY. DO NOT PAINT SURFACES TO BE FIELD WELDED OR WHERE SLIP-CRITICAL (S.C.) BOLTS ARE SPECIFIED. PAINT ALL INTERIOR STEEL WITH ONE COAT OF STANDARD SHOP PRIMER. PAINT LINTELS, EXPOSED MEMBERS, AND ALL EXTERIOR STEEL WITH TWO COATS OF RED OXIDE PRIMER UNLESS OTHERWISE SPECIFIED BY ARCHITECTURAL SPECIFICATIONS OR HOT DIPPED GALVANIZED. TOUCH-UP AND REPAIR ANY DAMAGED OR FIELD WELDED AREAS WITH EQUIVALENT PRIMER OR ZINC RICH PRIMER AS REQUIRED.
5. MISCELLANEOUS: a. MINIMUM BEAM BEARING ON MASONRY = 7-1/2, ON CONCRETE = 5 INCHES UNLESS NOTED OTHERWISE. b. EMBEDMENT LENGTH OF EXPANSION BOLTS INTO SOLID MASONRY OR CONCRETE SHALL BE AS FOLLOWS: 1/2 INCH DIAMETER BOLTS = 3-1/2 INCHES EMBEDMENT | 3/4 INCH DIAMETER BOLTS = 5 INCHES EMBEDMENT c. ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS. d. STEEL BELOW GRADE IS TO BE PROTECTED BY A MINIMUM OF THREE INCHES (3") OF CONCRETE. e. PROVIDE WASHER AND HEAVY NUT AT ALL ANCHOR BOLTS (BOTH ENDS). f. PROVIDE BOLT HOLES FOR WOOD NAILERS BOLTED TO BEAMS AND COLUMNS. g. STEEL AND FASTENERS IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL, HOT DIP GALVANIZED, OR OTHERWISE PROTECTED FROM CORROSION, COMPATIBLE WITH THE CHEMICALS IN THE WOOD.

E. STRUCTURAL LUMBER

1. MATERIALS: a. STRUCTURAL LUMBER INCLUDING BEARING AND EXTERIOR WALL STUDS: SPRUCE PINE FIR #2 OR EQUAL, ALLOWABLE STRESSES PER THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT 2016 EDITION, 19% MAX. M.C. b. PLYWOOD: CDX, STRUCTURAL II OR BETTER, EXTERIOR GLUE. FOR ROOF AND WALLS: PANEL IDENTIFICATION INDEX 2410 - 7/16 INCH MIN. (WITH PLYWOOD CLIPS). FOR FLOORS: PANEL IDENTIFICATION INDEX 3216 - 23/32 INCH MIN. c. OSB: FOR WALLS: MINIMUM 7/16 INCH THICK WITH 2416 SPAN RATING, EXPOSURE 1. FOR ROOFS: MINIMUM 7/16 INCH THICK WITH 2416 SPAN RATING, EXPOSURE 1. FOR FLOORS: 2332 INCH THICK, STURD-I-FLOOR WITH SPAN RATINGS OF 24 OC, EXPOSURE 1, TONGUE AND GROOVE. d. MICROLAM (LVJ): MODULUS OF ELASTICITY = 1,900,000 PSI, Fb = 2,800 PSI. DESIGN BASED ON LEVEL TRUS JOIST. e. PROVIDE PRESSURE TREATED WOOD AS REQUIRED BY CODE AT ALL THE FOLLOWING LOCATIONS: ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE, ALL WOOD EXPOSED TO EXTERIOR ELEMENTS, ALL WOOD LESS THAN 6" FROM THE GROUND.

2. SPECIFICATIONS:

- UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST EDITION OF:
- a. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
 - b. U.S. PRODUCT STANDARD PS1
 - c. 2019 INTERNATIONAL RESIDENTIAL CODE
3. CONNECTIONS:
- a. JOISTS TO SIDES OF BEAMS: 16 GA. GALVANIZED STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE.
 - b. JOISTS AND TRUSSES TO TOPS OF WALLS AND BEAMS: 18 GA. GALVANIZED HURRICANE ANCHORS.
 - c. SHEATHING TO FLOOR JOISTS - GLUED AND NAILED - USE 8d COATED SINKERS AT 6 INCHES O/C AT PANEL EDGES AND 12 INCHES C/C AT INTERMEDIATE. SUPPORTS. USE ADHESIVES MEETING APA SPECIFICATIONS APG-01 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - d. SHEATHING TO ROOF TRUSSES OR RAFTERS - NAILED - USED 8d COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES C/C AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS.
 - e. SHEATHING TO WALLS - NAILED - USE 8d COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES C/C AT INTERMEDIATE SUPPORTS. ALL VERTICAL AND HORIZONTAL JOINTS ARE TO BE OVER A COMMON STUD, PLATE, BAND BOARD, OR 2x BLOCKING.
 - f. ALL CONNECTORS (HANGERS, NAILS, ETC.) IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED COMPATIBLE WITH THE CHEMICALS IN THE WOOD.
 - g. SILL PLATES TO FOUNDATION - 1/2" DIA. ANCHOR BOLTS AT 8'-0" O.C. AND 12" MAXIMUM FROM CORNERS AND ENDS OF PLATES. ANCHOR BOLTS TO BE EMBEDDED IN THE FOUNDATION A MINIMUM OF 7" IN CONCRETE OR 15" IN MASONRY.
 - h. BUILT UP WOOD BEAMS AND FLITCH BEAMS - 1/2" DIAMETER THRU BOLTS AT 16" O.C. 2" FROM TOP AND BOTTOM U.N.O. STAGGER TOP AND BOTTOM ROWS 4".
 - i. MULTIPLE STUD COLUMNS - GLUED AND NAILED WITH 16d NAILS AT 12" O.C. EACH PLY.
 - j. ALL OTHER CONNECTIONS TO BE PER TABLE R602.3(1) MINIMUM.
4. MISCELLANEOUS:
- a. USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O/C MAX. FOR ALL JOISTS AND RAFTERS, USE SOLID BLOCKING AT JOIST AND RAFTER BEARING.
 - b. IT IS ASSUMED THAT THE STRUCTURAL SHEATHING WILL PROVIDE LATERAL BRACING FOR THE STUDS AND ENTIRE STRUCTURE. IF SHEATHING IS NOT PROVIDED, USE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUD WALLS AND INTERIOR BEARING PARTITIONS AND METAL DIAGONAL BRACINGS AS REQUIRED FOR LATERAL STABILITY OF THE STRUCTURE.
 - c. USE DOUBLE JOIST UNDER INTERIOR PARTITIONS, UNLESS SHOWN OTHERWISE.
 - d. USE DOUBLE STUDS AT BEAM AND LINTEL BEARING, UNLESS SHOWN OTHERWISE. (1) JACK STUD & (1) KING STUD, GLUE AND NAIL.
 - e. APPLY CONTINUOUS BEAD OF ADHESIVE ON JOISTS AND GROOVE OF TONGUE-AND-GROOVE PANELS.
 - f. IN AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE PLYWOOD OR OSB SHEATHING, PROVIDE 1 X 4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C.
 - g. BEFORE APPLYING FINISH FLOORING, SET NAILS 1/8 INCH BUT DO NOT FILL, AND LIGHTLY SAND ANY SURFACE ROUGHNESS, PARTICULARLY AT JOINTS AND AROUND NAILS.
 - h. PROVIDE AND INSTALL BRIDGING FOR PREFABRICATED WOOD TRUSSES AS INDICATED ON THE TRUSS MANUFACTURER'S APPROVED SHOP DRAWINGS.
 - i. WHERE FLOOR JOISTS SPAN PARALLEL TO FOUNDATION WALLS, PROVIDE 2x BLOCKING EQUAL TO THE JOIST DEPTH AT MAXIMUM 24 INCHES ON CENTER BETWEEN BAND BOARD OVER WALL AND ADJACENT JOISTS. EXTEND BLOCKING OVER MINIMUM THREE JOIST SPACES. BLOCKING SHALL BE ADEQUATELY FASTENED TO THE FLOOR SHEATHING.

F. PREFABRICATED WOOD TRUSSES

1. MATERIALS: a. LUMBER: SOUTHERN PINE #2, ALLOWABLE STRESSES PER THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT, 2018 EDITION; 19% MAX. M.C. b. METAL CONNECTOR PLATES: GALVANIZED SHEET STEEL, ASTM A446, GRADE A, COATING CLASS G60 PER ASTM A525. MANUFACTURE WITH HOLES, PLUGS, TEETH OR PRONGS UNIFORMLY SPACED AND FORMED.
2. DESIGN: a. TOP CHORD LIVE LOAD = 25 PSF | TOP CHORD DEAD LOAD = 10 PSF BOTTOM CHORD DEAD LOAD = 5 PSF | BOTTOM CHORD LIVE LOAD = 5 PSF NET WIND UPLIFT = 8 PSF b. FLOOR LOADS: LIVE LOAD = 40 PSF, DEAD LOAD = 15 PSF MINIMUM FOR FLOORS, INCREASE WHERE REQUIRED FOR SPECIFIC FLOOR FINISHES. c. FINAL DESIGN OF MEMBERS AND CONNECTIONS IS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER. d. SHOP DRAWINGS SHALL EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR THE TRUSS DESIGN. e. MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/860. f. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240.
3. MISCELLANEOUS: a. BOLT TOP CHORDS OF ALL MULTIPLE TRUSSES TOGETHER WITH 1/2" DIAMETER BOLTS AT 4'-0" O.C. BOLT WEB MEMBERS TOGETHER WITH 1/2" DIAMETER BOLTS AT 2'-0" O.C. AT CONCENTRATED LOADS, OR PER TRUSS DESIGNER RECOMMENDATIONS. b. IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE 1 x 4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C. c. TRUSS FABRICATOR SHALL SUBMIT COPIES OF THE FINAL, APPROVED FABRICATION DRAWINGS TO THE DEPARTMENT OF COMMERCE, OFFICE OF CONSTRUCTION COMPLIANCE, PRIOR TO FABRICATION AND ERECTION.

G. PRE-ENGINEERED WOOD JOISTS

1. MATERIALS: PROVIDE ENGINEERED WOOD PRODUCTS AND INSTALLED SYSTEMS WHICH HAVE BEEN ENGINEERED, MANUFACTURED, FABRICATED AND INSTALLED TO MEET THE SPECIFIED REQUIREMENTS AND REFERENCED BUILDING CODE.
2. DESIGN: a. DEFLECTION REQUIREMENTS: MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/360. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240. b. LOADING REQUIREMENTS: LIVE LOAD = 40 PSF, DEAD LOAD = 15 PSF MINIMUM FOR FLOORS, INCREASE WHERE REQUIRED FOR SPECIFIC FLOOR FINISHES. c. FINAL DESIGN OF MEMBERS AND CONNECTIONS IS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER. d. SHOP DRAWINGS AND CALCULATIONS SHALL EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR THE JOIST DESIGN. e. PRODUCT DATA: SUBMIT MANUFACTURER'S DATA SHEETS ON EACH PRODUCT TO BE USED, INCLUDING, PREPARATION INSTRUCTIONS AND RECOMMENDATIONS, STORAGE AND HANDLING REQUIREMENTS, INSTALLATION METHODS.
3. MISCELLANEOUS: a. STORE PRODUCTS UNTIL READY FOR INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS TO PROTECT AND PREVENT DAMAGE. b. MAINTAIN ENVIRONMENTAL CONDITIONS WITHIN LIMITS RECOMMENDED BY MANUFACTURER FOR OPTIMUM RESULTS. DO NOT INSTALL PRODUCTS UNDER ENVIRONMENTAL CONDITIONS OUTSIDE MANUFACTURER'S LIMITS. c. PROVIDE ENGINEERED CONNECTORS SPECIFICALLY DESIGNED FOR CONNECTION TYPE AND APPLICATIONS. d. PROVIDE NAIL AND FASTENER TYPE AND SIZES PER MEMBER MANUFACTURER'S DETAILS AND RECOMMENDATIONS. e. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SHOP DRAWINGS. f. CONDITIONS AND PRACTICES NOT PERMITTED: DO NOT PLACE HOLES CLOSER TO SUPPORTS THAN RECOMMENDED BY MANUFACTURER. DO NOT CUT HOLES AND DAMAGE FLOOR JOISTS. DO NOT MAKE HOLES WITH HAMMER UNLESS A KNOCKOUT IS PROVIDED FOR THIS PURPOSE. DO NOT HAMMER ON FLANGE AND DAMAGE JOIST. DO NOT CUT, NOTCH OR DRILL FLANGE. DO NOT USE 16d OR LARGER NAILS IN FLANGE. DO NOT BEVEL CUT JOIST ENDS INSIDE EDGE OF BEARING. DO NOT SUPPORT JOIST ON WEB. DO NOT INSTALL VISIBLY DAMAGED JOISTS.

#	DATE	ISSUED WITH / CHANGE DESCRIPTION



**KNIGHTS
RESIDENCE**
916 REYNOLDSBURG -
NEW ALBANY ROAD
BLACKLICK, OHIO 43004



DANIEL
L.
KEISER
11548



**KEISER
DESIGN
GROUP**

800 Cross Pointe Road, Suite M | Gahanna, OH 43230
Phone: 614.864.8199
www.keiserdesigngroup.com

KDG PROJECT # 2025-113	SHEET NUMBER
GENERAL / STRUCTURAL NOTES / SCHEDULES	A4-1
CONSTRUCTION DOCUMENTS	07.03.2025

1	GENERAL NOTES	2	STRUCTURAL NOTES	3	STRUCTURAL NOTES (CONTINUED)
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STAFF REPORT

Planning Commission
February 14, 2024

Case: JEFF-24-01

Prepared by: Marcus Duemmel

Owner:	Knights Protective Service of Ohio, Inc. – Bryan Knights
Applicant	SRDP Association, LLC
Township:	Jefferson Township
Site:	916 Reynoldsburg New Albany Road (PID #170-000733)
Acreage:	1.003-acres
Zoning:	Planned Commercial District
Request:	Requesting a major modification of a Planned Commercial District

Summary

The applicant is requesting a major modification to a previously approved rezoning request (Jefferson Township # ZC 2007-01 / Franklin County #JEFF-07-03) to the Planned Commercial District in Jefferson Township.

Provided staff's recommended conditions are met, the proposal keeps with the spirit and intent of the Planned Commercial District, is in accordance with the Comprehensive Plan, and advances the general welfare of the Township. Staff recommends **conditional approval**.

Project overview

The request is for a major modification to a previously approved Planned Commercial District to allow for the construction of an office headquarters for Knights Protective Service of Ohio, Inc. The subject site is located on the east side of Reynoldsburg-New Albany Road approximately 600 feet north of the intersection with Taylor Road in Jefferson Township. The site was developed with a single-family home that was removed between 2006 and 2007. The site is currently vacant.

The modification will include the construction of a 10,400 square-foot commercial building and a parking lot with 55 spots. The development will have direct access to Reynoldsburg-New Albany Road.

Surrounding Zoning and Land Use

The properties bordering to the north are zoned Restricted Suburban Residential and are developed with single family homes with significant tree coverage. The property bordering to the south and east is zoned Restricted Suburban Residential and is developed with a Jefferson Township park, Old Quarry Park, also with significant tree coverage. Properties to the west across Reynoldsburg-New Albany Road are zoned Suburban Office & Institution and developed with single-family homes.

Existing and Proposed Zoning District

The existing approved Planned Commercial (PC) District approved in 2007 allowed for office and storage use for a residential and commercial contracting business. The development plan associated with the rezoning included three buildings of 4,026, 1,761, and 1,413 square feet respectively with a parking area.

The current request is for approval of a development plan in the PC district that would allow for an office building for Knights Protective Services, Inc. The intent of the PC district is to provide controls for uses that are not permitted in any other commercial zoning district, addressing operational characteristics, traffic, and overall performance of the site.

Planned Commercial District Requirements

Permitted Uses

Specific uses must be identified by the applicant and approved by the Jefferson Township Board of Trustees.

Land and buildings within the Planned Commercial District shall be used only for those specifically selected uses identified by an applicant for zoning plan amendment and found within the Suburban Office, Neighborhood Commercial, and Community Service zoning district. The Jefferson Township Zoning Resolution outlines numerous submission requirements for rezoning proposals to the Planned Commercial District.

Tract Size Criteria

The minimum area to be considered for a rezoning to the Planned Commercial (PC) district is 1-acre. The proposed area for rezoning is 1.003 +/- acres in size.

Development Standards

1. Lot and Yard Areas

- Minimum lot width required is 200 feet.
 - Proposed minimum lot width is 213.96 feet.
- Minimum side yard required is 50 feet.
 - Proposed minimum side yard is 32 feet at the northern side property line and 37 feet at the southern side property line.
 - The applicant is requesting a divergence due to the need to accommodate the services of the proposed commercial building, required parking, and adequate landscaping.
- Minimum rear yard is 20% of lot depth, except not to exceed 50 feet.
 - Proposed minimum rear yard is 10.5 feet.
 - The applicant is requesting a divergence due to the need to accommodate the services of the proposed commercial building, required parking, and adequate landscaping.

2. Access

- Whenever multiple structures are to be located within the PC district the development shall derive access from interior streets within the PC district unless specific exemptions are made as part of the approved development plan.
 - The proposed development includes a single structure and a single access point to Reynoldsburg-New Albany Road which is 23 feet in width.

3. Parking

- Parking spaces shall be 9 feet by 20 feet plus adequate area for ingress and egress.
- Parking spaces must be located on the same lot as the structure or use served and have a minimum parking area setback of 25 feet adjacent to residential districts.
 - The applicant proposes 53 parking spaces 9 feet by 20 feet with adequate area for ingress and egress.
 - Proposed minimum parking area setback is 6 feet at the southern property line and 31 feet at the northern property line.
 - No divergence has been requested; a divergence will be required for a reduced setback distance from a residential district.
- One parking space is required per two hundred square feet of gross floor area for administrative or business offices.
 - A minimum of 52 spaces are required for the 10,400 square-foot building. The applicant proposes 53 spaces.

4. Screening

- Screening shall be provided along any area that abuts a residential property that is acceptable to the Zoning Commission.

- All property lines abut a residentially zoned property. The applicant proposes screening with a 6-foot fence along all side and rear property lines with additional landscaped screening on the north property line.

5. *Landscaping*

- Landscaping shall be installed within six (6) months after the building is completed and all land that includes buildings or parking areas must be landscaped.
- For every 10 parking spaces, one (1) tree (3" caliper or larger) must be placed among the rows, in addition to the screening requirements.
 - A minimum of 5 trees are required for the 53 proposed parking spaces. The applicant proposes 5 trees.

6. *Stormwater Drainage, Sewage Disposal and Water Supply*

- Proposed stormwater drainage must meet the Franklin County Stormwater Drainage Manual and proof of utilities must be provided. Jefferson Township is responsible for ensuring the site complies with the Stormwater Drainage Manual
 - The applicant has not provided existing and proposed contours, pipe profile with size of pipe, and proposed grade on the pipe in the engineered site plan. In addition, stormwater calculations have not been provided and the site plan shows no area for post construction stormwater control facilities.

7. *Architectural Design and Graphics*

- Applicants are required to provide architectural design concepts to be utilized and potential building materials.
 - The applicant is proposing the building to be constructed with as much green product materials as possible.
 - The rendering of the proposed building submitted by the applicant lacks sufficient information on general exterior design and potential materials.
- A maximum of 30 percent lot coverage with respect to buildings
 - The proposed building accounts for approximately 14% of lot coverage.
- Maximum building height is 50 feet unless otherwise approved and appropriate for the specific site and neighborhood.
 - The maximum building height proposed is approximately 32 feet.
- Trash dumpsters are to be screened from view on all sides and must have lids.
 - The site plan indicates that the on-site dumpster will be contained within an enclosure of an unspecified height.
- Signage concepts must be included with the site plan indicating general locations and sizes of all exterior signs and the relationship of signs to overall architectural design. Maximum sign height is 10 feet. Maximum sign facing is 100 square feet.
 - The applicant has indicated the general location of proposed signage on the west face of the building but has not specified the signage concept indicating the general location, size, and relationship to overall architectural design.

8. *Lighting*

- A lighting plan must be submitted and describe the lamps and light fixtures.
 - A lighting plan was not included with the submission. The applicant shows light pole locations on the site plan and indicated that lights will be 14 feet in height with double head LEDs. They will be bronze in color.

Comprehensive Plan

The Jefferson Township 2050 Comprehensive Plan was adopted in 2018. The Township's Land Use Management Plan map identifies the subject site as the Taylor Road Corridor and recommends that land use in this area should allow for transition between industrial, commercial, multi-family, and single-family residential uses. The Plan states that higher density residential, storage yards, office parks, and

commercial establishments are appropriate when located in context with established residential uses and with screening and buffering as required by the Jefferson Township Zoning Resolution.

The proposed use is office park in nature. The development plan takes measures to screen and buffer neighboring residential uses, but staff believes that natural screening and buffering measures should be expanded beyond just the north property line to meet the intent of screening and buffering requirements of the Zoning Resolution.

Technical Review

Franklin County Drainage Engineer's Office

- Stated that the applicant must have an engineering plan for the development of the site and that the Franklin County Stormwater Drainage Manual must be followed.
- Noted that the proposed plan doesn't show any stormwater retention or detention on the site and that there may be difficulty in achieving stormwater retention or detention based on current proposed plan.
- Indicated that the engineering plan must be approved before moving any dirt or cutting trees.

Franklin County Engineer's Office

- Indicated that existing right-of-way width appears to be 45 feet from centerline and that it should be 60 feet from centerline (120 feet total) according to the Franklin County Thoroughfare Plan. Additional right-of-way shall be quit claim deeded to the Franklin County Board of Commissioners.

Staff Analysis

Basis of Approval: The basis for approving a Planned Commercial (PC) district application shall be, but is not limited to, the following:

1. *That the proposed development is consistent in all respects with the purpose, intent, and applicable standards of this zoning resolution;*
 - Staff believes that the proposed development keeps with the purpose, intent, and standards of the PC district and that the requested divergences are needed to balance the size constraints of the site with minimum parking requirements..
 - Two divergences have been requested from the standards, to allow side yards of 32 feet and 37 feet in lieu of the required minimum 50 feet and to reduce the rear yard from the required minimum of 39 feet to 10.5 feet.
 - i. An additional divergence must be requested for reduced setback of parking facilities.
2. *That the proposed development is in conformity with a comprehensive plan or portion thereof as it may apply;*
 - Staff believes the proposed development meets the recommended land uses of the Jefferson Township Comprehensive Plan.
3. *That the proposed development advances the general welfare of the Township and the immediate vicinity;*
 - Staff believes this development enhances the general welfare of the Township and the immediate vicinity.
4. *That the benefits, improved arrangement, and the design of the proposed development justify the deviation from standard residential development requirements included in the zoning resolution.*
 - The development, if staff's recommended conditions are met, justifies the deviation from the standard residential development requirements.

Staff Recommendation

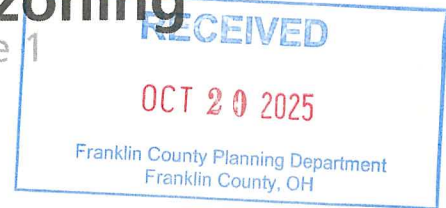
Staff recommends **approval with conditions** of the request for a major modification to the previously approved Planned Commercial District (PCD). The conditions of approval are as follows:

1. Prior to final approval of the major modification by Jefferson Township, the applicant must make the following changes to the proposed development plan:
 - a. Extend landscaped screening to the full extent of the property lines that abut residential uses.
 - b. Provide details of architectural design concepts, building materials, and building plans that reflects the proposal.
 - c. Submit a signage concept indicating the relationship to architectural concepts and design, the location, and the dimensions of the proposed sign.
2. Must request a divergence from the parking setback standards of Section 840.01(C) of the Jefferson Township Zoning Resolution.
3. Prior to final approval of the major modification by Jefferson Township, the applicant must receive approval of an engineering site plan indicating existing and proposed contours of the site with proposed drainage, in accordance with the Franklin County Drainage Manual, from the Franklin County Drainage Engineer's Office.
4. Applicant must quit claim deed additional right-of-way to the Franklin County Board of Commissioners in accordance with the Franklin County Throughfare Plan.
5. Prior to final approval of the major modification by Jefferson Township, the final engineering plans must be updated to coincide to the final site plan



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
Rezoning
Page 1



Property Information

Site Address: 3620 BRANDON ST. COLUMBUS OH 43224
Parcel ID(s): 130-002465
Total Acreage: 0.34 Township: CLINTON

Property Description

Acres to be rezoned: 0.34
Current Land Use: OFFICE WAREHOUSE
Surrounding Land Uses:
North: IMPOUND LOT, AUTO REPAIR SHOP
South: WAREHOUSE
East: WAREHOUSE
West: RESIDENTIAL

Rezoning Request

Current Zoning: INDU LIMITED INDUSTRIAL
Proposed Zoning: COMMUNITY SERVICES
Proposed Land Use: WAREHOUSE
Purpose for Request: AUTO REPAIR SHOP

Staff Use Only

Case # 20-25-13
Date Filed: 10/20/25
Fee Paid: \$1000
Receipt #
Received By: Kanya J.
Technical Review Date: 11/25/25
Big Darby Panel Date: N/A
Planning Commission Date: 12/10/25
Rural Zoning Commission Date: 12/18/25
Commissioners Date: 1/13/26

Checklist

- ☒ Fee Payment (checks only)
- ☒ Completed Application
- ☒ Notarized Affidavit
- ☒ Legal description of property
- ☒ Location/Area map
- ☒ Water/Wastewater Information
- ☐ Development Plan (if a planned district request)

Water & Wastewater

Water Supply

- ☒ Public (Central)
- ☐ Private (On-site)
- ☐ Other

Wastewater Treatment

- ☒ Public (Central)
- ☐ Private (On-site)
- ☐ Other



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Rezoning

Page 2



Property Owner Information

Name: ~~HA~~ SILK ENTERPRISE LLC, HAONHIEU T. GIANG (OWNER)

Address: 5495 STILLWATER AVE
WESTERVILLE OH 43082

Phone # 614 - 937 - 3598

Fax #

Email: NEILGIANG2011@gmail.com

Applicant Information

☐ Same as property owner

Name: SILK ENTERPRISE LLC, ~~HAONHIEU~~ HAONHIEU T. GIANG (OWNER)

Address: 5495 STILLWATER AVE
WESTERVILLE OH 43082

Phone # 614 - 937 - 3598

Fax #

Email: NEILGIANG2011@gmail.com

neilgiang2011



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 3



Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. I/we understand that delays or tablings may impact the hearing schedule.

BILK ENTER PRITE LLC, HAONHIEU GIANG

Applicant

10/15/2025

Date

Haonhieu T. Bony

Property Owner (Signature must be notarized)

10/15/2025

Date

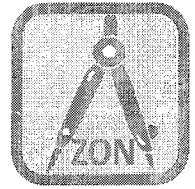
Property Owner (Signature must be notarized)

Date



KOFI APPIAH-NKRUMAH
Notary Public, State of Ohio
Commission No. 2024-RE-882008
My Commission Expires
September 22, 2029

10-15-2025



Rezoning/Text Amendment Application

General Application Requirements

Any applicant who requests a zoning change is solely responsible for filing all materials required by the application in its entirety. Please consult with the Economic Development and Planning Department to obtain a copy of pertinent development standards prior to filing a rezoning request.

The following items are required with each application:

1. The completed application form.
2. The notarized affidavit with current property owner signature.
3. Legal description of the property. Current property survey to include acreage, all bearings and distances, and referencing an established beginning point.
4. Location/Area map. Engineering base maps to scale (example: 1"=100') are required. You can obtain this information from the Franklin County Auditor's website, <https://www.franklincountyauditor.com/>
5. All information that pertains to sanitary services and water supply must be provided. If services are to be provided by a private or public entity, a letter must be provided verifying that the services exist and that the applicant will have access to such services. If an on-lot septic system and/or well are proposed, information from the Franklin County Board of Health (or appropriate agency) must be provided.
6. Any additional information or exhibits deemed necessary for proper consideration of the application.

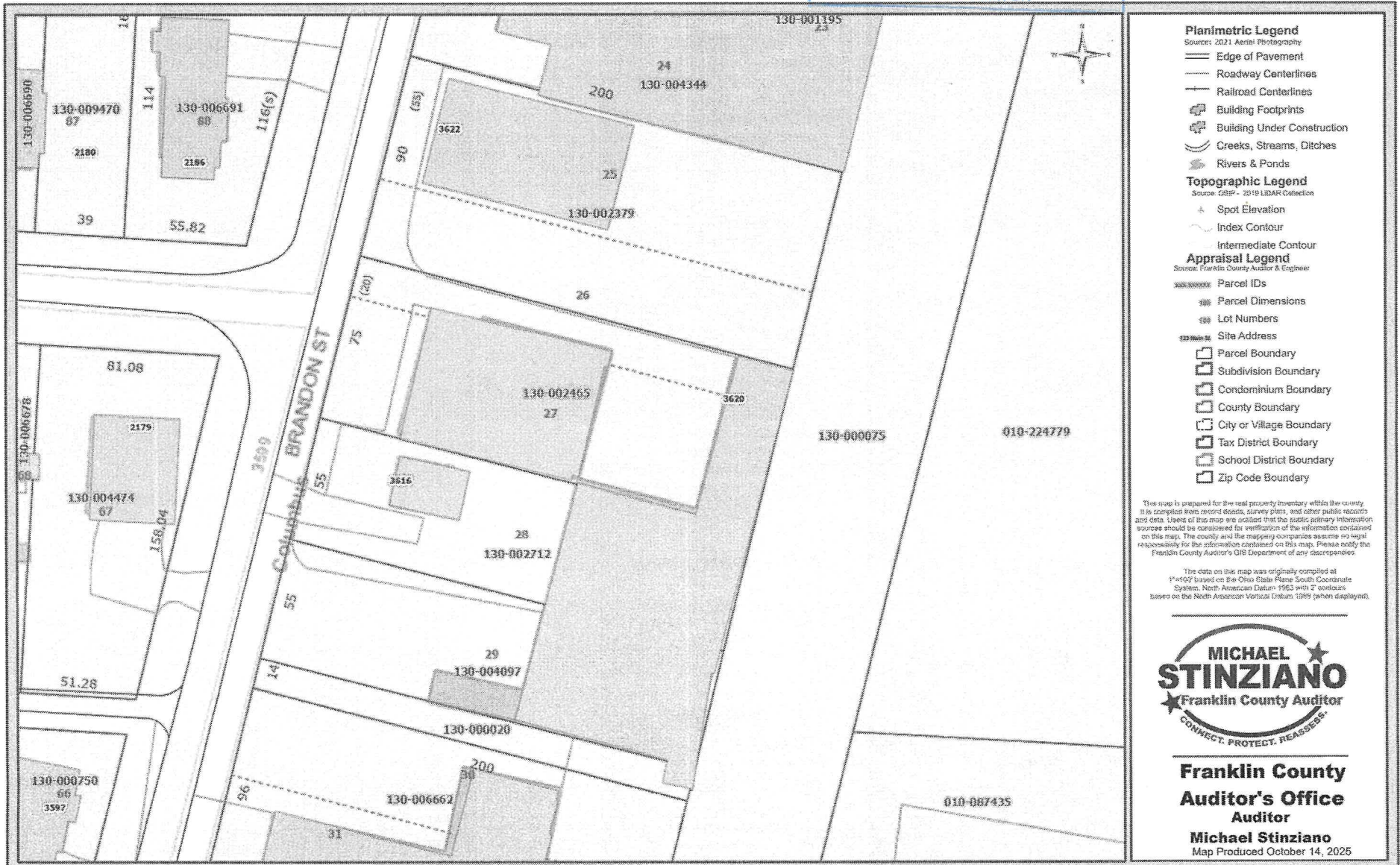
Note: When a planned district is requested, a development plan must be prepared by a registered architect, engineer, surveyor or landscape architect. The development plan must include all information identified in the Franklin County Zoning Resolution for the applicable planned zoning district being requested. This plan is to demonstrate the engineering feasibility of the proposed project. The Rural Zoning Commission makes no exceptions to these requirements. All other issues in the performance standards must be addressed, even if they do not appear to pertain to your particular site.

An incomplete application will not be placed on an agenda until it is determined to be complete, having all relevant issues addressed in plan or text form.

RECEIVED

OCT 20 2025

Franklin County Planning Department
Franklin County, OH





Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning

Page 1

RECEIVED

NOV 18 2025

Franklin County Planning Department
Franklin County, OH



Property Information

Site Address:

3501 Rohr Road

Parcel ID(s):

180-001051

Total Acreage:

5.07

Township:

Madison

Property Description

Acres to be rezoned:

5.07

Current Land Use:

Vacant

Surrounding Land Uses:

North Industrial

South Agriculture

East Residential

West Residential

Rezoning Request

Current Zoning:

R- Rural

Proposed Zoning:

SCPD

Proposed Land Use:

Storage Site

Purpose for Request:

Owner seeks storage facility for business operation.

Staff Use Only

Case #

ZON-25-14

Date Filed:

11/18/25

Fee Paid:

\$1,500

Receipt #

25-03383

Received By:

Kapart

Technical Review Date:

11/25/2025

Big Darby Panel Date:

N/A

Planning Commission Date:

12/10/25

Rural Zoning Commission Date:

12/18/25

Commissioners Date:

1/13/25

Checklist

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Water & Wastewater

Water Supply

- ☐ Public (Central)
- ☐ Private (On-site)
- ☐ Other

Wastewater Treatment

- ☐ Public (Central)
- ☐ Private (On-site)
- ☐ Other



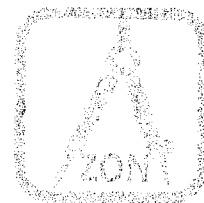
Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning

Page 2



Property Owner Information

Name:
Gregorio Rios

Address:
4703 Parkwick Drive

Columbus, OH 43228

Phone #
614-623-7511

Fax #

Email:
info@midwayrentafence.com

Applicant Information

☐ Same as property owner

Name:
Midway Rent A Fence

Address:
4703 Parkwick Drive

Columbus, OH 43228

Phone #
614-623-7511

Fax #

Email:
info@midwayrentafence.com



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Rezoning Page 3



Signatures

To the best of my/our knowledge and belief, information and materials submitted as a part of this Rezoning application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes. We understand that delays or tablings may impact the hearing schedule.

Gregorio B. us
Applicant

9.25.25
Date

Property Owner (Signature must be notarized)

9.25.25
Date

Property Owner (Signature must be notarized)

Date



TIFFANY A SHRIVER
Notary Public
State of Ohio
My Comm. Expires
December 19, 2025

SELECT COMMERCIAL PLANNED DISTRICT
(SCPD)
MADISON TOWNSHIP
3501 ROHR ROAD
MIDWAY RENT A FENCE
ZON No. 25-_____



BACKGROUND:

The subject property is located on the south side of Rohr Road, next to single family homes to the west and to the east and south is vacant agricultural ground and north is industrial property. The property is currently zoned Rural and has an existing small building, parking lot and storage area. The proposed SCPD will allow the existing storage operation to continue at the site.

The existing commercial operation moved to the site and has been providing temporary fencing to various clients around central Ohio. The existing building operates as an office for the corporation. The site provides for the storage of temporary fencing sections and ancillary equipment for the erection of fencing around various central Ohio sites. The onsite activities will be the storage of fencing and trucks used in delivering fencing to a site and office duties. Employees arrive at the site in the mornings, load the trucks then proceed to the site and then return to the Rohr Road site to park the trucks and go home for the evening. Activities on the site could be seven (7) days a week depending on job needs. There can be up to 10 employees coming to the site to load the trucks and leave for a site. There are no other deliveries that are made to the site. The only trips generated by the site are the employees arriving then exiting in the trucks and then returning to the site at the end of the day and finally departing the site at the end of the day.

PERMITTED USES:

The property shall be used for contracting activities, storage and office uses as is specifically set forth in SIC 179 (Miscellaneous Special Trade Contractors) and SIC 735 (Miscellaneous Equipment Rental and Leasing) in Franklin County Resolution Section 332.031 (Community Service).

There is one (1) existing building on the site.

DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted drawing or in the written text, the applicable standards for the site shall be those standards contained in Section 332.03 Community Service (CS) conditional use specifications of the Franklin County Zoning Resolution.

1. The 6' high fence is provided and a waiver is requested for the 30' landscaped green belt as the site is existing and there is no room for the green belt.

2. A thirty (30) foot wide front “greenbelt” or landscaped area is provided between the existing street right-of-way line, or the proposed right-of-way line on the Franklin County Thoroughfare Plan, whichever is greater, and any structure or paved area. Provided on site plan.
3. All lighting shall be directed downward. No lighting shall be directed outward from the buildings toward surrounding properties. Provided on site plan.
4. A landscape plan prepared by a registered landscape architect, and a building elevation (rendering) are approved by the Board of Zoning Appeals. Provided.

On the east, south and west property line there will be a 6’ tall fence which will be installed to provide the required screening as shown on the site plan.

LIGHTING:

All wall lighting on the subject property that is visible from residentially used or zoned neighboring property shall be a cut-off type fixtures (down lighting) attached to the buildings. The wall lighting will be limited to office building and the two storage / manufacturing buildings. A cut sheet of the wall lighting fixtures are made a part of this application for illustration purposes as the type to be mounted on the buildings. There will be lighting for the single family home and accessory structure that within the norms of residential illumination.

SIGNAGE AND GRAPHICS:

- A. No freestanding sign and wall signage will be permitted on site.
- B. No off-premise graphics shall be permitted on-site, nor any illumination which flashes, travels, animates or intermittently illuminates shall be allowed.

ENVIRONMENTAL TREATMENT:

- A. No banners, pennants, streamers or other similar obnoxious displays shall be permitted on the site.
- B. There shall be only one curb cut allowed on this site, as permitted by the County Engineer’s Office.

SITE PLAN:

- A. The property shall be used in accordance with the submitted site plan. The attached site plan illustrates where the building(s) and parking areas are located.
- B. Parking requirements shall be as shown on the site plan.

ARCHITECTURAL DESIGN:

All of the buildings are existing and no others are proposed for the site. The tallest building is 18'.

STORMWATER DRAINAGE:

Drainage and run-off from the proposed development shall not cause property damage to off-site areas and shall meet standards set by the Franklin County Engineer's Office.

SEWAGE DISPOSAL AND WATER SUPPLY:

There will be no on site septic system nor well.

POLLUTION:

- A. Smoke: No smoke shall be emitted from any structure in the SCPD.
- B. Noise: The noise level shall be no greater than sixty (60) decibels at the lot line.
- C. Odor: No odorous gases or other obnoxious odor shall be permitted at any point beyond the SCPD boundary.
- D. Any trash or waste is removed from the site to an appropriate facility by the employees of the operation.

OUTSIDE STORAGE:

- A. Outside storage shall be permitted on the lot and a waiver is requested to Section 521.09 to waive the screening and buffering requirements found in this Section. See Screening and Landscaping Plan.

TRAFFIC & CIRCULATION:

The subject property shall have one (1) curb cuts which is shown on the Site Plan. Circulation within the subject property shall be in the area as indicated surrounding the office and the individual storage sites.

Jackson B. Reynolds, III
Attorney for Midway Rent a Fence
(614) 221-4255

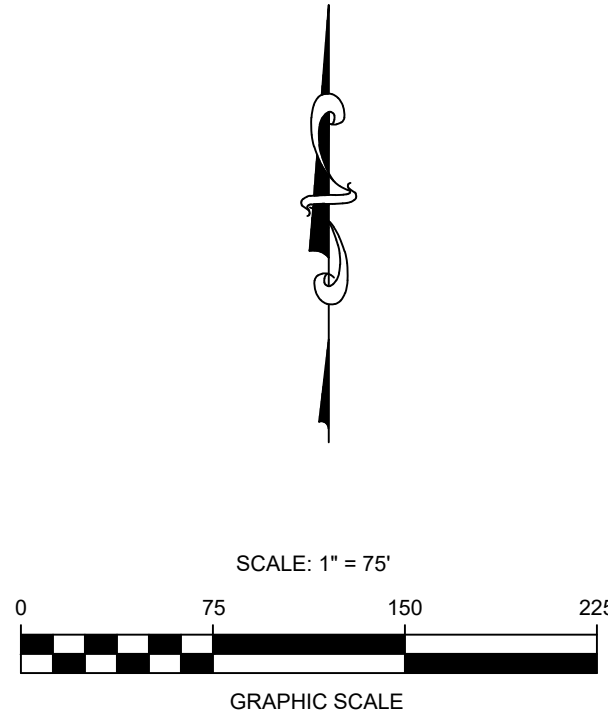



SITE DEVELOPMENT INFORMATION

EX. PROPERTY OWNER: GREGORIO RIOS
PARCEL I.D.: 180-001051
EX. PROPERTY USE: OPEN SPACE WITH A GARAGE
EX. SITE ACREAGE: 5.00 ACRES
EX. ZONING: RURAL, R

ADJACENT ZONING NORTH: COMMUNITY SERVICE, CS
ADJACENT ZONING SOUTH: RURAL, R
ADJACENT ZONING EAST: RURAL, R
ADJACENT ZONING WEST: GENERAL INDUSTRIAL, GI

PROPOSED USE: MATERIAL & EQUIPMENT STORAGE
PROPOSED BUILDING COVERAGE: 0.05 ACRES (0.50%)
PROPOSED LOT COVERAGE: 0.03 ACRES (24.32%)



<div></div> <div>550 Polaris Parkway, Suite 250 Westerville, OH 43082 614.761.1661 phone www.v3co.com</div>	ZONING SITE PLAN		PROJECT NO.: 250649		ORIGINAL ISSUE DATE: 11/13/2025		REVISIONS			
	3501 ROHR RD		PROJECT MANAGER: SEF		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
			DESIGNED BY: SEF							
			DRAWN BY:							
MADISON TOWNSHIP SO2		OHIO								
DRAWING NO.		1								



03/14/2025



12/17/2024



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Subdivision Variance

Page 1

RECEIVED

NOV 18 2025

Franklin County Planning Department
Franklin County, OH

Property Information

Site Address: 7635 Borror Rd., Orient 43146
Parcel ID(s): 160-000337
Total Acreage: 5.6763
Township: Jackson
Current Zoning: Agricultural
Subdivision:

Staff Use Only

Case # 794-SUB-Jack
Date Filed: 11/18/25
Fee Paid: \$350.00
Receipt # 25-03381
Hearing Date: 12/10/25
Received By: Austin W.

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested:

Section	Description
501.05	A subdivision variance required for Lot Geometry (Depth to width) ratio 4:1
Section	Description
Section	Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

☐ Yes

☒ No

The variance would have no effect on surrounding properties.
The proposed shared driveway would keep the current traffic pattern the same as it is currently.

Are the circumstances of the request unique to the property and not generally applicable to others?

☒ Yes

☐ No

It is an irregular shaped lot due to a prior lot split.
The variance will not affect public safety, property values, or the character of the neighborhood. The variance will allow for 2 new houses to enhance neighborhood character.

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

☒ Yes

☐ No

The requested variance is the minimum necessary to allow for reasonable use of the property. It's a unique hardship that was created due to current lot characteristics.



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2



Property Owner Information

Name: Jon O. Knitter
Address: PO Box 6280
Columbus, OH 43206
Phone # 614 206 7024 Fax #
Email: Jon.Knitter@att.net

Engineer/Surveyor Information

Name: Cottrill Surveying, Inc
Address: 15882 US-62
Mt. Sterling, OH 43143
Phone # 740-869-3811 Fax #
Email: Nathan@Cottrillsurveying.com

Applicant Information

☒ Same as property owner ☐ Same as engineer/surveyor

Name:
Address:
Phone # Fax #
Email:

Water & Wastewater

Water Supply

- ☐ Public (Central)
☐ Private (On-site)
☐ Other:

Wastewater Treatment

- ☐ Public (Central)
☐ Private (On-site)
☐ Other:

Checklist

- ☐ Completed Application
☐ Fee Payment (checks only)
☐ Copy of denied application, if applicable
☐ Site plan, max. size 11"x17"
☐ Proof of Water/Wastewater



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 3



Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

Applicant

Date

Engineer

Date

Property Owner (Signature must be notarized)

Date

11-18-2025

Property Owner (Signature must be notarized)

Date

State of Ohio, County of Franklin

The foregoing instrument was acknowledged before me.
On this 11/18/2025 by Jonathon Knitter.



COTTRILL SURVEYING, INC

15882 US Route 62 SE, Mt. Sterling, Ohio 43143, Ph. 740.869.3811, www.cottrillsurveying.com

1.6130 Acre Tract Surveyed for Knitter

The following described 1.6130 acre tract is situated in the State of Ohio, Franklin County, Jackson Township, VMS 6115, being part of a 5.6736 acre tract conveyed to Jon O Knitter by Instrument Number 202111080203684 (Franklin County records), and being more particularly described as follows:

Beginning at FCGS SO 44 monument found at the centerline intersection of Borrer Road (Jackson Township Road 266) (Scioto Township Road 142, 40 feet right-of-way) and Hiner Road (Jackson Township Road 268) (Scioto Township Road 13, 45 feet right-of-way), said monument being in the line between Jackson Township/Franklin County and Scioto Township/Pickaway County and the northeast corner of a 0.174 acre tract conveyed to Northup-Reinhardt Corp by Official Record 344 page 522 (Pickaway County records);

Thence, with the north line of said 0.174 acre tract and said county line, **North 88° 15' 12" West**, passing a county stone at 19.41 feet, a total distance of **304.76 feet** to an iron pin and cap set;

Thence, across said 5.6736 acre tract the following two courses:

- 1) **North 01° 24' 36" East** a distance of **216.32 feet** to an iron pin and cap set;
- 2) **North 86° 24' 36" East**, passing an iron pin and cap set at 265.77 feet, a total distance of **305.92 feet** to a Mag nail set in the centerline of Borrer Road;

Thence, with the centerline of said Borrer Road, **South 01° 24' 36" West** a distance of **244.77 feet** returning to the **True Point of Beginning**, containing **1.6130 Acres** more or less, 0.2231 acres are in PRO of Borrer Road;

Bearings are based on a GPS observation on October 6, 2022, WGS 1984 Geodetic North, the centerline of Borrer Road between FCGS SO 43 and FCGS 6637 is South 01° 24' 36" West.

Subject to and with the benefit of all legal highways, restrictions, easements, limitations, and reservations, of record, if any and to zoning restrictions which have been imposed thereon, if any.

All iron pins set are 5/8-inch diameter rebar with yellow plastic cap stamped "Cottrill Surveying"

This description is based on an actual field survey performed by Nathan L. Cottrill, PS registration #8821 on July, 2025.



Nathan Cottrill

Nathan L. Cottrill, PS #8821
(Job #S230907-4.0606)

PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.
FRANKLIN COUNTY ENGINEER

BY: AS DATE: 232-125

Bearings are based on a GPS observation on October 6, 2022, WGS 1984 Geodetic North, the centerline of Borrer Road between FCGS SO 43 and FCGS 6637 is South 01° 24' 36" West. Subject to and with the benefit of all legal highways, restrictions, easements, limitations, and reservations, of record, if any and to zoning restrictions which have been imposed thereon, if any. All iron pins set are 5/8-inch diameter rebar with yellow plastic cap stamped "Cottrill Surveying"

This description is based on an actual field survey performed by Nathan L. Cottrill, PS registration #8821 on October 3, 2023.



Nathan Cottrill
Nathan L. Cottrill, PS #8821
(Job #S230907-4.0606)

PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.
FRANKLIN COUNTY ENGINEER

BY: ATS DATE: 232-125

COTTRILL SURVEYING, INC

15882 US Route 62 SE, Mt. Sterling, Ohio 43143, Ph. 740.869.3811, www.cottrillsurveying.com

4.0606 Acre Tract *Surveyed for Knitter*

The following described 4.0606 acre tract is situated in the State of Ohio, Franklin County, Jackson Township, VMS 6115, being part of a 5.6736 acre tract conveyed to Jon O Knitter by Instrument Number 202111080203684 (Franklin County records), and being more particularly described as follows:

Commencing at FCGS SO 44 monument found at the centerline intersection of Borrer Road (Jackson Township Road 266) (Scioto Township Road 142, 40 feet right-of-way) and Hiner Road (Jackson Township Road 268) (Scioto Township Road 13, 45 feet right-of-way), said monument being in the line between Jackson Township/Franklin County and Scioto Township/Pickaway County and the northeast corner of a 0.174 acre tract conveyed to Northup-Reinhardt Corp by Official Record 344 page 522 (Pickaway County records);

Thence, with the centerline of said Borrer Road, North 01° 24' 36" East a distance of 286.80 feet to a mag nail set at the southeast corner of a 1.178 acre tract conveyed to Danny Hemphill by Instrument Number 202305150047320 (Franklin County) and the **True Point of Beginning**;

Thence, with the centerline of said Borrer Road, **South 01° 24' 36" West** a distance of **42.03 feet** to a mag nail set;

Thence, across said 5.6736 acre tract the following two courses:

- 1) **South 86° 24' 36" West**, passing an iron pin and cap set at 40.15 feet, a total distance of **305.92 feet** to an iron pin and cap set;
- 2) **South 01° 24' 36" West** a distance of **216.32 feet** to an iron pin and cap set in the north line of said 0.174 acre tract and said county line;

Thence, with the north line of said 0.174 acre tract and said county line, **North 88° 15' 12" West**, a distance of **294.42 feet** to an iron pin and cap set corner to a 159.299 acre tract conveyed to Ryan J and Elizabeth E Writsel, Co-Trustees by Instrument Number 201103250040923 (Franklin County) and Official Record 651 page 290 (Pickaway County);

Thence, with said 159.299 acre tract with the following two courses:

- 1) **North 01° 40' 22" East**, passing the South line of the original 33.372 acre tract at 366.13 feet, a total distance of **488.70 feet** to a 5/8 inch diameter iron pin found;
- 2) **South 89° 45' 55" East** a distance of **377.24 feet** to a 3/4 inch diameter iron pipe found at the Northwest corner of said Hemphill's 1.178 acre tract;

Thence, around said 1.178 acre tract with the following two courses:

- 1) **South 00° 29' 46" East**, a distance of **243.85 feet** to a 3/4 inch diameter iron pipe found;
- 2) **North 83° 11' 37" East**, passing an iron pin and cap previously set at 178.86 feet, a total distance of **213.86 feet** returning to the **True Point of Beginning**, containing **4.0606 Acres** more or less, 0.0375 acres are in PRO of Borrer Road;

Bearings are based on a GPS observation on October 6, 2022, WGS 1984 Geodetic North, the centerline of Borror Road between FCGS SO 43 and FCGS 6637 is South 01° 24' 36" West. Subject to and with the benefit of all legal highways, restrictions, easements, limitations, and reservations, of record, if any and to zoning restrictions which have been imposed thereon, if any. All iron pins set are 5/8-inch diameter rebar with yellow plastic cap stamped "Cottrill Surveying"

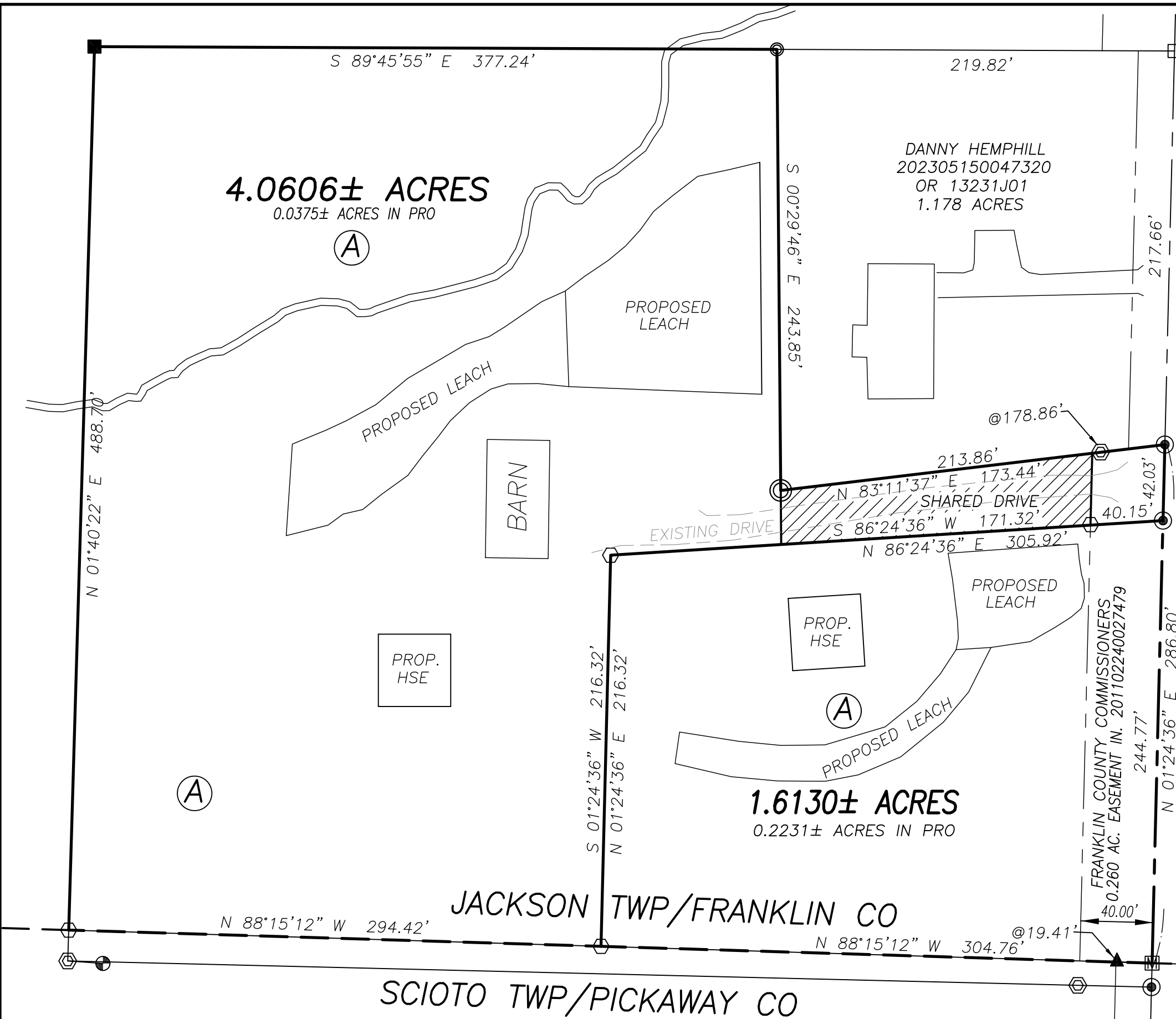
This description is based on an actual field survey performed by Nathan L. Cottrill, PS registration #8821 on October 3, 2023.




Nathan L. Cottrill, PS #8821
(Job #S230907-4.0606)

PRELIMINARY APPROVAL
ADAM W. FOWLER, P.E., P.S.
FRANKLIN COUNTY ENGINEER

BY:  DATE: 23-1-25



BEARINGS ARE BASED ON A
GPS OBSERVATION ON 10/06/22
WGS 1984 GEODETIC NORTH.
CENTERLINE OF BORROR ROAD
BETWEEN FCGS SO 43 & FCGS 6637
IS S 01°24'36" W

DEED REFERENCE

JON O KNITTER

INSTR No. 202111080203684

FRANKLIN CO. SHERIFF'S DEED: CASE No 14-CV-012635
5.135 ACRES (FRANKLIN CO AUDITOR)
FRANKLIN PARCEL No. 160-000337-00

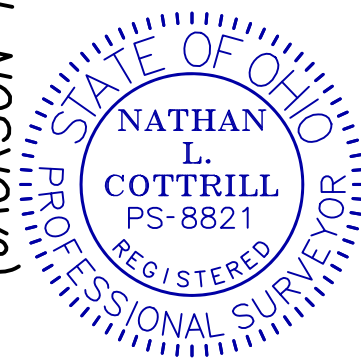
① 5.6736± ACRES

LEGEND

- ALL MONUMENTS FOUND OR SET ARE IN
GOOD CONDITION UNLESS OTHERWISE NOTED.
- ☐ MONUMENT BOX (FOUND)
 - ▲ COUNTY STONE (FOUND)
 - ⊙ 5"X10" CONCRETE MONUMENT (FOUND)
 - ⊙ 3/4" ∅ IRON PIPE (FOUND)
 - ⊙ MAG NAIL (SET)
 - ☐ IRON PIN (FOUND)
 - 5/8" ∅ IRON PIN (FOUND)
 - ⊙ 5/8" ∅ REBAR & YELLOW PLASTIC
CAP STAMPED "M.E. CLARK 6808" (FOUND)
(IP APPEARS TO HAVE BEEN DISTURBED FROM ORG LOCATION)
 - ⬡ 5/8" ∅ REBAR & YELLOW PLASTIC CAP
STAMPED "COTTRILL SURVEYING" (SET)
 - ⬡ 5/8" ∅ REBAR & YELLOW PLASTIC CAP
STAMPED "COTTRILL 6858" (PREVIOUSLY SET)

BORROR ROAD
(JACKSON TWP RD #266)

HINER ROAD (45' R/W)

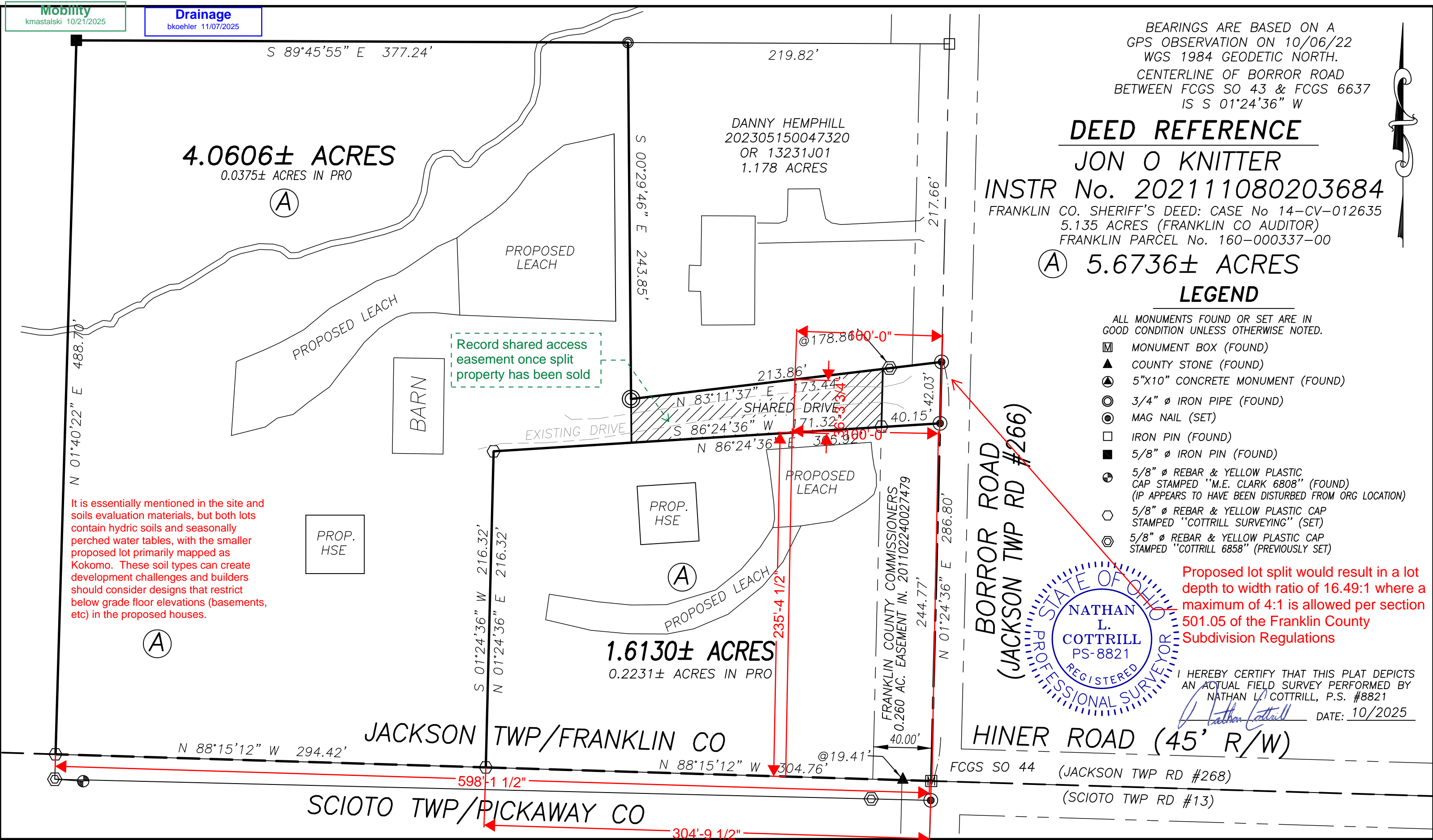


I HEREBY CERTIFY THAT THIS PLAT DEPICTS
AN ACTUAL FIELD SURVEY PERFORMED BY
NATHAN L. COTTRILL, P.S. #8821
DATE: 10/2025

COTTRILL SURVEYING, INC
James R Cottrill, PS Nathan Cottrill, PE PS
15882 US Route 62 NE, Mt. Sterling, Ohio 43143
Office: (740) 869-3811 www.cottrillsurveying.com

**1.6130 & 4.0606± ACRE TRACTS,
VMS 6115, JACKSON TWP,
FRANKLIN COUNTY, STATE OF OHIO.**

SURVEYED FOR: KNITTER		DATES		JOB No. S250606	
SCALE : 1"= 60'		SURVEYED 07/25		CREW: NC	
DRAWN 10/25		DWN BY: NC			



COTTRILL SURVEYING, INC

James R Cottrill, PS Nathan Cottrill, PE PS
15882 US Route 62 NE, Mt. Sterling, Ohio 43143
Office: (740) 869-3811 www.cottrillsurveying.com

1.6130 & 4.0606± ACRE TRACTS,
VMS 6115, JACKSON TWP,
FRANKLIN COUNTY, STATE OF OHIO.

SURVEYED FOR: **KNITTER**

SCALE : 1"= 60'

60' 30' 60'

DATES

SURVEYED 07/25 DWN 10/25

JOB No. S250606

CREW: NC DWN BY: NC



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
**Subdivision
Re-Plat**
Page 1

☐ Preliminary Plan

☒ Final Plat

Property Information

Site Address

2498 Reynoldsburg - New Albany Road

Parcel ID(s)

170-001635 + 170-001975

Total Acreage

4.004

Current Zoning

Restricted Suburban Resid.

Township

Jefferson

Subdivision Name

Havens Farm / Colts Neck

Lot Number(s)/Reserve to be Re Platted

Lot 17 Havens / Lots 5 + 6 Colts Neck
To include portion of

Property Owner Information

Name

Craig + Amy Widfeldt

Address

2498 Reynoldsburg - New Albany Road

Phone #

Fax #

Email

craig.widfeldt@gmail.com

Engineer/Surveyor Information

Name

Advanced Civil Design, Inc

Address

781 Science Blvd.

Suite 100

GAHANNA, OH 43230

Phone #

614-428-7750

Fax #

Email

bkarshner@advancedcivildesign.com

Applicant Information

☒ Same as property owner

☐ Same as engineer/surveyor

Name

Address

Phone #

Fax #

Email

Staff Use Only

Case #

792-Replat

Date Filed

10/24/2025

Fee Paid

\$330.00

Receipt #

25-03113

Received By

T.W

Date Accepted/Rejected

11/19/25

Hearing Date

12/10/2025

Reason for Re-Plat

☐ Lot Subdivision

☐ Lot Combination

☐ Lot Reconfiguration

☐ Other

Water & Wastewater

Water Supply

☐ Public (Central)

☐ Private (On-site)

☐ Other

Wastewater Treatment

☐ Public (Central)

☐ Private (On-site)

☐ Other

Checklist

☐ Completed Application

☐ Fee Payment (check only)

☐ Preliminary Plan and/or Final Plat
5 Copies folded

☐ One 11" x 17" of plans

☐ Electronic Copy in PDF and CAD

☐ Copy of original plat 11" x 17"



Franklin County
Board of Commissioners
**ECONOMIC DEVELOPMENT
& PLANNING**

Application for
**Subdivision
Re-Plat**
Page 2

Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Re-Plat application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

Craig Widdfeldt
Applicant

11/17/25
Date

Bin [Signature] - Advanced Civil Designs
Engineer

11/14/25
Date

Craig Widdfeldt
Property Owner (Signature must be notarized)

11/17/25
Date

[Signature]
Property Owner (Signature must be notarized)

11/17/25
Date

Applications may be delivered to 150 South Front Street, FSL Suite 10, Columbus, Ohio, 43215-7104, ATTN: Tre' Wolf, Planning Project Coordinator. Forward any questions to the project coordinator at 614-525-3094 or Planning@franklincountyohio.gov.



Barbara L. Kenlmer
Notary Public, State of Ohio
My Commission Expires 10-17-20 **28**

Bin [Signature]

Application for
**Subdivision
Variance**

Page 1

Property Information

Site Address

2498 Reynoldsburg - New Albany Road

Parcel ID(s)

170-001635 + 170-001975

Total Acreage

4.004

Township

JEFFERSON

Current Zoning

Subdivision

HAVENS FARM / COLTS NECK

Staff Use Only	
Case #	792-V-SUB
Date Filed	10/24/25
Fee Paid	\$350.00
Receipt #	25-03112
Hearing Date	12/10/25
Received By	J.W.

Requested Variances/Decision or Interpretation Appealed

Section Number(s) of the county subdivision regulations and a brief description of variance(s) requested

Section

Description

501.05 The east/west lines of the new split piece combined are not
 within 5 degrees of perpendicular of the ROW

Section

Description

The following shall govern the granting of the variance: (Provide explanation, use separate sheet if needed)

Is the variance detrimental to the public health or safety or is it injurious to other property?

Yes

☒ No

SEE ATTACHED

Are the circumstances of the request unique to the property and not generally applicable to others?

☒ Yes

No

SEE ATTACHED

Due to physical surroundings, shape or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

☒ Yes

No

SEE ATTACHED



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for Subdivision Variance

Page 2

Property Owner Information

Name Craig + Amy Widtfeldt

Address 2498 - Reynoldsburg - New Albany Road

Phone #

Fax #

Email craig.widtfeldt@gmail.com

Engineer/Surveyor Information

Name Advanced Civil Design, Inc.

Address: 781 Science Blvd
Suite 100
GAHANNA, OH 43230

Phone # 614-428-7750

Fax #

Email bkarshner@advancedcivildesign.com

Applicant Information

☒ Same as property owner

☐ Same as engineer/surveyor

Name

Address

Phone #

Fax #

Email

Water & Wastewater

Water Supply

☐ Public (Central)

☐ Private (On-site)

☐ Other

Wastewater Treatment

☐ Public (Central)

☐ Private (On-site)

☐ Other

Checklist

☐ Completed Application

☐ Fee Payment checks only

☐ Copy of denied application, if applicable

☐ Site plan, max size 11 x 17

☐ Proof of Water/Wastewater

Is the variance detrimental to the public health or safety or is it injurious?

No. The variance is not detrimental to the public health or safety nor is it injurious. This variance will merely add property to serve as additional backyard for the lot identified as 17A in the accompanying variance exhibit. In conjunction with the transfer of the property from the owner of Lots 5 and 6 to the owner of Lot 17A, a deed restriction will be placed on the transferred property which will prohibit its improvements with any permanent structures. Therefore, the variance will not facilitate the addition of any more building area within the newly configured Lot 17A but instead will ensure that the additional acreage within Lot 17A will remain undeveloped.

Are the circumstances of the request unique to the property and not generally applicable to others?

Yes. The circumstances are unique to the property. Lots 5 and 6 are under common ownership and provide the unique circumstance where an expansive rear yard area can be transferred by an owner who has limited use of that area to another lot whose owner can easily access it. The variance will facilitate a transfer of rear yard area that is largely inaccessible to the owner of Lots 5 and 6 due to the existence of a stream and transfer it to Lot 17A, whose owner can access it by foot and therefore will not have the same impediment to the use and enjoyment of the land.

Due to physical surroundings, shape, or characteristics of the property, would a hardship result, as distinguished from an inconvenience, if the strict letter of the Subdivision Regulations were enforced?

Yes. A hardship results due to existing configuration of the parcels involved, and the presence of the stream. Without the variance, there is no means to accommodate a transfer of the land and therefore it serves very little utility for the current owner, who must cross the stream to access the portions of Lots 5 and 6 to be moved to Lot 17A.

Application for
**Subdivision
Variance**
Page 3

Applicant Signature

To the best of my/our knowledge and belief, information and materials submitted as a part of this Variance application are correct, complete and accurate. The Franklin County Technical Review Committee members are hereby granted permission to enter the property for inspection and review purposes.

Craig Widtfeldt
Applicant

Date *9/16/2025*

Brian Kanner - B. K.
Engineer
Advanced Civil Design, Inc.

Date *9/15/25*

Craig Widtfeldt
Property Owner (Signature must be notarized)

Date *9/16/2025*

Amy Widtfeldt
Property Owner (Signature must be notarized)
Amy Widtfeldt

Date *09/16/2025*



BARBARA L. KENIMER
Notary Public, State of Ohio
My Commission Expires 10-17-2028

B. L.

Situated in State of Ohio, County of Franklin, Township of Jefferson, located in Original Lot 37, Quarter Township 1, Range 16, United States Military Lands, being a resubdivision of all of Lot 17 as numbered and delineated upon the record plat of "HAVENS FARM", of record in Plat Book 53, Page 25, in the name of Craig L. and Amy Widtfeldt of record in Instrument Number 202205180076051 and a resubdivision of part of Lots 5 and 6 of "COLTS NECK PHASE 1 RESUBDIVISION", of record in Plat Book 71, Page 53, said portion of Lots 5 and 6 being in the name of Bradley and Carina Gooden of record in Instrument No. 201707260102244, being of record in Recorder's Office, Franklin County, Ohio.

The undersigned, Craig L. Widtfeldt and Amy Widtfeldt, owners of the land platted herein as Lot 17 of Havens Farm and Bradley Gooden and Carina Gooden, owners of the land platted herein as a portion of Lots 5 and 6 of Colts Neck Phase 1 Resubdivision, do hereby certify that this plat correctly represents its "RE-SUBDIVISION of LOT 17 of HAVENS FARM TO INCLUDE A PORTION OF LOTS 5 AND 6 OF COLTS NECK PHASE 1 RESUBDIVISION", containing Lot 17A, and does hereby accept this plat of the same.

In Witness Whereof, Craig L. Widtfeldt and Amy Widtfeldt, Owners of Lot 17 Havens Farm, have hereunto set their hand this _____ day of _____, 2025.

Signed and acknowledged
In the presence of:

Witness _____
By _____
Title _____

Witness _____
By _____
Title _____

STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared _____, authorized signed of Craig L. Widtfeldt and Amy Widtfeldt, who acknowledge the signing the foregoing instrument to be their free and voluntary act and deed and the free and voluntary act and deed of Craig L. Widtfeldt and Amy Widtfeldt. for the uses and purposes expressed therein.

Witness Thereof, I have hereunto set my hand and affixed any official seal this _____ day of _____, 2025.

My Commission expires _____
Notary Public, State of Ohio

In Witness Whereof, Bradley Gooden and Carina Gooden, Owners of portions of Lot 5 and 6 of Colts Neck Phase 1 Resubdivision, have hereunto set their hand this _____ day of _____, 2025.

Signed and acknowledged
In the presence of:

Witness _____
By _____
Title _____

Witness _____
By _____
Title _____

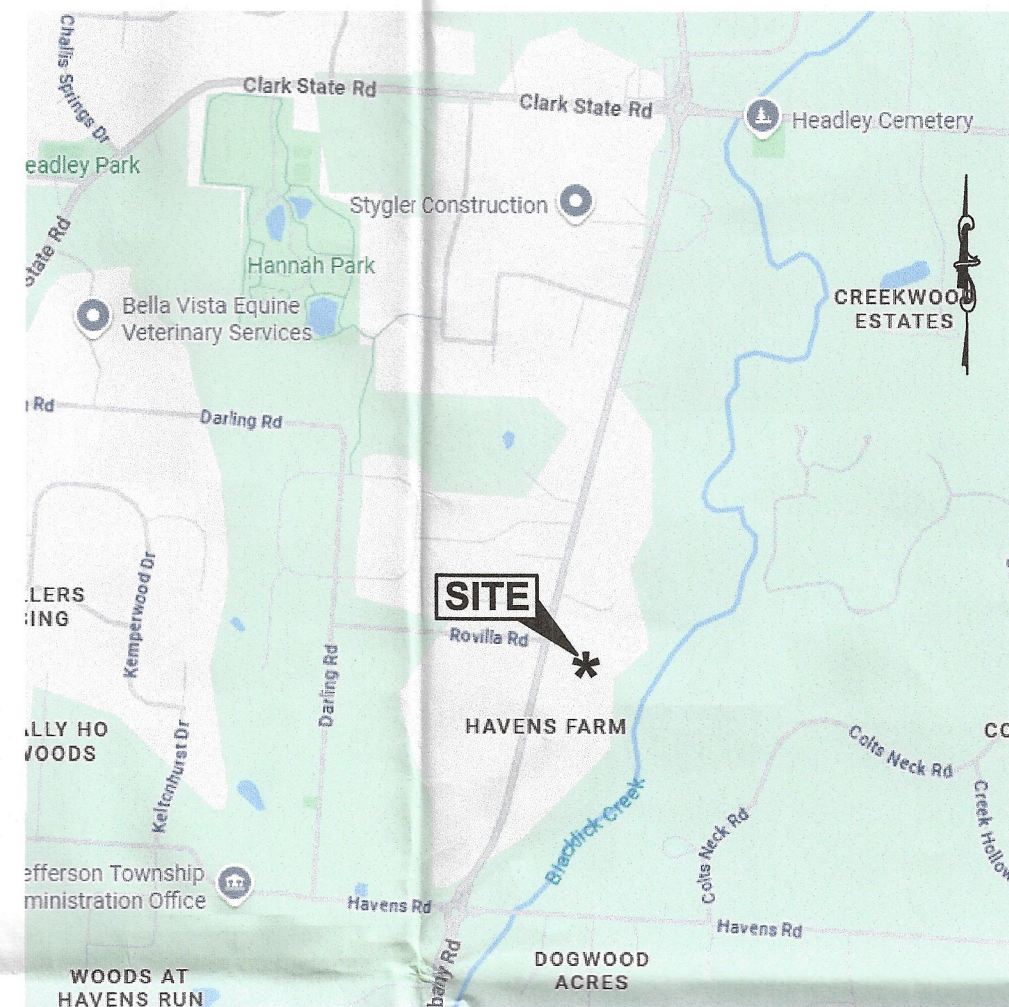
STATE OF OHIO
COUNTY OF FRANKLIN ss:

Before me, a Notary Public in and for said State, personally appeared _____, authorized signed of Bradley Gooden and Carina Gooden, who acknowledge the signing the foregoing instrument to be their free and voluntary act and deed and the free and voluntary act and deed of Bradley Gooden and Carina Gooden. for the uses and purposes expressed therein.

Witness Thereof, I have hereunto set my hand and affixed any official seal this _____ day of _____, 2025.

My Commission expires _____
Notary Public, State of Ohio

RE-SUBDIVISION of LOT 17 of HAVENS FARM TO INCLUDE A PORTION OF LOTS 5 AND 6 OF COLTS NECK PHASE 1 RESUBDIVISION



LOCATION MAP
NO SCALE

SURVEY DATA:

BASIS OF BEARINGS: The Basis of Bearings is based on the Ohio State Plane Coordinate System South Zone, NAD83 (NSRS 2011) as derived from GPS observation. A bearing of S85°54'26"E was held for the northerly line of Original Lot 37 and the northerly line of Havens Farm Subdivision between found Franklin County Geodetic Survey Monument No. 1161 and a 1" iron pin found at the northeasterly corner of said Havens Farm Subdivision.

SOURCE OF DATA: The sources of recorded survey data are the records of the Franklin County, Ohio, Recorder, referenced in the plan and text of this plat.

IRON PINS, where indicated, unless otherwise noted, are to be set and are iron pipes, thirteen-sixteenths inch inside diameter, thirty inches long with a plastic cap placed in the top bearing the inscription "ADVANCED".

PERMANENT MARKERS: Permanent markers, where indicated hereon, are to be one-inch diameter, thirty-inch long, solid iron pins, are to be set with the top end flush with the surface of the ground and then capped with an aluminum cap stamped "ADVANCED". Once installed, the top of the cap shall be marked (punched) to record the actual location of the point.

Approved this _____ day of _____,
2025
Jefferson Township Zoning Inspector

Approved this _____ day of _____,
2025
Franklin County Planning Commission

Approved this _____ day of _____,
2025
Franklin County Engineer

This _____ day of _____, 20____, by Resolution No. _____, wherein the plat of "RE-SUBDIVISION of LOT 17 of HAVENS FARM TO INCLUDE A PORTION OF LOTS 5 AND 6 OF COLTS NECK PHASE 1 RESUBDIVISION", is hereby approved and accepted, as such, by the Franklin County Commissioners.

FRANKLIN COUNTY COMMISSIONERS

Transferred this _____ day of _____,
Auditor, Franklin County, Ohio

Deputy Auditor, Franklin County, Ohio

Filed for record this _____ day of _____,
2025 at _____ .M.
Fee \$ _____
Recorder, Franklin County, Ohio

File No. _____

Recorded this _____ day of _____,
2025
Deputy Recorder, Franklin County, Ohio

Plat Book _____, Pages _____

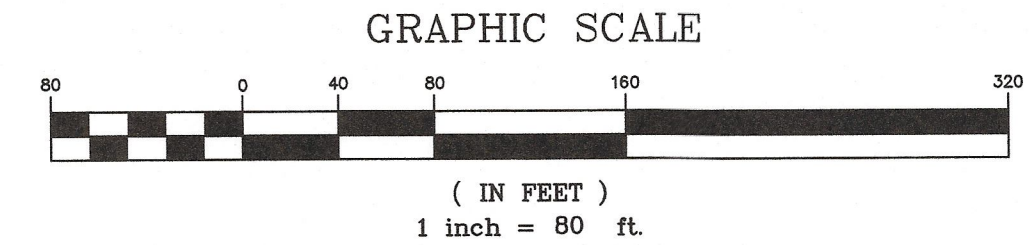
We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof.

- = Permanent Monument Set
- = Iron Pipe Found
- = Iron Pin Found
- [M] = FCGS Monument Found

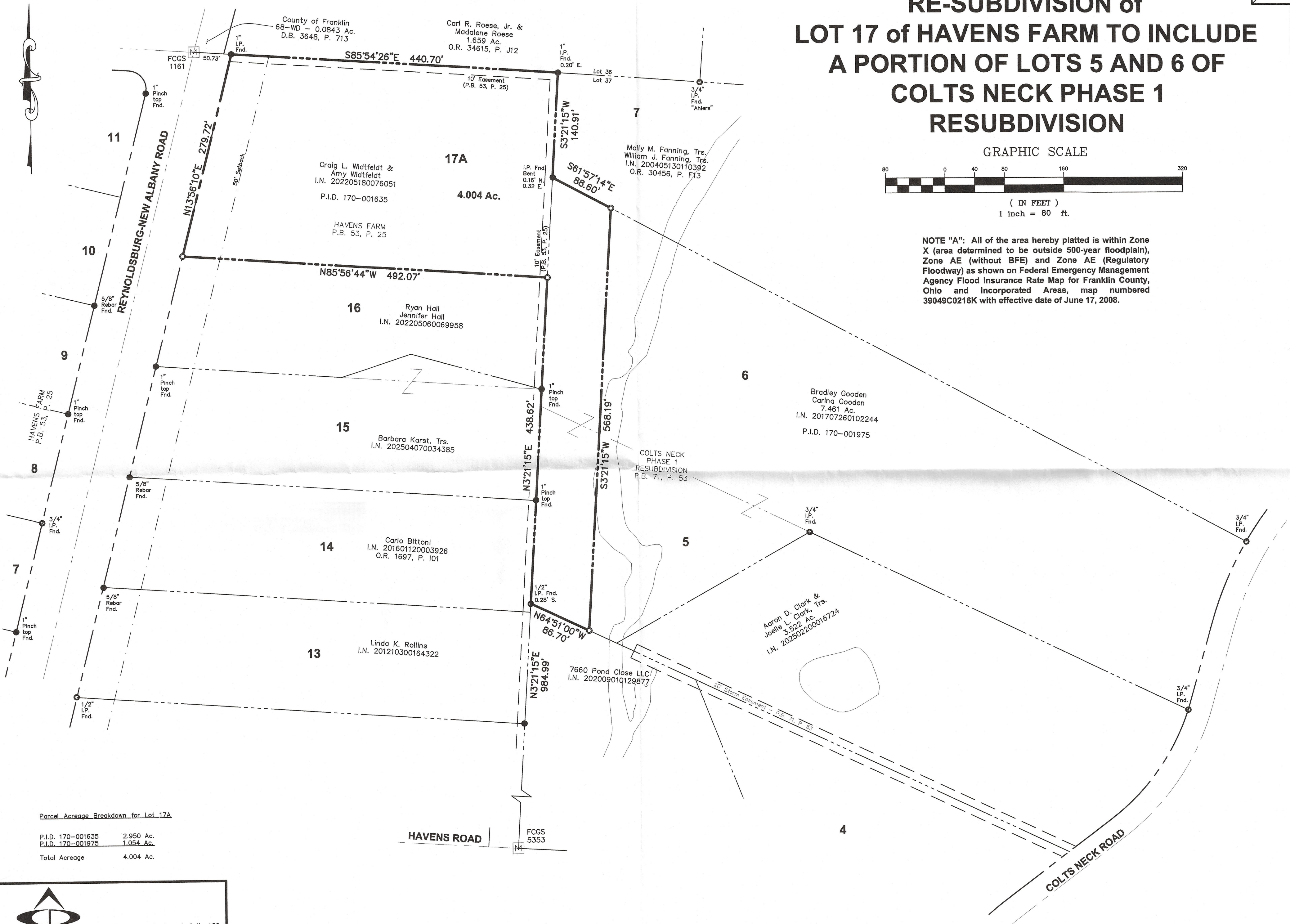
By _____
Douglas R. Hock, P.S. 7661


781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

RE-SUBDIVISION of LOT 17 of HAVENS FARM TO INCLUDE A PORTION OF LOTS 5 AND 6 OF COLTS NECK PHASE 1 RESUBDIVISION



NOTE "A": All of the area hereby platted is within Zone X (area determined to be outside 500-year floodplain), Zone AE (without BFE) and Zone AE (Regulatory Floodway) as shown on Federal Emergency Management Agency Flood Insurance Rate Map for Franklin County, Ohio and Incorporated Areas, map numbered 39049C0216K with effective date of June 17, 2008.




ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755



Franklin County
Board of Commissioners

ECONOMIC DEVELOPMENT & PLANNING

Economic Development & Planning Department
James Schimmer, Director

Application for

Zoning Variance

Pursuant to Section 810 of the Zoning Resolution

Page 1 of OCT 10 2025

Franklin County Planning Department
Franklin County, OH



(revised 7.13.19)

Property Information

Site Address: 363 Kanawha Ave.

Parcel ID: 254-151445-00

Zoning District: R-Rural

Lot Acreage: 0.13

Township: Sharon

Property Owner Information

Name: Glenn R. Ammerman

Address: 363 Kanawha Ave, Columbus, Ohio 43214

Phone # 614-202-1103

Fax #

Email: mtn_lioness@icloud.com

Applicant Information

☐ Same as property owner

Name: Johnny Strangis

Address: Nicholson Builders

6525 Busch Blvd, Columbus, Ohio 43229

Phone # 614-846-7388

Fax # 614-846-7390

Email: johnstrangis@nicholsonbuilders.com

Agent Information

Name:

Address:

Phone #

Fax #

Email:

Staff Use Only

Case # VA-9154

Date Filed: 10/10/2025

Received By: Austin W.

Fee Paid: \$350.00

Receipt Number: 25-02951

Hearing Date: 12/15/25

Technical Review: 11/25/25

Zoning Compliance #:

Checklist

- ☒ Completed Application
- ☒ Fee Payment (checks only)
- ☒ Auditor's Map (8.5"x11")
- ☒ Site Map (max 11"x17")
- ☐ Covenants and deed
- ☒ Notarized signatures
- ☒ Proof of water/wastewater supply
- ☐ Copy of denied Zoning Certificate
- ☐ Copy of denial letter

Water & Wastewater

Water Supply

- ☒ Public (Central)
- ☐ Private (On-site)

☐ Other

Wastewater Treatment

- ☐ Public (Central)
- ☒ Private (On-site)

☐ Other



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Case# VA-

Variance(s) Requested:

Section: 302.041 - Lot Area and Coverage

Description: Proposed covered front porch and rear yard one story additions to increase total build cover from allowable 20% (1,133 SF) to 25%(1,432 SF)

Section: 302.045 / 504.011 - Front Yard required setback

Description: Proposed covered front porch to extend 4'-9" into front yard setback

Section: 302.043 - Side Yard

Description: Proposed rear yard one story addition to extend 6'-1" into east side yard setback

Describe the project:

We are proposing the following:

1. 73 SF covered front porch with re-location of primary entry door off the side(west) to the front(north) facade.
2. 233 SF one story addition at rear(south) - mudroom, 1st floor laundry, expansion of existing rear bedroom

NOTE: To receive a variance, you must meet all the variance requirements in Section 810.04 of the Franklin County Zoning Resolution. Your answers to the following questions will help the Board of Zoning Appeals determine whether you meet the requirements for a variance. If you don't answer the questions, we will consider your application incomplete.

1. Are there special conditions or circumstances applying to the property involved that do not generally apply to other properties in the same zoning district.

The primary entry door currently exist on the east side of the property instead of at the front facade. The existing drive and only accessible vehicular parking spaces are currently directly adjacent and in close proximity to the entry door. This creates a hard to access entry while cars are parked in the drive, and makes it difficult as an aging in place option or for governmental ,maintenance, or emergency services to get in and out of the property.



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Case# VA-

2. That a literal interpretation of the requirements of this Zoning Resolution would deprive the applicant of rights commonly enjoyed by other properties in the same Zoning District under the terms of the Zoning Resolution.

General egress at the front and rear access points are restrictive and borderline unsafe in the current floor plan. A literal interpretation of the zoning resolution would deprive the owner the right to "age in place" in this property as well as allow proper egress to allow maintenance, governmental, and emergency services a plausible way in and out of this property

3. That the special conditions and circumstances, listed under question #1, do not result from any actions of the applicant.

The current circumstances do not result from any actions of the applicant / owner. Circumstances directly result as a bi-product of the original design and construction of the primary residence

4. That approving the variance requested will not grant the applicant any special privilege that is denied by this Zoning Resolution to other lands or structures in the same Zoning District.

Approving this variance will not grant applicant any special privilege. Approving this variance will improve the accessibility of the structure for the owner, , governmental, maintenance, or emergency services that should apply to all properties of the same zoning district.

5. Would granting the variance adversely affect the health or safety of persons residing or working in the vicinity of the proposed development, be materially detrimental to the public welfare, or injurious to private property or public improvements in the vicinity?

No

6. Can there be any beneficial use of the property without the variance?

Yes, the property could still currently exist as a single family residence as is, but one would argue that the current setup is unsafe in it's current state as there is poor accessibility to the inside of the structure from both the front and rear. The beneficial use of the property without the variance would most likely pass to another owner, due to the fact the current owner could not successfully "age in place"



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Case# VA-

7. How substantial is the variance? (i.e. 10 feet vs. 100 feet - Required frontage vs. proposed)

Required frontage 60' - proposed frontage - front porch addition to reduce frontage 4'-9" to 55'-3"

Required side yard setback 8'-0" one side - Proposed rear yard addition to reduce side yard 6'-1" to 1'-11" (existing property is currently non-conforming)

Maximum build cover 20%(1,133 SF) - Proposed build cover 25% (1,427 SF)

8. Would the essential character of the neighborhood be substantially altered or would the adjoining properties suffer substantial harm as a result of the variance?

No, the new design sensitively addresses the high visibility of the home from Kanawha Ave. while maintaining the character of the neighborhood; and the proposed project would be an improvement to the neighborhood and result in an overall increase in property value and tax base created by improvement. A balanced architectural element is proposed.

9. How would the variance adversely affect the delivery of governmental services? (e.g., water, sewer, garbage, fire, police - Verification from local authorities – i.e. fire might be required)

The variance would do the exact opposite. The variance would improve access to the property at both the front and rear entry points making this a substantial benefit to the delivery of governmental services.

10. Did the applicant purchase the property with knowledge of the zoning restrictions?

No

11. Could the applicant's predicament feasibly be obtained through some method other than a variance?

The existing square footage of the primary residence and the restrictive access from both the front and rear sides make it difficult to improve the quality of life for the owner as they age in place without the approval of this variance.

12. Would the spirit and intent behind the zoning requirement be observed and would substantial justice be done by granting the variance?

We believe variance would not only maintain the current use of the property, but improve the property from both a tax base perspective as well as promote public safety by improving egress for the owner, governmental, maintenance, and emergency services. For these reasons, we feel strongly that the spirit and intent aligns with the goals that guide the zoning regulations.



Franklin County
Board of Commissioners

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Zoning Variance

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Case# VA-

Affidavit **

I hereby certify that the facts, statements, and information presented within this application form are true and correct to the best of my knowledge and belief. I hereby understand and certify that any misrepresentation or omissions of any information required in this application form may result in my application being delayed or not approved by the County. I hereby certify that I have read and fully understand all the information required in this application form and all applicable requirements of the Franklin County Zoning Resolution. The affiant further acknowledges that a Certificate of Zoning Compliance may only be issued for an approved Variance within the period of one (1) year from the date of final approval by the Board of Zoning Appeals; if an approved Variance has not been used within one (1) year of its date of issuance, meaning there has not been active and substantial improvement to a property in accordance with a valid Variance, then the Variance shall expire and no work may commence or continue without either renewing the Variance or receiving a new Variance approval from the Board of Zoning Appeals in accordance with Section 810 of the Franklin County Zoning Resolution.

Applicant/Authorized Agent *

10/8/2025

Date

Property Owner (signature must be notarized)

10/8/2025

Date

Property Owner (signature must be notarized)

10/8/2025

Date

*Agent must provide documentation that they are legally representing the property owner.

**Approval does not invalidate any restrictions and/or covenants that are on the property.



Karen L. Stone

Expires 04/20/2029

RECEIVED

OCT 10 2025

Franklin County Planning Department
Franklin County, OH



ZONING INFORMATION

PROPOSED IS A COVERED FRONT PORCH AND ONE-STORY REAR ADDITION

PARCEL # 170-002877-00
FRANKLIN COUNTY ZONING AND BUILDING DEPARTMENT
ZONED R (RURAL)
SHARON TOWNSHIP

CLINTONVILLE AREA COMMISSION

YEAR BUILT: 1954

LAND: (0.13 ACRES) 5,663 SQ.FT.

MAX. BUILD HEIGHT: 38'-0"

MAX BUILD COVER - 20% TLA = 1,133 SF +/-

EXISTING BUILD COVER 840 SF PRIMARY RESIDENCE
FOOTPRINT + 280 SF DETACHED BUILDING) - 19% TLA =
1,120 SF +/-

PROPOSED BUILD COVER- 1,120 EXIST BUILD COVER + 307
SF ADDITIONS = 25% TLA = 1,427 SF TOTAL

VARIANCES NEEDED FOR THE FOLLOWING

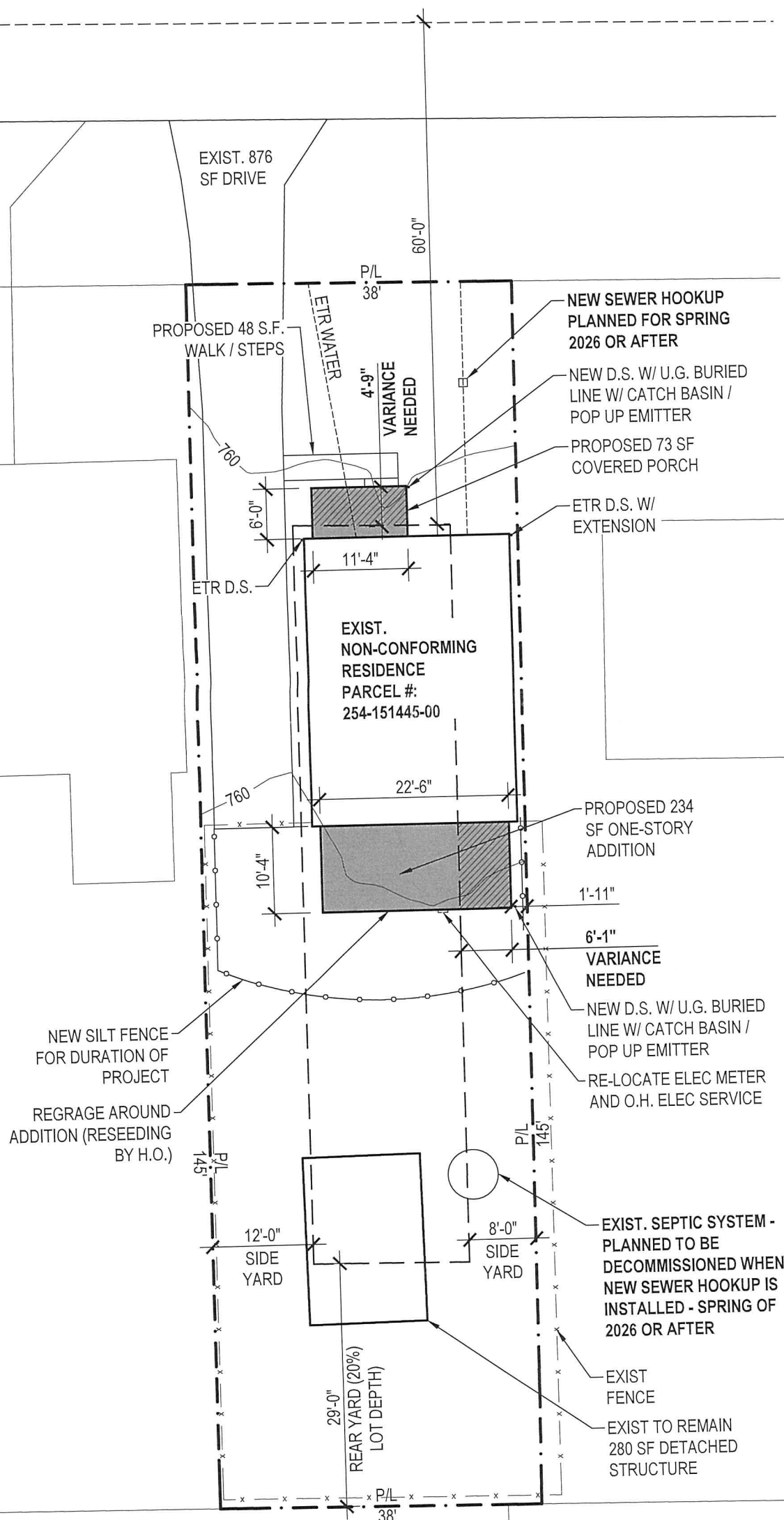
TO INCREASE TOTAL BUILD COVER FROM 20% TO 25%
(INCLUDES 280 SF DETACHED STRUCTURE CURRENTLY
BEING RE-BUILT IN SAME PLACE)

FRONT PORCH TO ENCROACH 4'-9" +/- INTO FRONT YARD
SETBACK

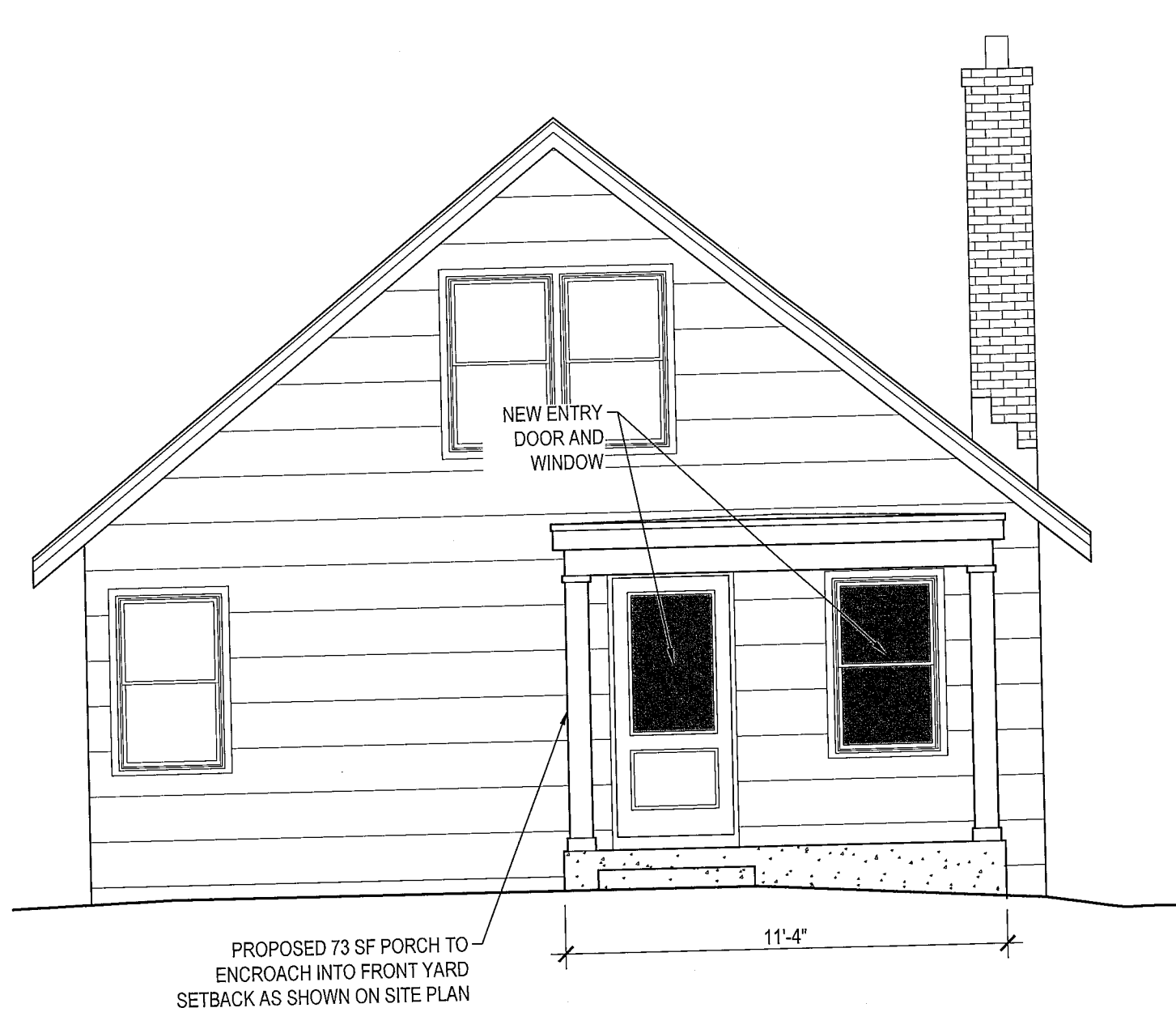
REAR ADDITION TO ENCROACH 6'-1" +/- INTO SIDE YARD
SETBACK

GRADE SHALL FALL 6" MINIMUM WITHIN FIRST 10'-0" FROM
BUILDING PERIMETER. AT NO POINT SHOULD GROUND
WATER DRAIN ONTO NEIGHBORING PROPERTIES

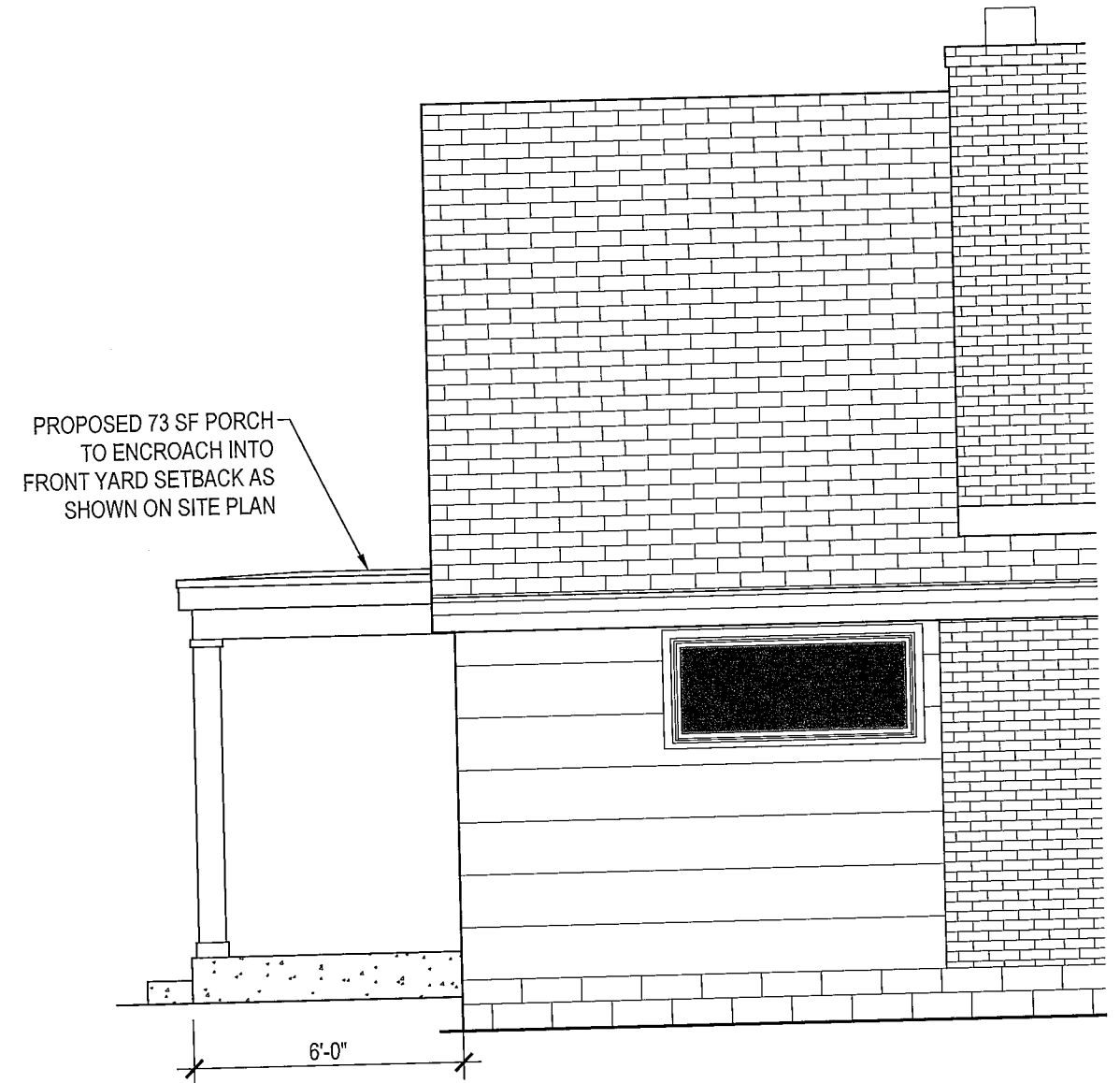
CRITICAL NOTE: NEW SEWER HOOKUP IS CURRENTLY
BEING PLANNED AND PRELIMINARY TIMELINE IS SPRING OF
2026 - EXISTING SEPTIC SYSTEM WILL BE
DECOMMISSIONED AT THIS POINT



AMMERMAN RESIDENCE



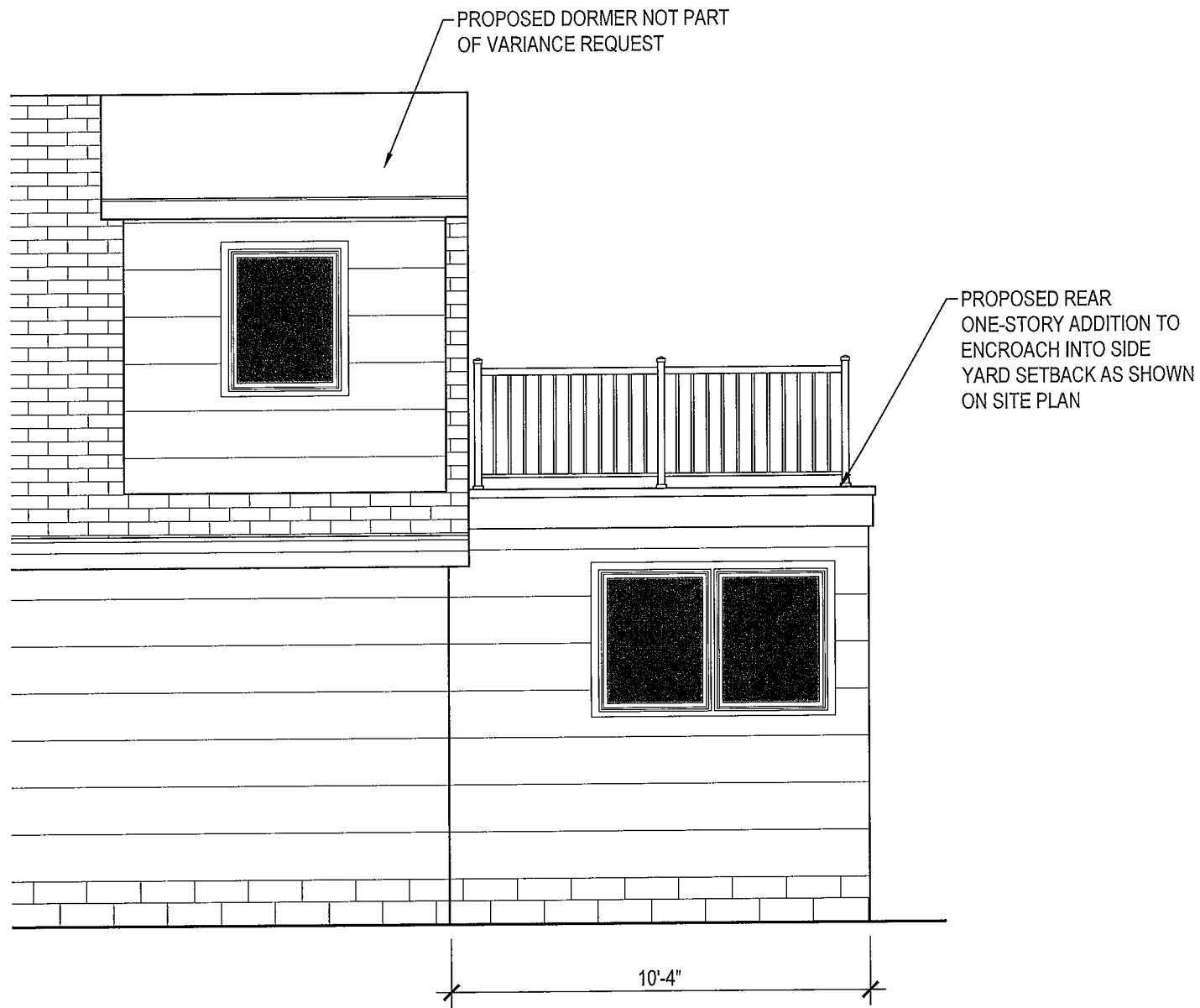
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



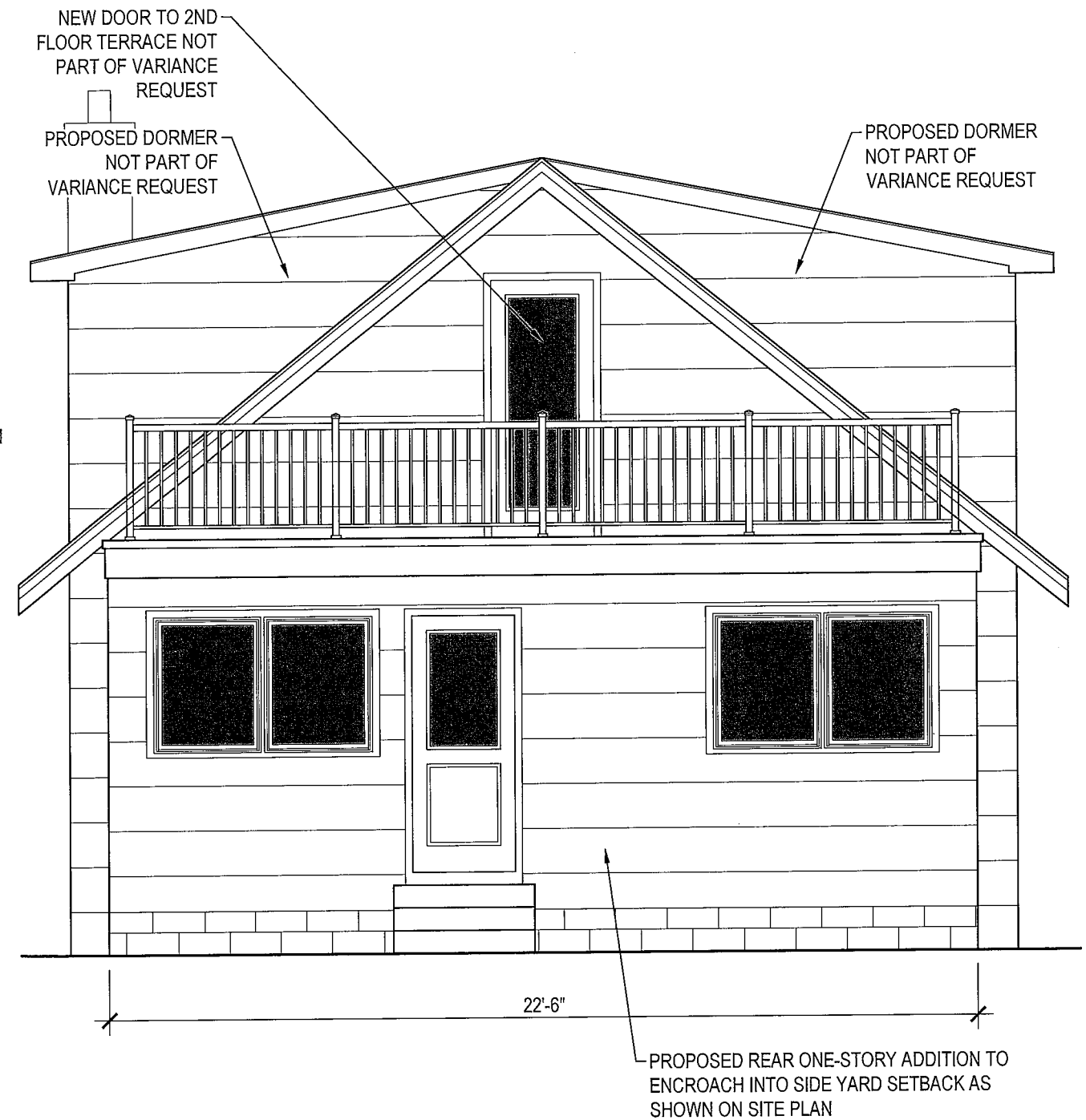
PROPOSED PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"

AMMERMAN RESIDENCE

363 W KANAWHA AVE
COLUMBUS, OH 43214
DATE: 10-09-25



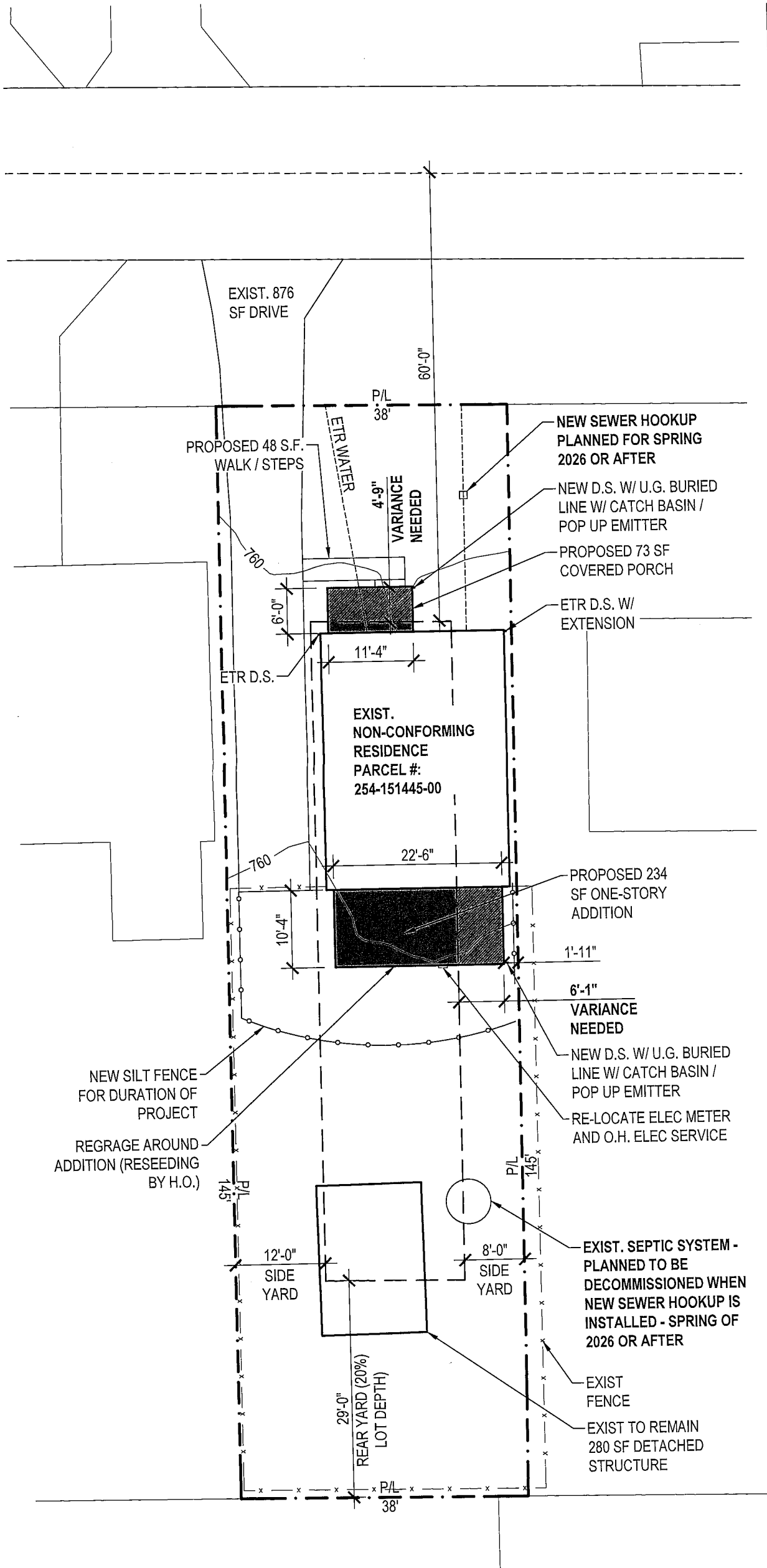
PROPOSED PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

AMMERMAN RESIDENCE

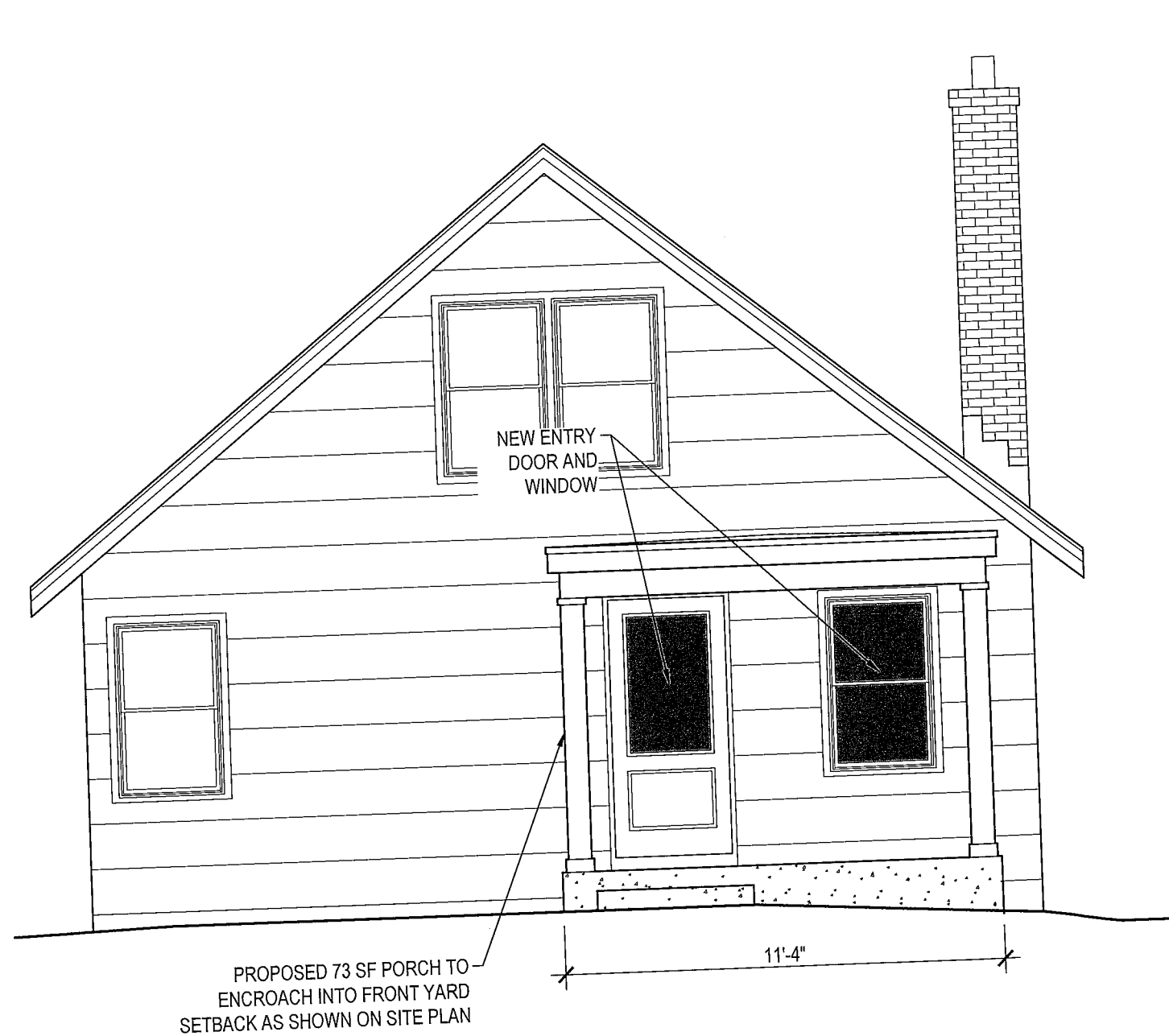
363 W KANAWHA AVE
COLUMBUS, OH 43214
DATE: 10-09-25



ZONING INFORMATION
<p>PROPOSED IS A COVERED FRONT PORCH AND ONE-STORY REAR ADDITION</p> <p>PARCEL # 170-002877-00 FRANKLIN COUNTY ZONING AND BUILDING DEPARTMENT ZONED R (RURAL) SHARON TOWNSHIP</p> <p>CLINTONVILLE AREA COMMISSION</p> <p>YEAR BUILT: 1954</p> <p>LAND: (0.13 ACRES) 5,663 SQ.FT.</p> <p>MAX. BUILD HEIGHT: 38'-0"</p> <p>MAX BUILD COVER - 20% TLA = 1,133 SF +/-</p> <p>EXISTING BUILD COVER 840 SF PRIMARY RESIDENCE FOOTPRINT + 280 SF DETACHED BUILDING) - 19% TLA = 1,120 SF +/-</p> <p>PROPOSED BUILD COVER- 1,120 EXIST BUILT COVER + 307 SF ADDITIONS = 25% TLA = 1,427 SF TOTAL</p>
<p>VARIANCES NEEDED FOR THE FOLLOWING</p> <p>TO INCREASE TOTAL BUILD COVER FROM 20% TO 25% (INCLUDES 280 SF DETACHED STRUCTURE CURRENTLY BEING RE-BUILT IN SAME PLACE)</p> <p>FRONT PORCH TO ENCROACH 4'-9" +/- INTO FRONT YARD SETBACK</p> <p>REAR ADDITION TO ENCROACH 6'-1" +/- INTO SIDE YARD SETBACK</p>
<p>GRADE SHALL FALL 6" MINIMUM WITHIN FIRST 10'-0" FROM BUILDING PERIMETER. AT NO POINT SHOULD GROUND WATER DRAIN ONTO NEIGHBORING PROPERTIES</p>
<p>CRITICAL NOTE: NEW SEWER HOOKUP IS CURRENTLY BEING PLANNED AND PRELIMINARY TIMELINE IS SPRING OF 2026 - EXISTING SEPTIC SYSTEM WILL BE DECOMMISSIONED AT THIS POINT</p>

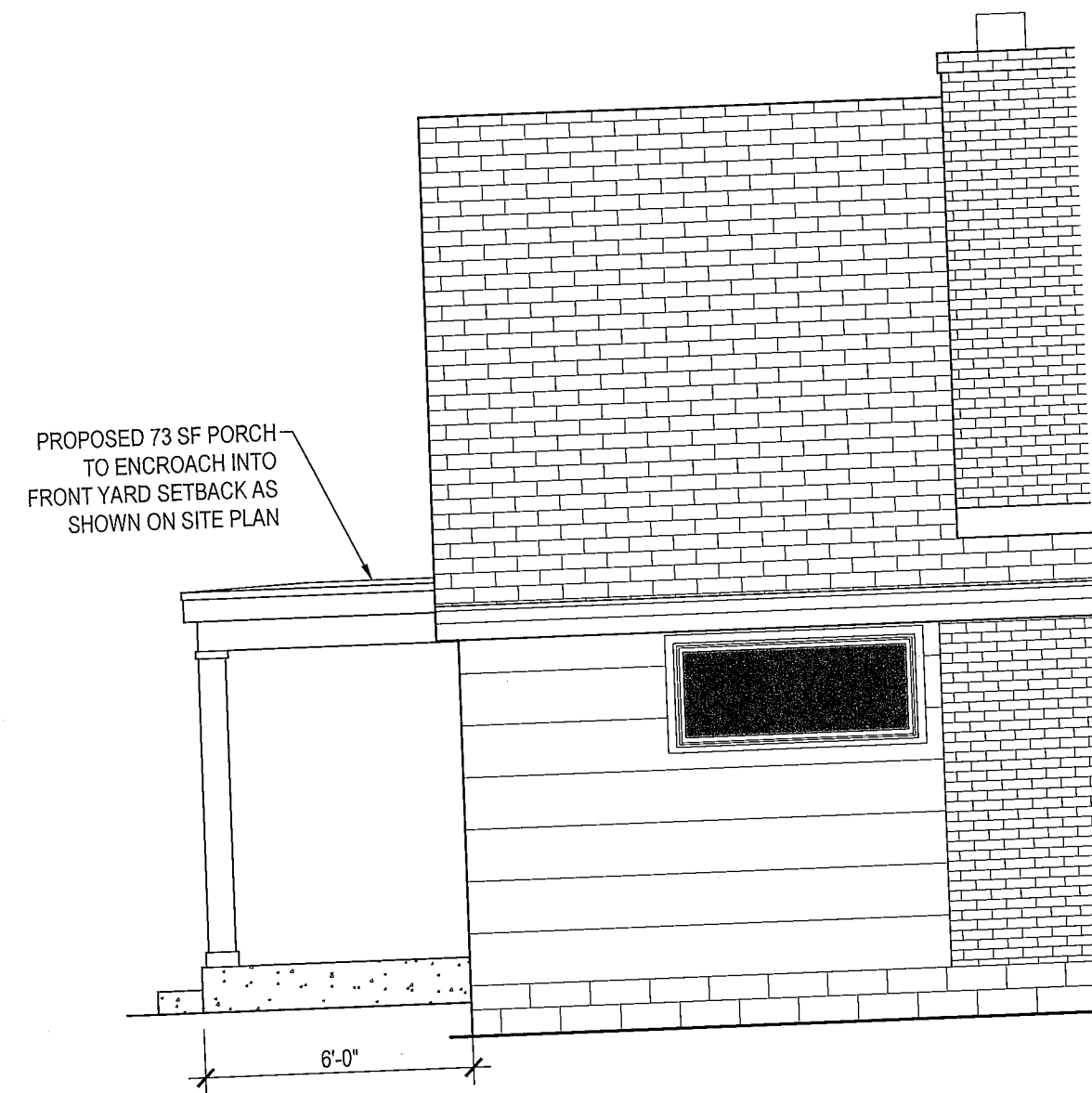


AMMERMAN RESIDENCE



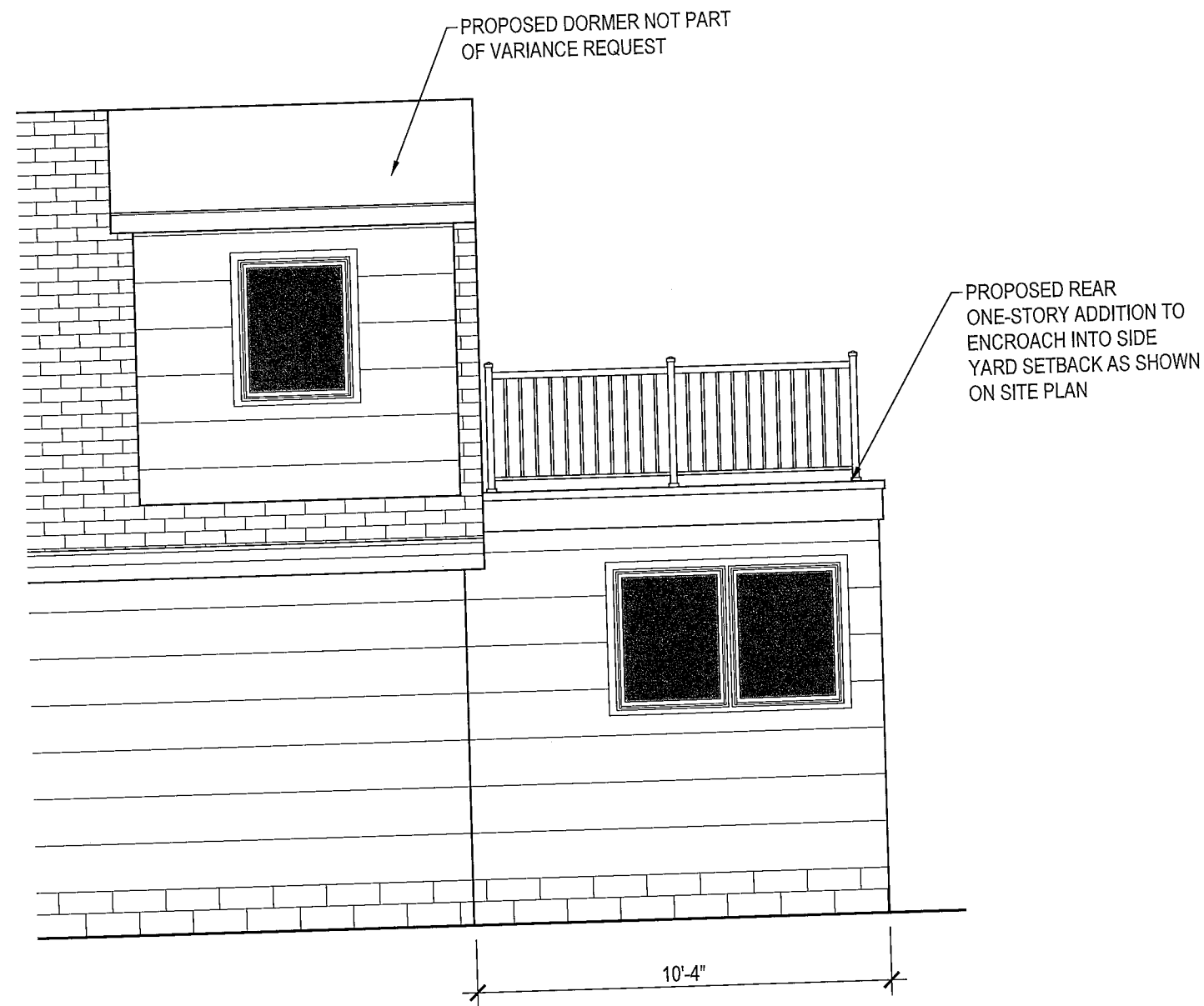
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

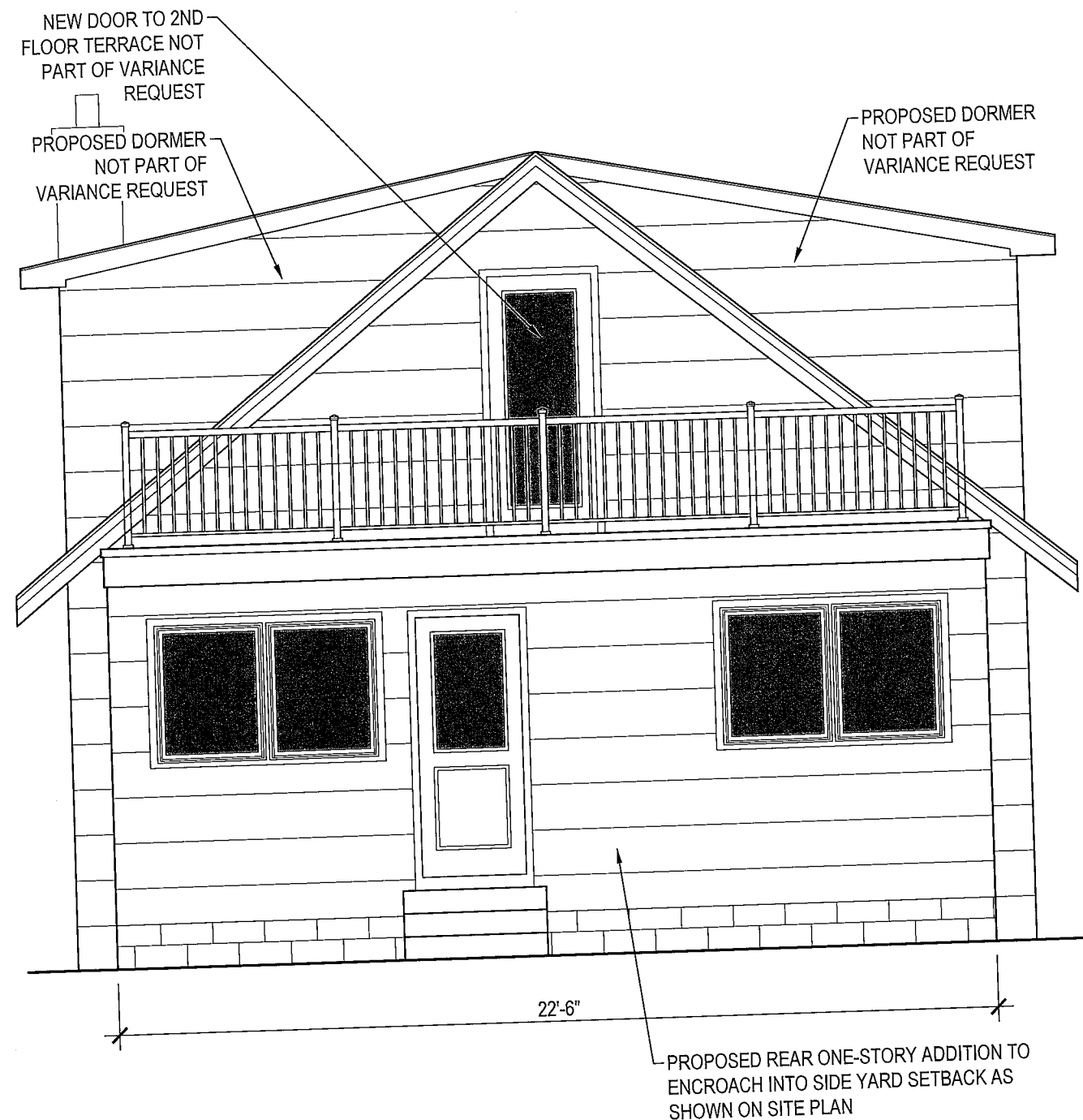


PROPOSED PARTIAL WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"